



Staff Report

File #: LN-371

PLANNING AND ZONING BOARD

Meeting Date: JUNE 28, 2023

HOMEWOOD HOTEL IN POMPANO

Request: Major Site Plan and Building Design
P&Z# 22-12000033
Owner: MacMillian Real Estate LLC & 599 Federal Station LLC
Project Location: 505 N. Federal Highway & 599 N Federal Highway
Folio Number: 484236000442 & 484236000440
Land Use Designation: ETOC (East Transit Oriented Corridor)
Zoning District: TO-EOD (Transit Oriented - East Overlay District)
Commission District: 3 (Alison Fournier)
Agent: Armando Luna (954-525-8133)
Project Planner: Pamela Stanton (954-786-5561 / pamela.stanton@copbfl.com)

Summary:

The applicant is requesting Major Site Plan approval for a 9-story hotel consisting of a four-story podium and a five-story tower above the podium on a 48,154 square foot (1.105 acres) lot. The project includes an internal parking structure and a fifth floor amenity deck. The project received a variance for relief from the requirement of Section 155.3501.J.2.d for a 5-foot landscape strip between the west side of the building and the vehicular use area.

The project was reviewed by the Development Review Committee (DRC) on November 16, 2022 and March 1, 2023, and received approval from the Architectural Appearance Committee (AAC) on May 2, 2023.

The property is located on the southwest corner of NE 6 St and North Federal Hwy.

SITE PLAN REVIEW STANDARDS

An application for a Major Site Plan or Minor Site Plan shall be approved only on a finding that there is competent substantial evidence in the record that the development, as proposed:

1. Is consistent with the land use designation in the comprehensive plan;

The land use designation for this property is ETOC (East Transit Oriented Corridor). The proposal is for a mixed-use development. The Development is consistent with the City of Pompano Beach Comprehensive Plan, and the Future Land Use Element Goals, Objectives and Policies contained therein:

Objective 01.02.00. *Right-of-Way Protection and Accessibility. Protect the existing and future building encroachments and ensure proper accessibility with the roadway and transit network.*

Policy 01.02.02. *Approve site plans, plats and other development approvals on the condition that the applicant will dedicate right-of-way according to the requirements of the Broward County Trafficways Plan and the City's street standards in Chapter 100 of the City's Code of Ordinances.*

Policy 01.05.01. *Continue to require all substantial improvement, new development and redevelopment to be consistent with the minimum finished floor elevations as specified in the Federal Emergency Management Agency Flood Insurance requirements, the South Florida Building Code, Chapter 152 of the City's Code of Ordinances and future maps being prepared to determine appropriate finished floor elevations and crown of road elevations based on adopted sea level rise projections.*

Policy 01.14.07. *All site plans will be reviewed for Crime Prevention Through Environmental Design (CPTED) design principles such as lighting, street design, natural surveillance, natural access control, and territorial reinforcement. CPTED infrastructure such as security lighting, security cameras, bollards and other access control methods will be required based on the specific needs of the project.*

2. Complies with the applicable district, use, and intensity and dimensional standards of this Code (Articles 3, 4, and 5);

Article 3: Zoning Districts

The project complies with the Intensity and Dimensional Standards of the TO/EOD Zoning District in Article 3. The applicant has submitted a Traffic Statement in lieu of providing a Traffic Study, which is required for developments that are expected to generate 100 or more trips per hour during AM or PM peak hours. The Traffic Statement summarizes the trip generation as 494 daily trips with 29 AM peak

hour trips and 51 PM peak hour trips.

Article 4: Use Standards

The proposed commercial development is allowed in the TO/EOD Zoning District.

Article 5: Development Standards

See Section 3 below.

3. Complies with the applicable development standards of this Code (Article 5);

The development complies with the requirements of Article 5, including Access, Parking and Loading; and Sustainable Development Standards.

4. Complies with all other applicable standards in this Code;

The proposed site plan will comply with the applicable standards in the Code.

5. Complies with all requirements or conditions of any prior applicable Development Orders;

No prior applicable Development Orders are in place.

6. The concurrency review has been completed in accordance with [Chapter 154](#) <http://library.amlegal.com/nxt/gateway.dll?> (Planning) of the Code of Ordinances;

Based on the estimated demand calculated below, the proposed project complies with concurrency requirements.

Wastewater Treatment Demand	24,450.00 gallons per day *
Water Treatment Demand	28,997.70 gallons per day *
Raw Water Demand	31,317.52 gallons per day *
Park Acreage Required	1.11
School Impacts	N/A
Transportation	Transit fees are paid to the Broward County to meet concurrency.
Solid Waste Generation	1,450.70 lbs. per day (City has a contract with the Waste Management for disposal of all solid waste through 2027)

* *The City has adequate water and sewer plant treatment capacity to serve the proposed project. However, in the event that the public pump station LS-37 becomes over-capacitated by the Homewood Suites development, the property owner will enter into an agreement with the City to aid in upgrading the lift station.*

7. Is designed to provide safe, adequate, paved vehicular access between buildings within the development and streets as identified on the Broward County Trafficways Plan;

The project was designed to provide safe and adequate paved vehicular access between the proposed buildings and the adjacent streets as identified on the Broward County Trafficways Plan.

8. Complies with any applicable hazardous material licensing requirements in the Broward County Wellfield Protection Ordinance;

The Property is not located within a wellfield protection area. The Development does not anticipate requiring any hazardous material licensing.

9. Complies with crime prevention security strengthening and CPTED standards for natural surveillance, natural access control, territorial reinforcement, maintenance, and activity support.

As part of the Major Site Plan and Building Design application, the applicant's team has developed a separate CPTED security plan which addresses the CPTED standards for natural surveillance, natural access control, territorial reinforcement, maintenance and activity support.

10. Complies with the adopted Fire Codes and Standards pursuant to City Code Section 95.02;

The proposed site plan was reviewed by Fire Plans Examiner during DRC.

11. Considers and mitigates any potential adverse impacts on environmentally sensitive lands identified by the City Comprehensive Plan or Broward County Land Use Plan;

Not applicable.

12. Complies with the approved Transportation Corridor Study, unless in direct conflict with another Zoning Code provision.

The Federal Highway Corridor Study from the City's "Transformation Plan" encourages mixed-use development. The Study recognizes that the corridor is appropriate for mixed-use development.

Staff Conditions:

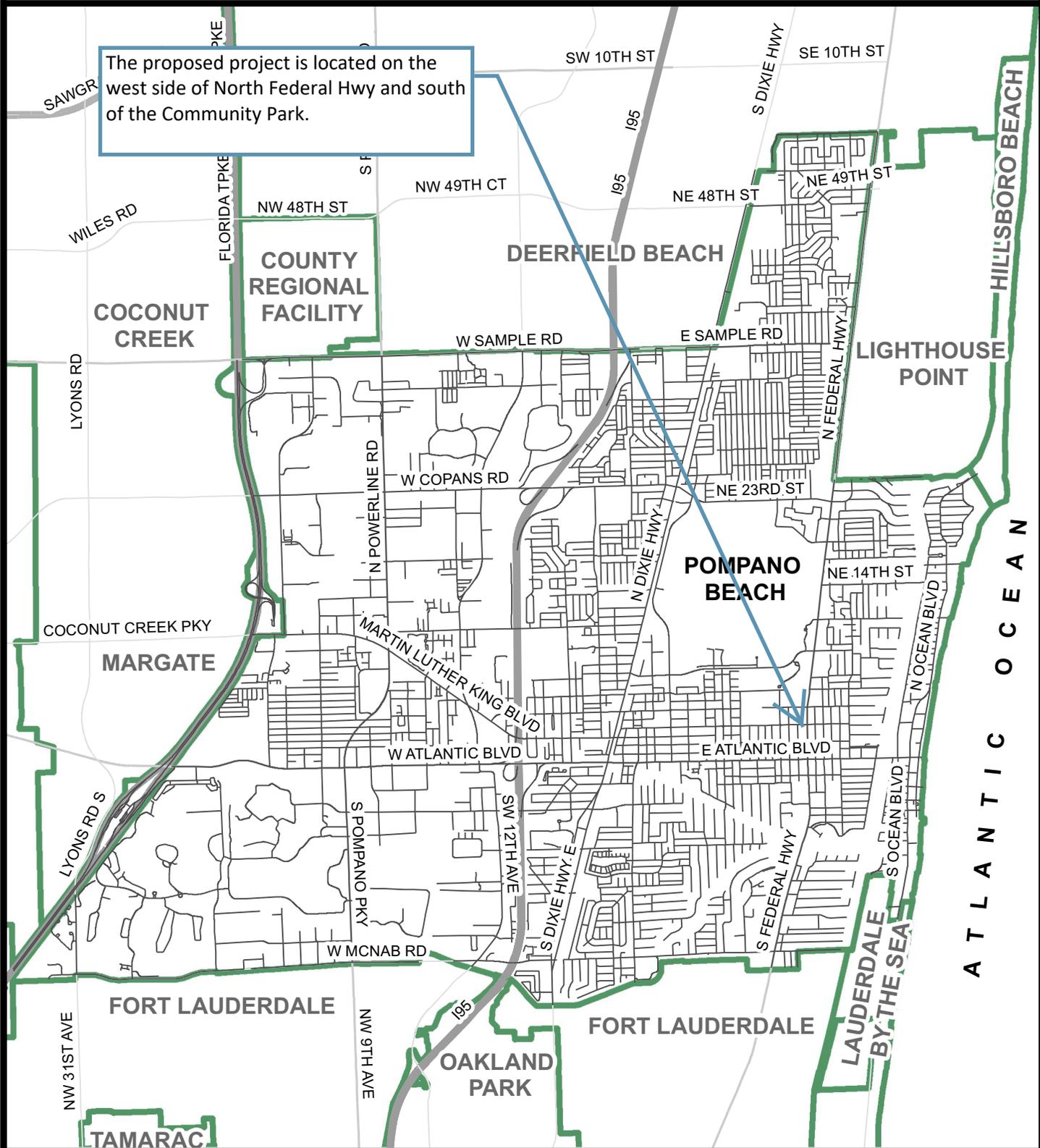
Pursuant to §155.2304.C, Applications Subject to Staff Recommendation, the Development Services Director has compiled the department reports from the Development Review Committee (DRC) meeting which are recorded on file with the Department of Development Services. The Development Services Department recommends approval of the Major Site Plan subject to the following comments and conditions:

1. In the event that the public pump station LS-37 becomes over-capacitated by the Homewood Suites development, the property owner will enter into an agreement with the City to aid in upgrading the lift station.
2. A cross-access easement is required in order to allow ingress and egress to and from properties served by the vehicular cross-access along the west portion of the property. Provide a draft of the cross-access easement along with agreements defining maintenance responsibilities of property owners, prior to recordation.
3. Provide evidence that FDOT will permit the required suspended pavement system within the Federal Hwy right-of-way.
4. Standard conditions of approval and/or specifications required prior to Building Permit/Zoning Compliance Permit issuance:
 - a. The project must achieve at least 18 Sustainable Development points from Table 155.5802.
 - b. A Unity of Title is required prior to permit approval.
 - c. Provide a copy of the final Plat prior to permit approval.
 - d. Plans are subject to compliance with all applicable Code requirements, including but not limited to DRC comments issued for this site plan, including but not limited to FDOT acceptance of suspended pavement system in the FDOT right-of-way, replacement of the Podocarpus hedge in front of the Patio Deck with a lower-growing plant, etc.
 - e. A copy of the CPTED plan approved by the Broward Sheriff's Office must be submitted for Zoning Compliance Permit approval.
 - f. Landscape and Irrigation Plans must comply with all Zoning Code requirements as verified by the City's Urban Forestry Division.

CITY OF POMPANO BEACH LOCATION MAP



The proposed project is located on the west side of North Federal Hwy and south of the Community Park.



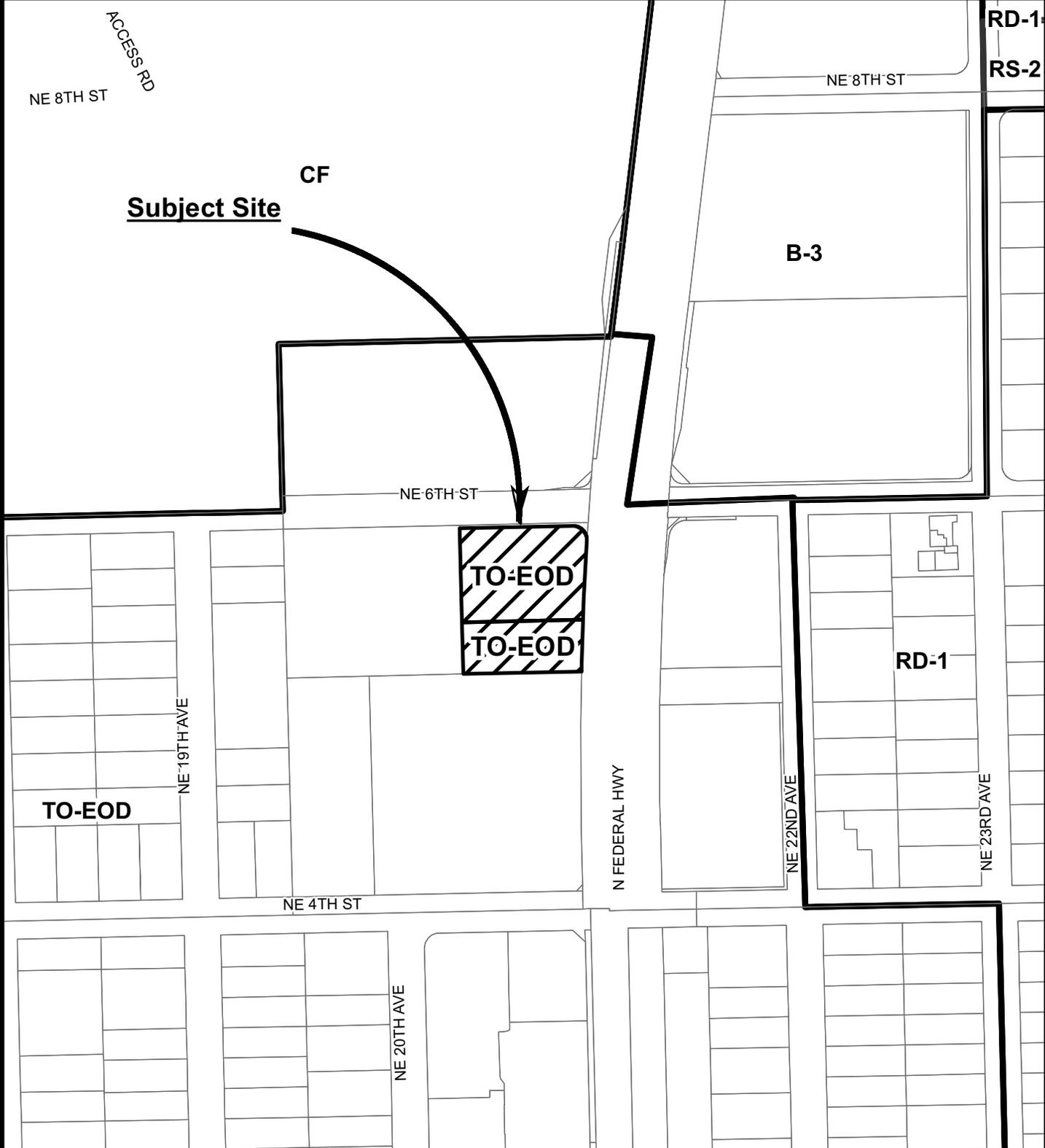
P&Z
Scale = 1 mile
7/30/2017 KeeDan

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CITY OF POMPANO BEACH AERIAL MAP



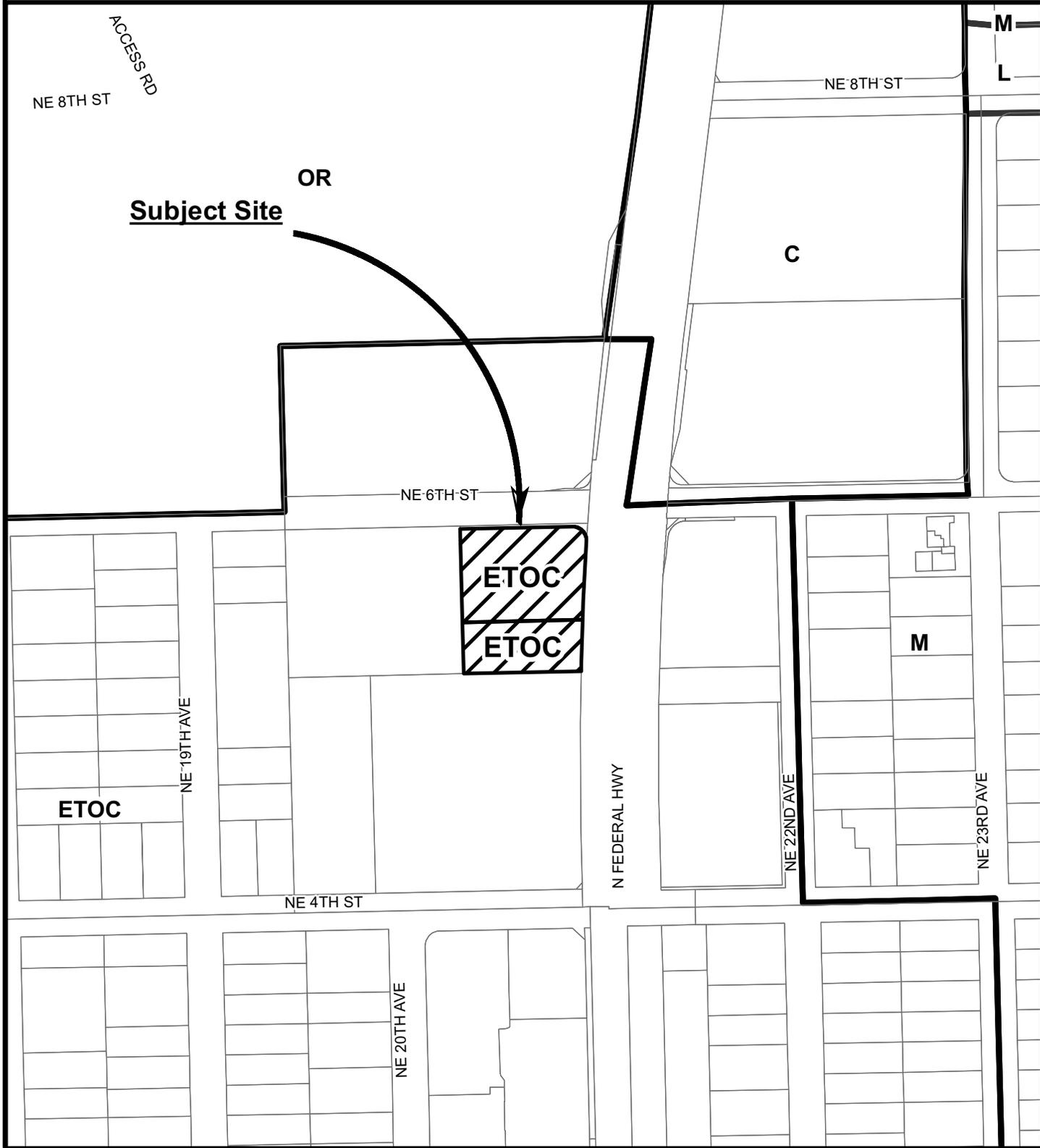
CITY OF POMPANO BEACH OFFICIAL ZONING MAP



P & Z
1 in = 220 ft

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CITY OF POMPANO BEACH OFFICIAL LAND USE MAP



P & Z
1 in = 220 ft

9

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LEGEND

FOR LAND USE PLAN		FOR ZONING MAP	
Symbol	Classification Units/ Acre	Symbol	District
		RS-1	Single-Family Residence 1
L	Low (1-5 DU/AC)	RS-2	Single-Family Residence 2
LM	Low- Medium (5-10 DU/AC)	RS-3	Single-Family Residence 3
M	Medium (10-16 DU/AC)	RS-4	Single-Family Residence 4
MH	Medium-High 16-25 DU/AC)	RS-L	Single-Family Residence Leisureville
H	High (25-46 DU/AC)		
12	Irregular Density	RD-1	Two- Family Residence
36	Irregular Density		
MUR-H	Mixed-Use Residential (High)	RM-7	Multiple-Family Residence 7
C	Commercial	RM-12	Multiple-Family Residence 12
CR	Commercial Recreation	RM-20	Multiple-Family Residence 20
		RM-30	Multiple-Family Residence 30
I	Industrial	RM-45	Multiple-Family Residence 45
		MH-12	Mobile Home Park
T	Transportation		
		B-1	Limited Business
U	Utilities	B-2	Neighborhood Business
		B-3	General Business
CF	Community Facilities	B-4	Heavy Business
		M-1	Marina Business
OR	Recreation & Open Space	CR	Commerical Recreation
W	Water	I-1	General Industrial
		I-1X	Special Industrial
RAC	Regional Activity Center	O-IP	Office Industrial Park
		M-2	Marina Industrial
LAC	Local Activity Center		
		*	TO
DPTOC	Downtown Pompano		Transit Oriented
	Transit Oriented Corridor	PR	Parks & Recreation
		CF	Community Facilities
		PU	Public Utility
*	ETOC	T	Transportation
	Corridor	BP	Business Parking
		LAC	Local Activity Center
	Number		
		RPUD	Residential Planned Unit Dev.
		PCD	Planned Commercial Development
		PD-TO	Planned Development - Transit Oriented
		PD-I	Planned Development - Infill
		RM-45 HR	Multiple-Family Residence 45 High Rise-Overlay
		AOD	Atlantic Boulevard Overlay District
		CRAO	Community Redevelopment Area Overlay
		NCO	Neighborhood Conservation Overlay
		*	EOD
			East Overlay District
		DPOD	Downtown Pompano Beach Overlay District