



DEVELOPMENT SERVICES

David L. Recor, ICMA-CM, Development Services Director
E: david.recor@copbfl.com | P: 954.786.4664 | F: 954.786.4504

DEVELOPMENT ORDER (21 – 12000008)

A DEVELOPMENT ORDER ISSUED BY THE CHAIRMAN OF THE DEVELOPMENT REVIEW COMMITTEE, CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA, PURSUANT TO SECTIONS 155.2407, CODE OF ORDINANCES; APPROVING THE APPLICATION FOR THE DEVELOPMENT PERMIT FOR SITE IMPROVEMENTS ON THE PROPERTY LOCATED AT 2501 NORTH FEDERAL HIGHWAY.

WHEREAS, Sections 155.2407, Code of Ordinances, defines the project referenced above as a Minor Site Plan;

WHEREAS, Section 155.2207, Code of Ordinances, authorizes the Director of Development Services to conduct staff review for this project, which involves improvements.

WHEREAS, the application for development permit is in general compliance with the applicable standards and minimum requirements of this Code; and

WHEREAS, copies of the site plan, dimensional control plan and landscape plan are on file with the Department of Development Services, and referenced herein as **Exhibit “A”**.

The Application for Development Permit is hereby approved by the Development Services Director designee as Chairman of the Development Review Committee subject to the DRC comments from the meeting of June 16, 2021.

1. Provide a copy of the final Plat prior to permit approval.
2. Provide evidence of the required right-of-way dedication prior to permit approval.
3. Zoning Compliance permit plans subject to compliance with all applicable Code requirements, including but not limited to DRC comments issued for this site plan.
4. A copy of the CPTED plan approved by the Broward Sheriff’s Office must be submitted for Zoning Compliance Permit approval.
5. Landscape and Irrigation Plans must comply with Zoning Code requirements as verified by the City’s Urban Forestry Division.

EXPIRATION DATE IS 24 MONTHS FROM THE DATE OF SIGNING

Daniel T. Keester-O’Mills, Principal Planner

8/17/2021

Date



Raising Cane's
 Restaurant #0697
 2501 N. Federal Highway
 Pompano Beach, FL 33064
 PAE-HV (Scheme A)

Designers Information:
CSRS
 6767 Perkins Road, Suite 200
 Baton Rouge, Louisiana 70808
 Telephone: 225 769-0546
 www.csrsinc.com

Project: PAE-HV (E) LOCATION
 Project Issue Date: 06-04-2020
 CSRS Project Manager: JR

SET VERSION
 00-00-0000



Kimley-Horn
 & Associates, Inc.
 405 KATH STREET, SUITE 200, WOOD BRANCH, VA 22090
 WWW.KIMLEY-HORN.COM
 LICENSE NO. 111315
 STATE OF CALIFORNIA

NO.	DATE	DESCRIPTION
1		

811
 Know what's below.
 Call before you dig.

C5.0

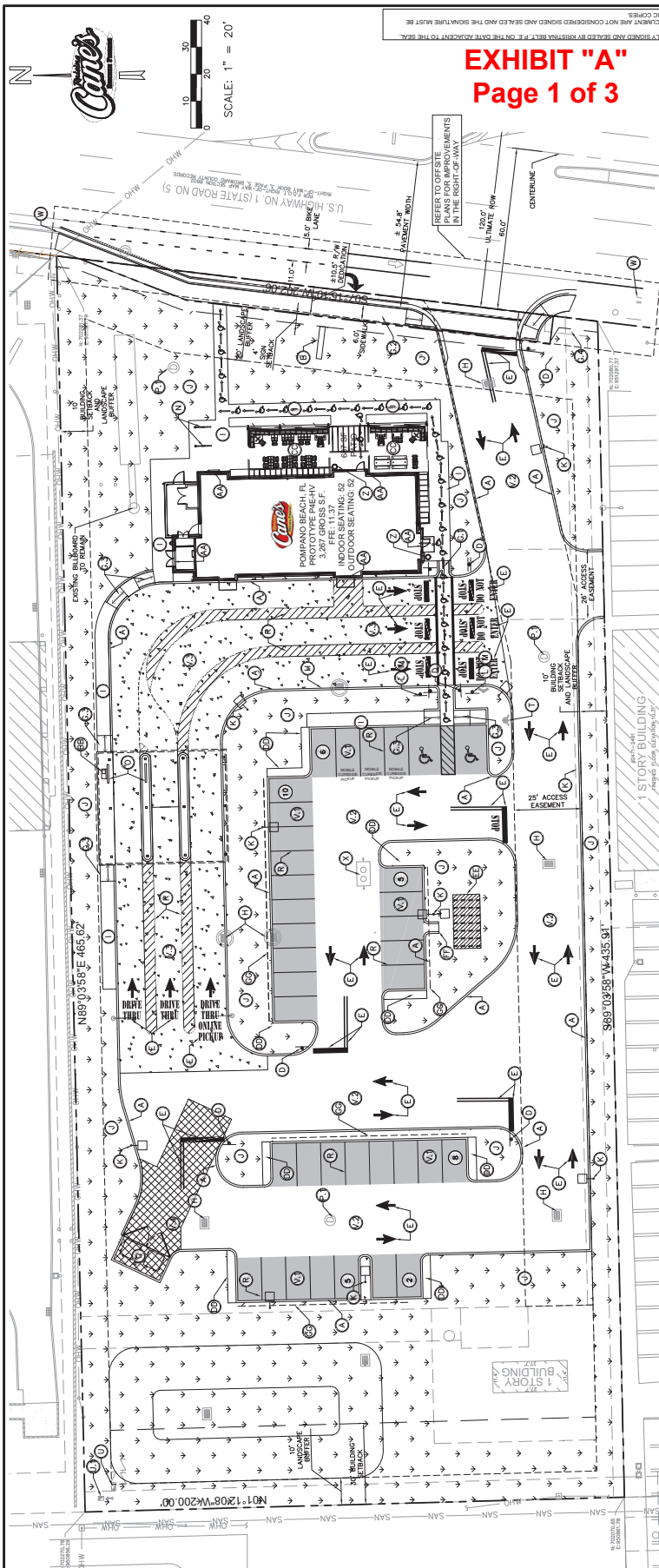
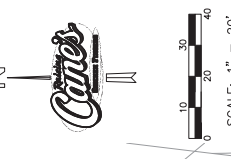


EXHIBIT "A"
 Page 1 of 3



PARKING / SITE DATA	
EXISTING PARKING	0
REQUIRED PARKING	53 SPACES
TOTAL PARKING	53 SPACES
MINIMUM ALLOWED	53% OF REQUIRED PARKING = 33 SPACES

- SITE NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL LOCAL JURISDICTION REGULATIONS AND CODES AND OSHA STANDARDS.
 - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR FINISHES AND COLORS AND TO THE ELECTRICAL PLANS FOR DIMENSIONS AND DETAILS.
 - REFER TO ARCHITECTURAL PLANS FOR DIMENSIONS, FINISHES, COLORS, AND DETAILS.
 - EXISTING UTILITIES AND/OR UTILITIES WITHIN CONSTRUCTION LIMITS ARE TO BE MAINTAINED, REMOVED OR RELOCATED AS NECESSARY.
 - PROVIDE 24" ACCESS EASEMENT TO PROPERTY FROM ADRIFT CONSTRUCTION.
 - PROVIDE 10' SIDEWALK AND 24" ACCESS EASEMENT TO PROPERTY FROM ADRIFT CONSTRUCTION.
 - PROVIDE 24" ACCESS EASEMENT TO PROPERTY FROM ADRIFT CONSTRUCTION.

- KEYNOTE LEGEND**
- 1 TYPE TO CURB. SEE DETAIL SHEET C&D.
 - 2 PROPOSED CURB. SEE DETAIL SHEET C&D.
 - 3 RECYCLING/DUMPSTER COLLECTION. REFER TO ARCHITECTURAL PLANS FOR LOCATION. REFER TO SHEET B&B - UTILITY PLAN FOR DETAILS OF SCREENING GATE, BUILDINGS AND MASSING.
 - 4 PROPOSED RECYCLING/DUMPSTER COLLECTION. REFER TO SHEET C&D - STAGING AND STORAGE AREA FOR DETAILS.
 - 5 ACCESSIBLE PARKING SIGN. REFER TO SHEET C&D - STAGING AND STORAGE AREA FOR DETAILS.
 - 6 WHEEL STOP.
 - 7 FOOT TYPE CURB RAMP.
 - 8 FOOT TYPE CURB RAMP.
 - 9 FOOT TYPE CURB RAMP.
 - 10 FOOT TYPE CURB RAMP.
 - 11 PROPOSED SIGN MOUNT.
 - 12 CONCRETE SIGN MOUNT. SEE DETAIL SHEET C&D.
 - 13 LANDSCAPE AREA. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - 14 SITE LIGHTING. REFER TO LIGHTING PLAN FOR DETAILS.
 - 15 ACCESSIBLE PARKING SIGN. REFER TO SHEET C&D - STAGING AND STORAGE AREA FOR DETAILS.
 - 16 SIGNAGE. REFER TO SIGNAGE PLAN FOR DETAILS.
 - 17 BICYCLE RACK. SEE ARCHITECTURAL PLANS FOR DETAILS.
 - 18 DRIVE TRAY UNDERCLOSET. REFER TO SHEET C&D - STAGING AND STORAGE AREA FOR DETAILS.
 - 19 FILING CABINET. REFER TO SHEET C&D - STAGING AND STORAGE AREA FOR DETAILS.
 - 20 PROPOSED 1 TON SWIVER VEHICLE.
 - 21 TRUCK. SEE DETAIL SHEET C&D - STAGING AND STORAGE PLAN.
 - 22 TRUCK. SEE DETAIL SHEET C&D - STAGING AND STORAGE PLAN.

- LEGEND**
- PROPOSED LINE
 - ADJACENT PROPERTY LINE
 - ELEMENT
 - BUILDING SETBACK
 - PROPOSED CONCRETE CURB
 - EXISTING CURB
 - PROPOSED PARKING COATING
 - LIGHT DUTY ASPHALT PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - HEAVY DUTY ASPHALT PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - 6" LIGHT DUTY CONCRETE PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - 8" HEAVY DUTY CONCRETE PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - PROPOSED LANDSCAPE AREA.
 - 6" REINFORCED CONCRETE PAVEMENT. REFER TO ARCHITECTURAL PLANS FOR DETAILS.
 - AREA OF RV OCCUPATION (6:04 AC).

BENCHMARKS
 ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988
 BROWARD COUNTY BENCHMARK #115. ELEVATION 11.02 FEET.

AAC
 P221-12000008
 8/06/2021

CAUTION!
 CONTRACTOR IS TO VERIFY
 LOCATIONS AND UTILITIES
 PRIOR TO CONSTRUCTION.



Raising Cane's
Restaurant #0697
2501 N. Federal Highway
Pompano Beach, FL 33064
P&E-HV (Scheme A)

Designers Information:
CSRS
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Telephone: 225 769-0546
www.csrsinc.com

Project Name: RITCHEY EVOLUTION
Project Issue Date: 04-04-2020
CSRS Project Manager: JR

SET VERSION
01-00-0000



Kimley-Horn
© 2023 KIMLEY-HORN AND ASSOCIATES, INC.
445 EAST STREET, SUITE 200, POMPANO BEACH, FL 33060
WWW.KIMLEY-HORN.COM
PROFESSIONAL ENGINEER LICENSE NO. 13900
STATE OF FLORIDA

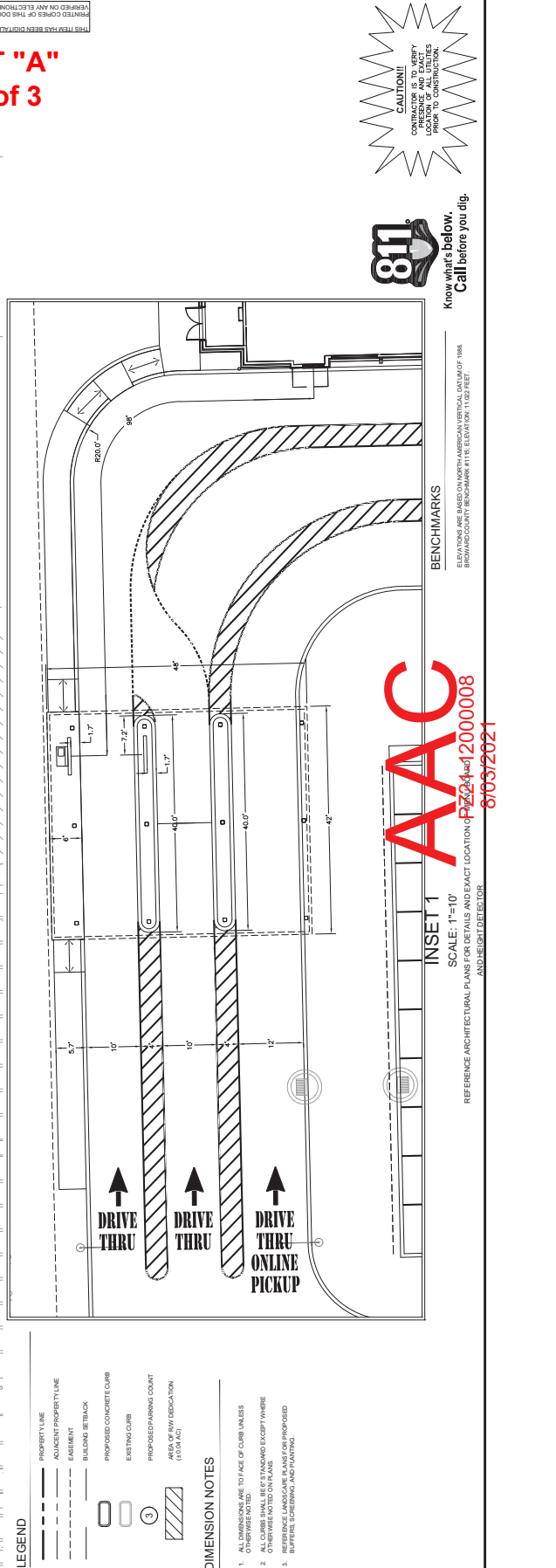
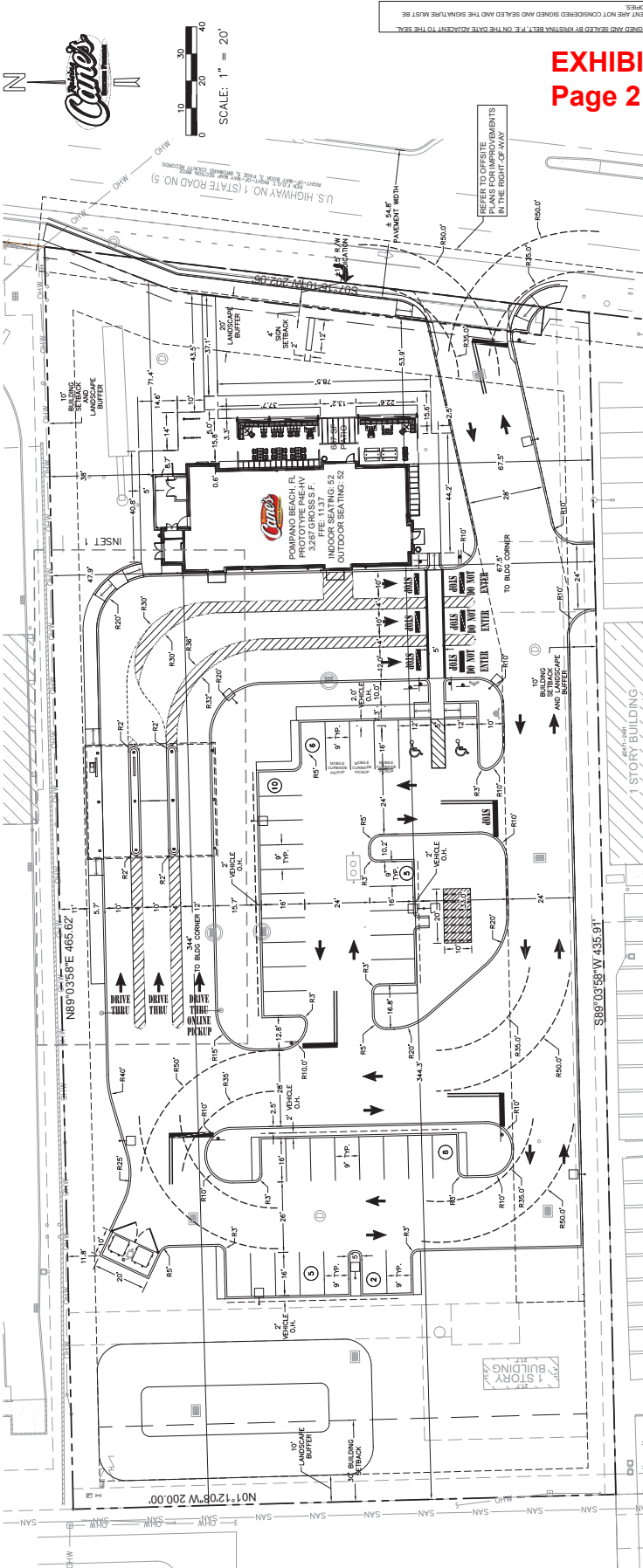
Sheet Revision Table:

No.	Date	Description
1		
2		

Sheet Title: DIMENSIONAL CONTROL PLAN

Sheet Number: C5.1

EXHIBIT "A" Page 2 of 3



811
Know what's below.
Call before you dig.

CAUTION!
CONTRACTOR IS TO VERIFY
LOCATIONS AND UTILITIES
PRIOR TO CONSTRUCTION.

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- ELEMENT
- BUILDING SETBACK
- PROPOSED CONCRETE CURB
- EXISTING CURB
- PROPOSED PARKING COUNT
(MINIMUM)
- AREA OF RVY DEDICATION
(MINIMUM)

- DIMENSION NOTES**
1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
 2. ALL CURBS SHALL BE 6" STANDARD EXCEPT WHERE OTHERWISE NOTED ON PLANS.
 3. REFERENCE LANDSCAPE PLAN IS MANDATORY FOR PROPOSED SUPPLEMENTAL LANDSCAPING AND PLANTING.

BENCHMARKS
BENCHMARKS ARE BASED ON NORTH AMERICAN VERTICAL DATUM (NAVD) 1988.
BROWARD COUNTY BENCHMARK #118: ELEVATION 11.022 FEET.

AAAC
2000008
8/09/2021

INSET 1
SCALE: 1"=10'
REFERENCE ARCHITECTURAL PLANS FOR DETAILS AND EXACT LOCATION OF CURB AND DRIVE THRU LANE.
AND HEIGHT DEDICATOR



Raising Cane's
Restaurant #0697
2501 N. FEDERAL HWY
POMPANO BEACH, FL 33064
PAE-HV

6800 Blaup Road, Plano, TX 75024
972-769-1100 Fax: 972-769-3101
Restaurant Support Office

CSRS
6767 Perkins Road, Suite 200
Baton Rouge, Louisiana 70808
Telephone: 225-769-0946
www.csrsllc.com

Project Name: RICHIE RELOCATION
Project Issue Date: 09-09-2020
CSRS Project Manager:
LE

SET VERSION
00-00-0000

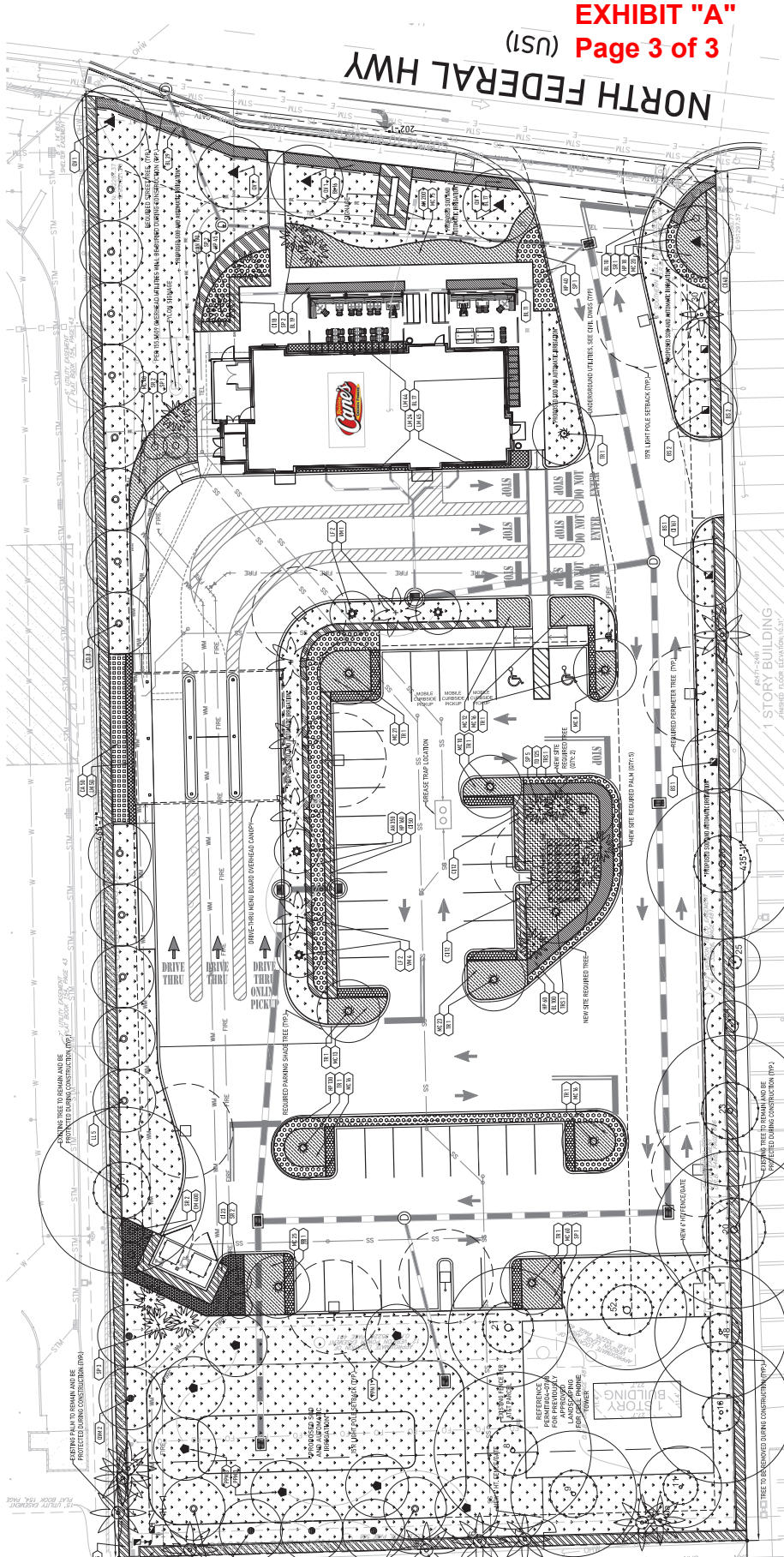
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HARRISON
Date: 2023.07.12
17:23:02 -0400

REVISIONS	
1	
2	
3	
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7	
8	
9	

Sheet Title: **LANDSCAPE PLAN**
Date: 08/03/2023
Project Number:
Drawn By:
Sheet Number:

L1.0

EXHIBIT "A" Page 3 of 3 (US1)



NOTES:
ALL INVASIVE / INVASIVE SPECIES TO BE REMOVED DURING CONSTRUCTION.
ALL HEDGES ADJOINING CITY RIGHT-OF-WAYS ARE TO BE MAINTAINED AT A HEIGHT TO GREATER THAN 2'.
AS PER USDOHLE AND DEVELOPMENT WORK, OR DEMO ACTIVITY SHALL BE ALLOWED WITHIN THE DRIPLINE OF A TREE OR TREE PROTECTION AREA.
AN AUTOMATIC PROPERLY FUNCTIONING UNDERGROUND IRRIGATION SYSTEM WITH A RAIN SENSING CUTOFF DEVICE SHALL BE DESIGNED AND INSTALLED IN COMPLIANCE WITH THE CITY OF POMPANO BEACH BUILDING CODE. THE IRRIGATION SYSTEM SHALL BE PROPERLY INSTALLED AND MAINTAINED AND PROVIDE A MINIMUM COVERAGE OF 90% WITH 50% OVERLAP.
THIS IRRIGATION IS TO BE MAINTAINED AND MAINTENANCE IS REQUIRED LANDSCAPE MATERIAL.
LANDSCAPE ARCHITECT TO LAY OUT ALL PLANT MATERIAL.

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MITIGATION REQUIREMENTS:
TOTAL PROPOSED DBH INCHES OF TREE REMOVALS = 80" DBH INCHES
TOTAL NUMBER OF PROPOSED PALMS TO BE REMOVED = 8 PALMS
TOTAL NUMBER OF PROPOSED INVASIVE TREES TO BE REMOVED = 4
TOTAL NUMBER OF PROPOSED TREE SPECIES TO BE REMOVED = 6
REQUIRED TO MEET MITIGATION:
8 NEW CALIFORNIA RED PALMS TO REPLACE 8 PALMS REMOVED
4 DBH / MIN. IN. OR 4 FT X 2 FT TREES = 8"
8 2' X 2' IN. OR 4 FT X 2 FT TREES = 8"
8 2' X 2' IN. OR 4 FT X 2 FT TREES = 8"
8 2' X 2' IN. OR 4 FT X 2 FT TREES = 8"
8 2' X 2' IN. OR 4 FT X 2 FT TREES = 8"
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TABLE 155.1207 C MINIMUM DEVELOPMENT SITE LANDSCAPE REQUIREMENTS:

SITE AREA - 7,200 SQ. SQUARE FEET

ZONING DISTRICT IS 2-C COMMERCIAL; 1 TREE AND 5 SHRUBS PER 1,000 SQUARE FEET OF LOT AREA OR MAJOR

TABLE 155.1207 C MINIMUM DEVELOPMENT SITE LANDSCAPE REQUIREMENTS:

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ZONING DISTRICT IS 2-C COMMERCIAL; 1 TREE AND 5 SHRUBS PER 1,000 SQUARE FEET OF LOT AREA OR MAJOR

PROPOSED RAISING CANE'S RESTAURANT #0697 2501 NORTH FEDERAL HWY, POMPANO BEACH, FLORIDA 33064 LANDSCAPE PLANTING LEGEND

PLANTING MATERIALS - TREES AND PALMS	TAG	SCIENTIFIC NAME	COMMON NAME	SIZE	REMARKS
5	1	SP. CAESALPINIACEAE	WAX PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	2	SP. PALMACEAE	COCONUT PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	3	SP. PALMACEAE	SWAMP PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	4	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	5	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	6	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	7	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	8	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES
5	9	SP. PALMACEAE	FLORIDA PALM	4" DBH	-CROWN 10' HIGHER THAN ADJACENT TREES



NOT FOR CONSTRUCTION

AAC

PZZ1-12000008
8/03/2021

SEE SHEET L11 FOR FULL LANDSCAPE PLANTING SCHEDULE