

PROPERTY ADDRESS:
900 N.W. 19TH AVENUE, POMPANO BEACH, FLORIDA 33311
FOLIO No. 4842-3404-0750

LEGAL DESCRIPTION:
LOT 5, BLOCK 12, HUNTERS MANOR ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 27 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

SCOPE OF WORK:
NEW 1 STORY SINGLE FAMILY RESIDENCE - 1,336 SF

- GENERAL NOTES**
- ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE FLORIDA BUILDING CODE-EDITION 2017 AND ALL REGULATORY LOCAL AND GOVERNMENTAL CODES.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THE ARCHITECT IF ANY DISCREPANCIES ARE DISCOVERED BEFORE PROCEEDING WITH THE WORK.
 - CONTRACTOR TO ACQUIRE ALL REQUIRED PERMITS FOR THE CONSTRUCTION AND SUBSEQUENT OCCUPANCY OF THE PROJECT.
 - ALL WORK DONE UNDER THE SUPERVISION OF THE CONTRACTOR SHALL BE DONE IN A NEAT AND WORKMAN-LIKE MANNER AND IN ACCORDANCE WITH ALL GOVERNING AGENCIES, RULES AND REGULATIONS HAVING JURISDICTION.
 - CONTRACTOR TO PROVIDE ALL SUPPLEMENTARY MATERIALS REQUIRED TO INSTALL, SUPPORT, BRACE AND SHORE ALL BUILDING COMPONENTS.
 - PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EQUIPMENT AND UTILITIES TO BE REMOVED. REMOVALS SHALL BE COORDINATED WITH THE OWNER AND ALL BUILDING AUTHORITIES HAVING JURISDICTION.
 - CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH RED-LINED AS-BUILT DRAWINGS FOR ANY AND ALL FIELD CHANGES AND/OR ADDITIONS TO THE WORK INCLUDING IN THE DRAWINGS.
 - IF ANY CHANGES AND/OR DEVIATIONS ARE MADE TO THESE PLANS WITHOUT THE WRITTEN AUTHORIZATION OF THE ARCHITECT, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND/OR DEVIATIONS.
 - IF DURING THE COURSE OF CONSTRUCTION ANY DEVIATIONS ARE MADE AT THE FIELD, AGAIN, THE CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR SUCH CHANGES AND DEVIATIONS.
 - ALL SHOP DRAWINGS SHALL BE SUBMITTED TO THE ARCHITECT FOR DESIGN CONFORMANCE ONLY.
 - SUBSTITUTIONS MUST BE REVIEWED AND APPROVED BY THE ARCHITECT OR ENGINEERS.
 - CONTRACTOR OR SUB-CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING HIS OPERATION AND ANY DAMAGE TO HIS WORK WHILE PROJECT IS UNDER CONSTRUCTION.
 - ALL DESIGNS AND DRAWINGS HEREIN AND PRINTS ISSUED BY THE ARCHITECT ARE THE PROPERTY OF THE ARCHITECT AND SHALL NOT BE REUSED ON ANY OTHER LOCATION EXCEPT WHERE THE ONE FOR WHICH THEY WERE EXPRESSLY DESIGNED IF THESE DRAWINGS OR ANY PART THEREOF IS REPRODUCED WITHOUT THE CONSENT OF THE ARCHITECT, THE PERSON SO DOING WILL BE INDEBTED TO ARCHITECT FOR HIS FULL COMMISSION.

TERMITE PROTECTION DISCLAIMER

2017 6TH EDITION FLORIDA BUILDING CODE SECTION 1816-1
2017 6TH EDITION FLORIDA BUILDING CODE SECTION R4409-13-5

-TERMITE PROTECTION SHALL BE PROVIDED BY REGISTERED TERMITIDES, INCLUDING SOIL-APPLIED PESTICIDES, BAITING SYSTEMS AND PESTICIDES APPLIED TO WOOD, OR OTHER APPROVED METHODS OF TERMITE PROTECTION LABELED FOR USE AS PREVENTIVE TREATMENT TO NEW CONSTRUCTION.

-UPON COMPLETION OF THE APPLICATION OF THE TERMITE PROTECTIVE TREATMENT, A CERTIFICATE OF COMPLIANCE SHALL BE ISSUED TO THE BLDG. DEPT. BY THE LICENSED PEST CONTROL COMPANY THAT CONTAINS THE FOLLOWING STATEMENT: THIS BUILDING HAS RECEIVED A COMPLETE TREATMENT FOR THE PREVENTION OF SUBTERRANEAN TERMITES.

-TREATMENT IS IN ACCORDANCE WITH RULES AND LAWS ESTABLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.

SCHEDULE OF AREAS

LOCATION: 900 N.W. 19TH AVENUE, POMPANO BEACH, FLORIDA 33311

ZONING: RM-12

LOT AREA: 6,822.83 Sq. Ft.

ALLOWABLE USES: MULTIPLE-FAMILY RESIDENCE

BUILDING AREA:

LIVING AREA.....	1,336.0 Sq. Ft.
PORCH.....	65.0 Sq. Ft.
TOTAL RESIDENCE.....	1,401.0 Sq. Ft.

BUILDING SET-BACKS:

REQUIRED	PROVIDED
FRONT 25.0' MIN	27.08'
REAR 10.0' MIN	55.16'
RIGHT SIDE 8.0' MIN	11.08'
LEFT SIDE 8.0' MIN	12.5'

BUILDING HEIGHT:
35.0' MAX ALLOWED - 20.8' MAX ROOF RIDGE HEIGHT PROVIDED

PARKING REQUIRED RESIDENTIAL

REQUIRED.....	2 PARKING SPACES
PROVIDED.....	2 PARKING SPACES

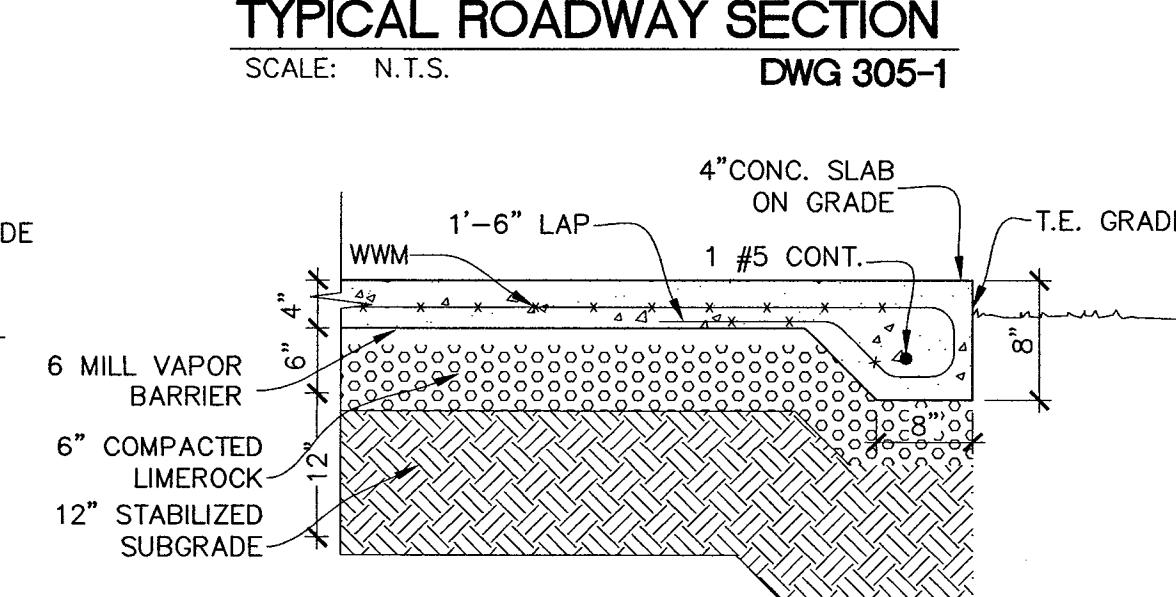
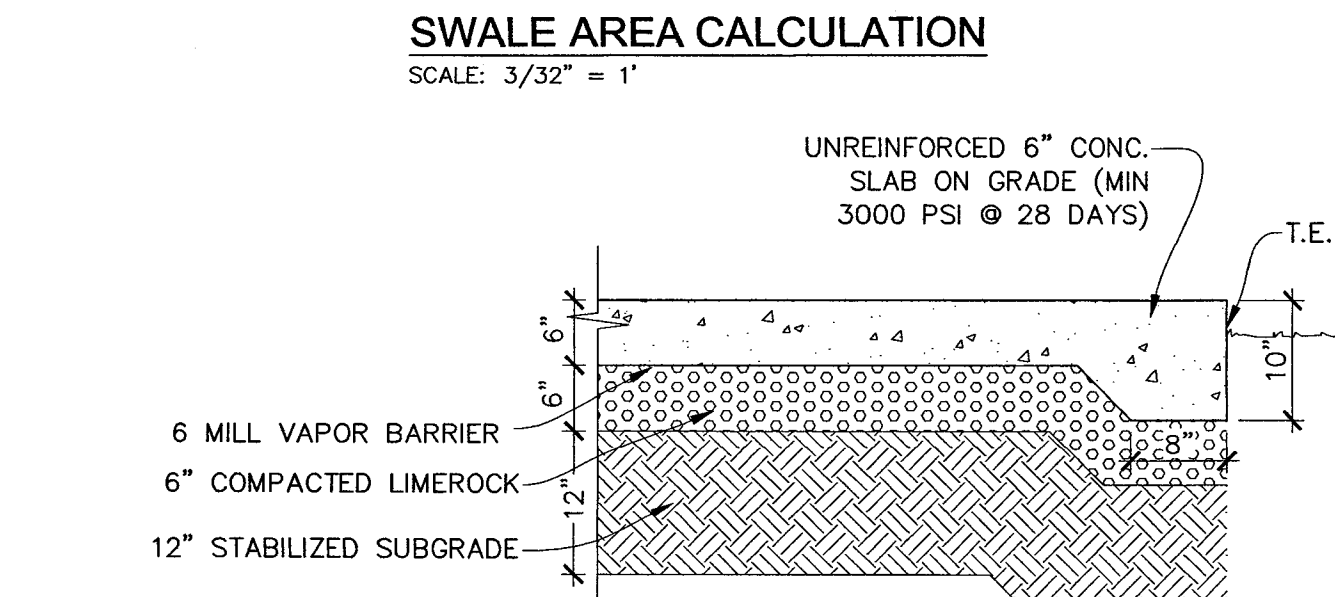
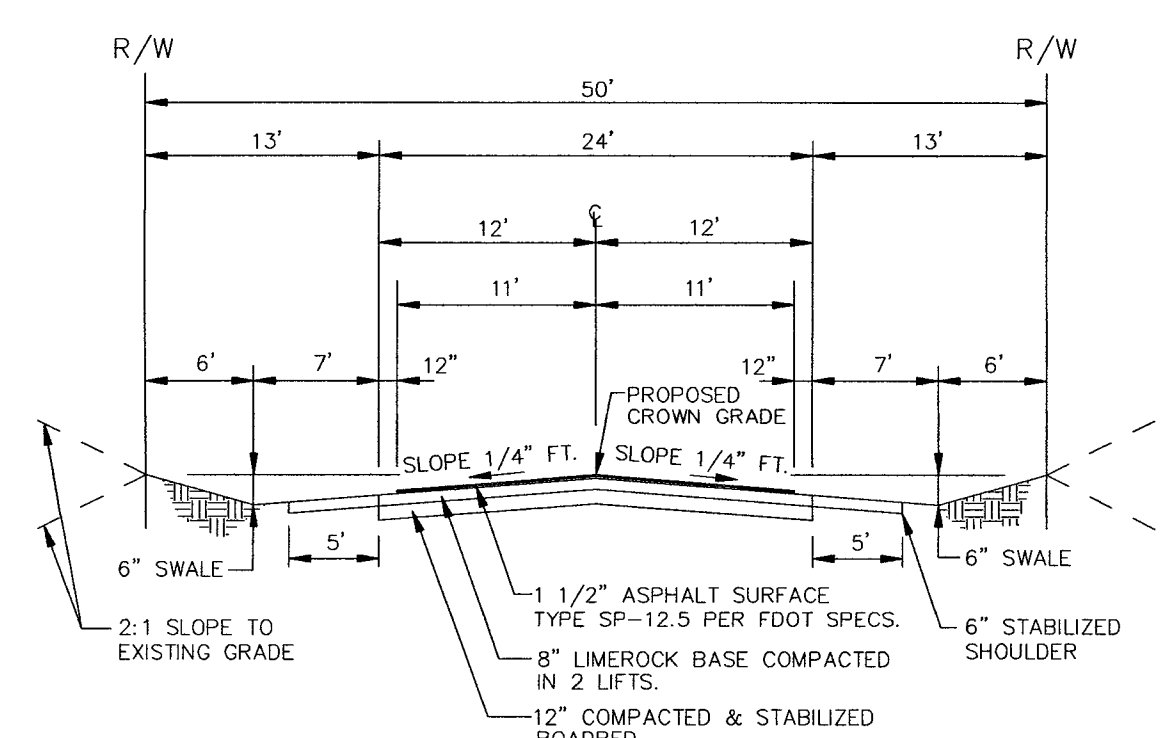
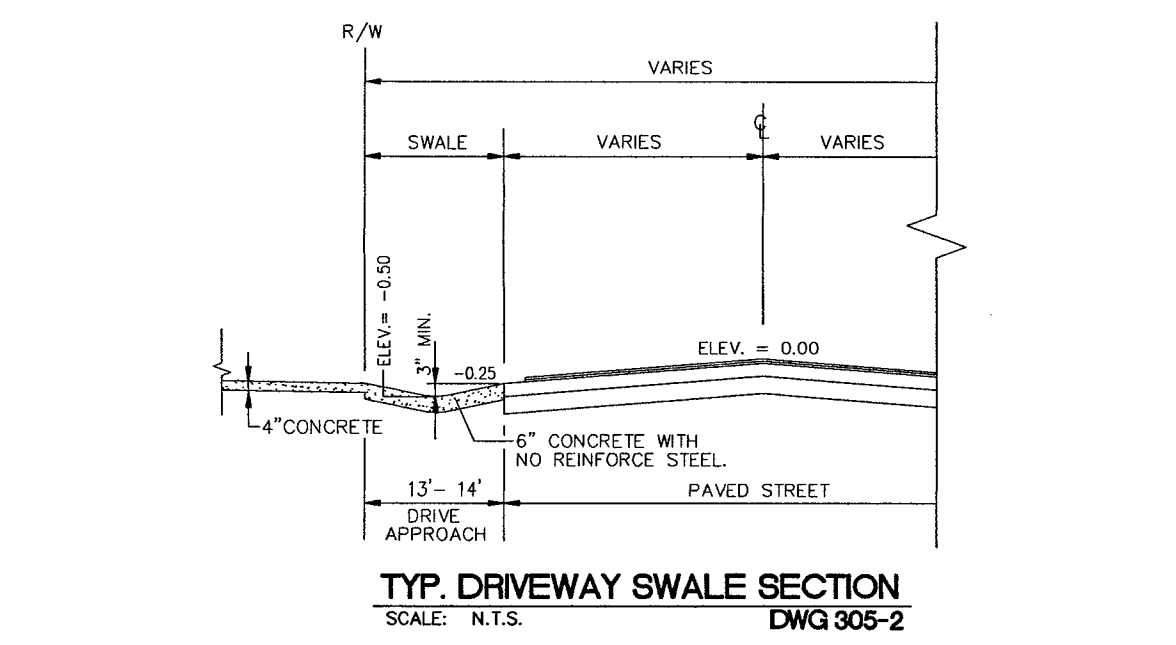
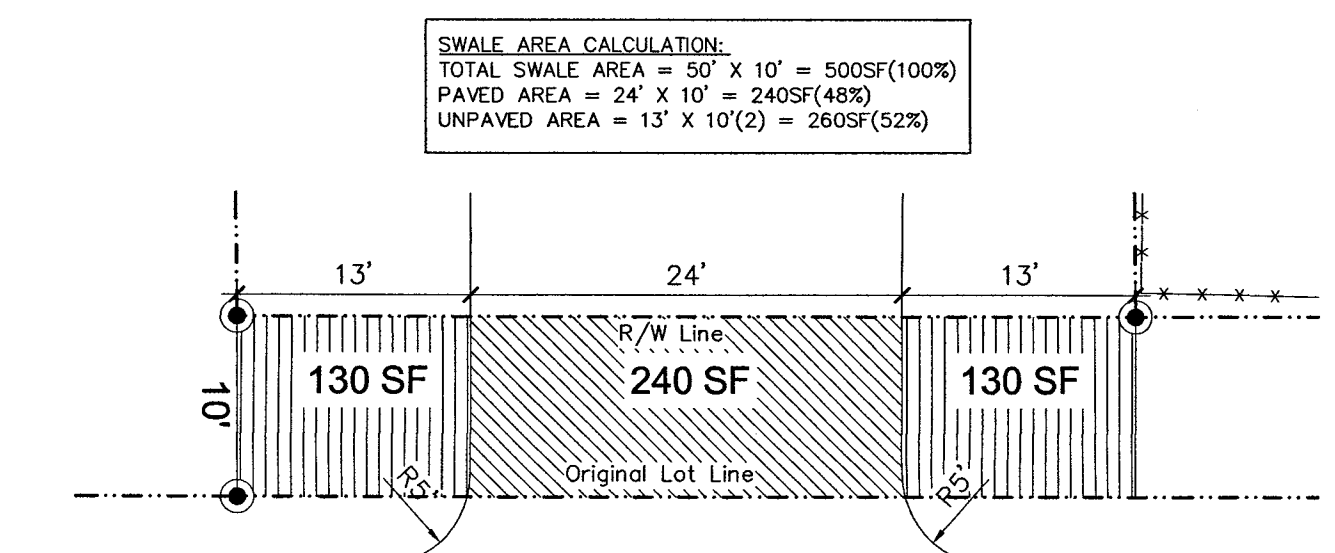
GREEN AREA CALCULATIONS: (25% REQ.)

TOTAL RESIDENCE	1,401.0 Sq. Ft.	20.53%
DRIVEWAY	650.0 Sq. Ft.	9.52%
A/C UNIT CONC. PAD	50.0 Sq. Ft.	0.72%
TOTAL	2,101.0 Sq. Ft.	30.79%
TOTAL GREEN AREA PROVIDED =	6822.83 SF. - 2,101.0 SF. = 4,721.83 SF. = 69.21%	

LOT COVERAGE CALCULATION: (60% MAX)
TOTAL LOT COVERAGE PROVIDED = 1,401.0 SF. / 6822.83 SF. = 20.53%

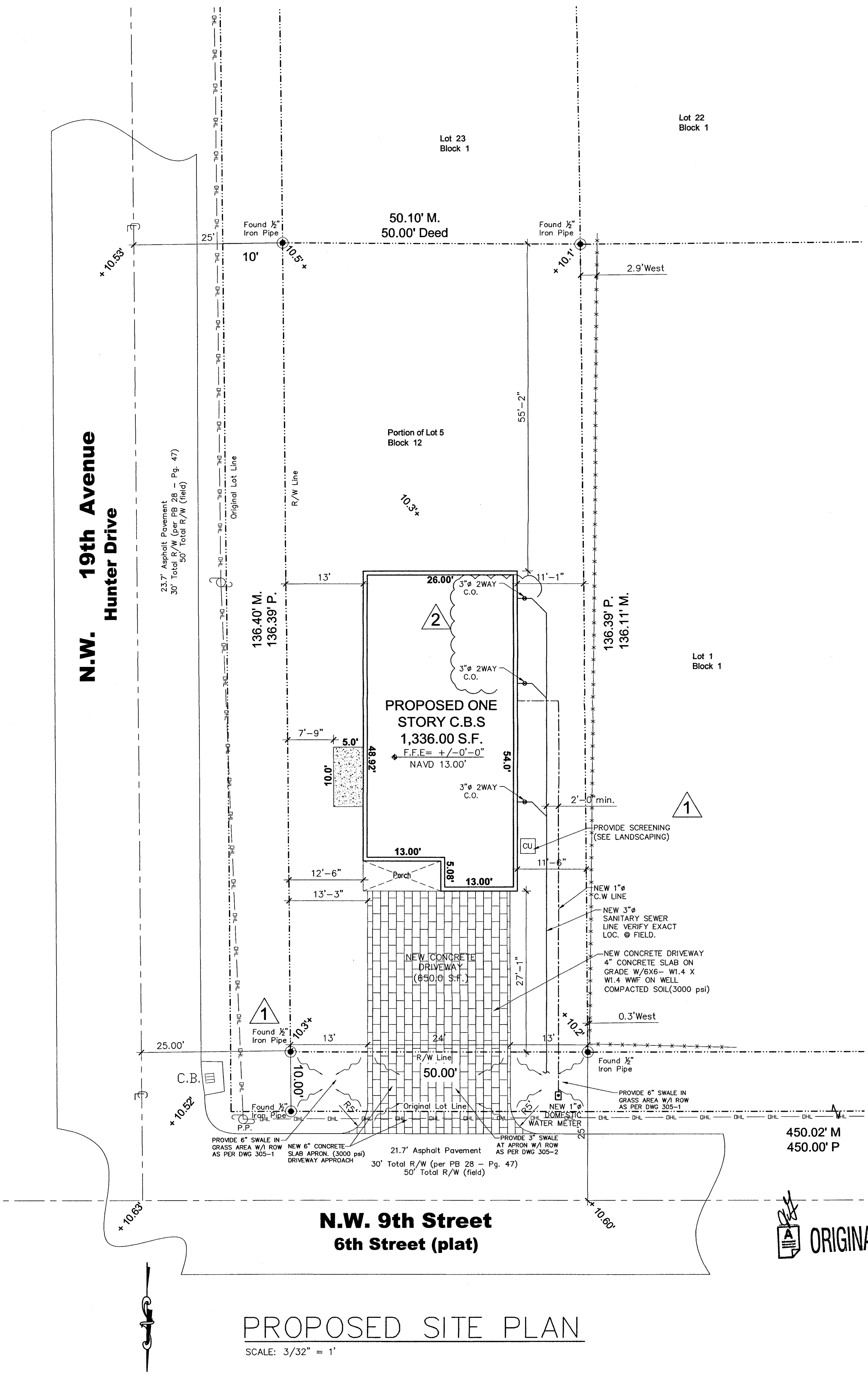
FRONT YARD PERVIOUS CALCULATION: (50% REQ.)

FRONT YARD (50FT X 25FT SETBACK)	1,250 S.F.
DRIVEWAY W/A 25' SETBACK	-600 S.F.
TOTAL FRONT YARD PERVIOUS AREA =	650 S.F. (52% PROVIDED)



6" CONCRETE SLAB W/THICKENED EDGE CROSS SECTION(DRIVEWAY APPROACH)
SCALE: 3/4" = 1'-0" (RIGHT OF WAY)

THICKENED EDGE DETAIL (T.E.) 4" CONCRETE SLAB(DRIVEWAY)
SCALE: 3/4" = 1'-0" (PRIVATE PROPERTY)



Revisions

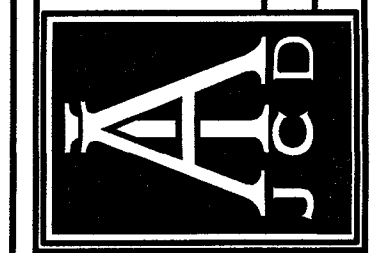
06.18.18	1ST ISSUE
11.07.18	CITY COMM
12.05.18	CITY COMM

PROPOSED SINGLE FAMILY
GO ECO HOMES
900 NW 19TH AVENUE
POMPANO BEACH, FLORIDA 33311

JCD ARCHITECT INC.
JUAN C. DAVID R.A. 0015344
Design & Development
LEED ACCREDITED PROFESSIONAL

Architecture Interiors Planning Construction

1386 Coral Way, Suite 401 Miami, Florida 33145 Phone: (305) 585-4543 Fax: (305) 585-4550

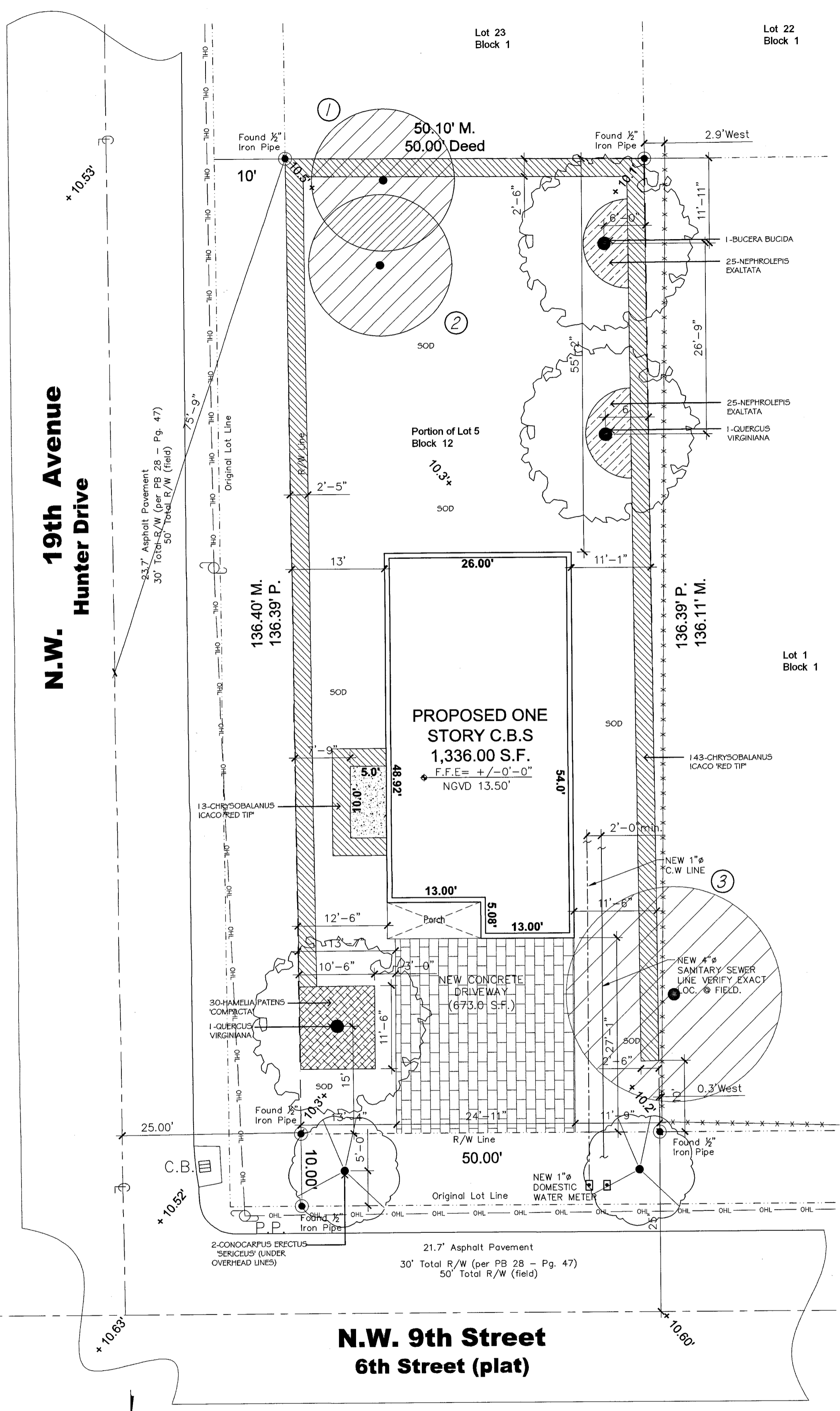


Job No. _____
Date _____
Scale SHOWN _____

STATE OF FLORIDA
JUAN C. DAVID
REGISTERED ARCHITECT
NO. 15344
EXPIRES 12/31/2024

AA-26001560
Sheet No. **A-0**

Designs are subject to modification or change as required by actual measurements, standard industry practices in light of existing structural and other conditions, applicable logg, codes, and the like. These plans are and shall remain the property of M. David and shall not be sold or reproduced without the prior written consent. M. David shall be notified of any changes req'd by submission of any phase for bid or construction.



LANDSCAPE PLAN
SCALE: 3/32" = 1'
GRAPHIC SCALE

TREE DISPOSITION LEGEND								
No.	SCIENTIFIC NAME	COMMON NAME	D.B.H. (Inches)	HEIGHT (Feet)	CANOPY (Feet)	MITIGATION	CONDITION	DISPOSITION
1	<i>Bucida buceras</i>	Black Olive	24	30	20		Moderate	To Remain
2	<i>Bucida buceras</i>	Black Olive	22	25	20		Moderate	To Remain
3	Unknown	Pine	12	25	30			Neighbor's property

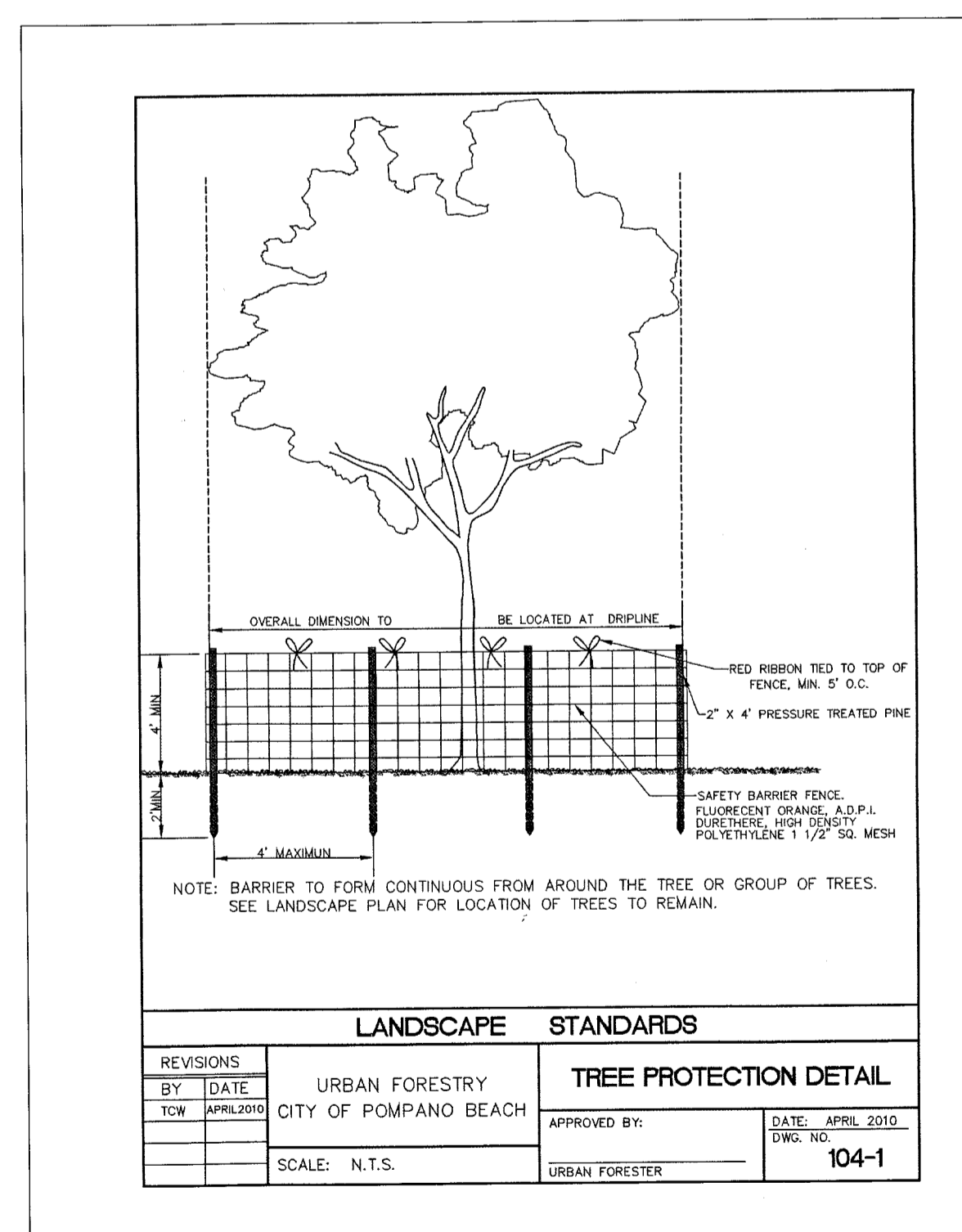
LANDSCAPE LEGEND		
Zoning District: RM-12	Net Lot Area: .16 Acre	Lot size: 6,822.83 SF
TREES	REQUIRED	PROVIDED
A. The number of trees required per 3,000 SF of net lot = (6,822.83/3,000 = 2.2)	3	3
B. Percentage of native trees required = the number of trees provided x 50% =	2	3
C. Street trees (max. average spacing of 40' o.c.): 50' linear feet along street / 40' o.c. =	1	1
D. Total number of trees provided =	3	3
SHRUBS		
E. (5) Shrubs per 3,000 SF of lot area:	11	106
IRRIGATION PLAN		
F. Auto Irrigation x or hose bib provided.		

GREEN AREA CALCULATIONS: (25% REQ.)		
TOTAL RESIDENCE	1,401.0 Sq. Ft.	20.53%
DRIVEWAY	673.0 Sq. Ft.	9.79%
A/C UNIT CONC. PAD	50.0 Sq. Ft.	0.72%
TOTAL	2,124.0 Sq. Ft.	31.04%
TOTAL GREEN AREA PROVIDED = 6822.83 SF.	- 2,124.0 SF.	= 4,698.83 SF. = 68.96%

LOT COVERAGE CALCULATION: (60% MAX)		
TOTAL LOT COVERAGE PROVIDED = 1,401.0 SF.	/ 6822.83 SF.	= 20.53%

FRONT YARD PERVIOUS CALCULATION: (50% REQ.)		
FRONT YARD (50FT X 25FT SETBACK)	1,250 S.F.	
DRIVEWAY W/ 25' SETBACK	-622.13 S.F.	
TOTAL FRONT YARD PERVIOUS AREA =	627.87 S.F.	50.21%

PLANT LIST						
QTY.	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	NATIVE STATUS	DROUGHT TOLERANCE	
TREES						
1	<i>Bucida buceras</i>	Black Olive	12' Ht. x 4" Spr., FG, 2" DBH, FL #1 or better			
2	<i>Quercus virginiana</i>	Live Oak	12' Ht. x 4" Spr., FG, 2" DBH, FL #1 or better			
STREET TREES						
2	<i>Conocarpus erectus</i> 'Sericeus'	Silver Buttonwood	min. 10' Ht. x 3" Spr., FG, 1.5"-2" DBH, Street Trees, FL #1	Native	Tolerant	
SHRUBS						
156	<i>Chrysobalanus icaco</i> 'Red Tip'	Red Tip Cocoplum	24" OC, full, 24" ht. at time of planting	Native	Tolerant	
30	<i>Hamelia patens</i> 'Compacta'	Dwarf Firebush	24" OC, full, 24" ht. at time of planting		Tolerant	
186	Total					
GROUNDCOVERS						
50	<i>Neprolepis exaltata</i>	Boston Fern	24" OC, full, 12" ht. at time of planting		Tolerant	



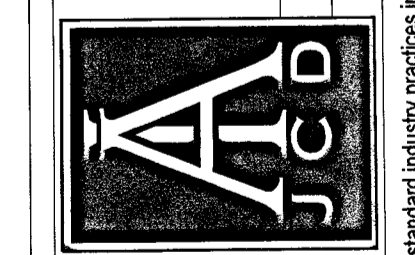
- NOTES:**
- REFER TO SHEET L-1.1 FOR PLANTING DETAILS & NOTES.
 - TREE PROTECTION WILL BE ADDED TO ANY TREE/PALM WITHIN THE LIMITS OF WORK OR CLOSE PROXIMITY FOR THE ENTIRE PROJECT UNTIL COMPLETION, AS PER CITY COMMENTS.
 - ALL ROAD ROCK OR ANY UNNATURAL MATERIALS SHALL BE REMOVED AND REPLACED WITH GOOD PLANTING SOIL FROM ALL LANDSCAPED AREAS.
 - A PRE-CONSTRUCTION MEETING WITH URBAN FORESTRY IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED.
 - REFER TO SHEET L-1.1 FOR PLANTING DETAILS & NOTES
 - IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 50% OVERLAP.

Revisions	
△	06.18.18 1ST.ISSUE
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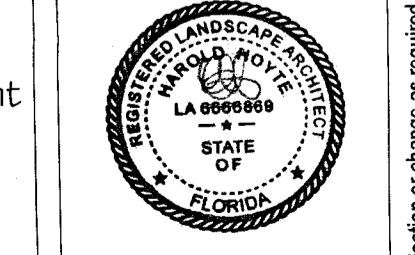
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Job No.
Date
Scale AS SHOWN



Harold Hoyte
Registered Landscape Architect
LA#6666869
Seal
Sheet No.
L-1.0

Landscape Architect
JCD
CONSULTING
Landscape Sub-consultant
Jerez Design Group, Inc.

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