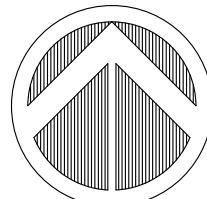


LOCATION MAP:
NOT TO SCALE

ALTA/NSPS LAND TILE SURVEY

PROPERTY ADDRESS:
PARCEL ID: 4842 27 02 0410
1857 NW 21st STREET, POMPAÑO BEACH, FL. 33069



SCALE 1"=20'

Legal Description: Phase 1

LOTS 15, 16 & 17, BLOCK 3 OF RAMBLER PARK 2ND SECTION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 52, PAGE 50, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; TOGETHER WITH THAT PORTION OF LAND TO THE CENTER LINE OF THE 20 FOOT ALLEY LYING NORTH AND ADJACENT TO THE HEREIN DESCRIBED PROPERTY AS CLOSED, VACATED, ABANDONED AND DISCONTINUED AS PER CITY OF POMPAÑO BEACH, FLORIDA, ORDINANCE 2023-68, RECORDED SEPTEMBER 19, 2023 IN INSTRUMENT NUMBER 119111815, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Surveyor's Notes:

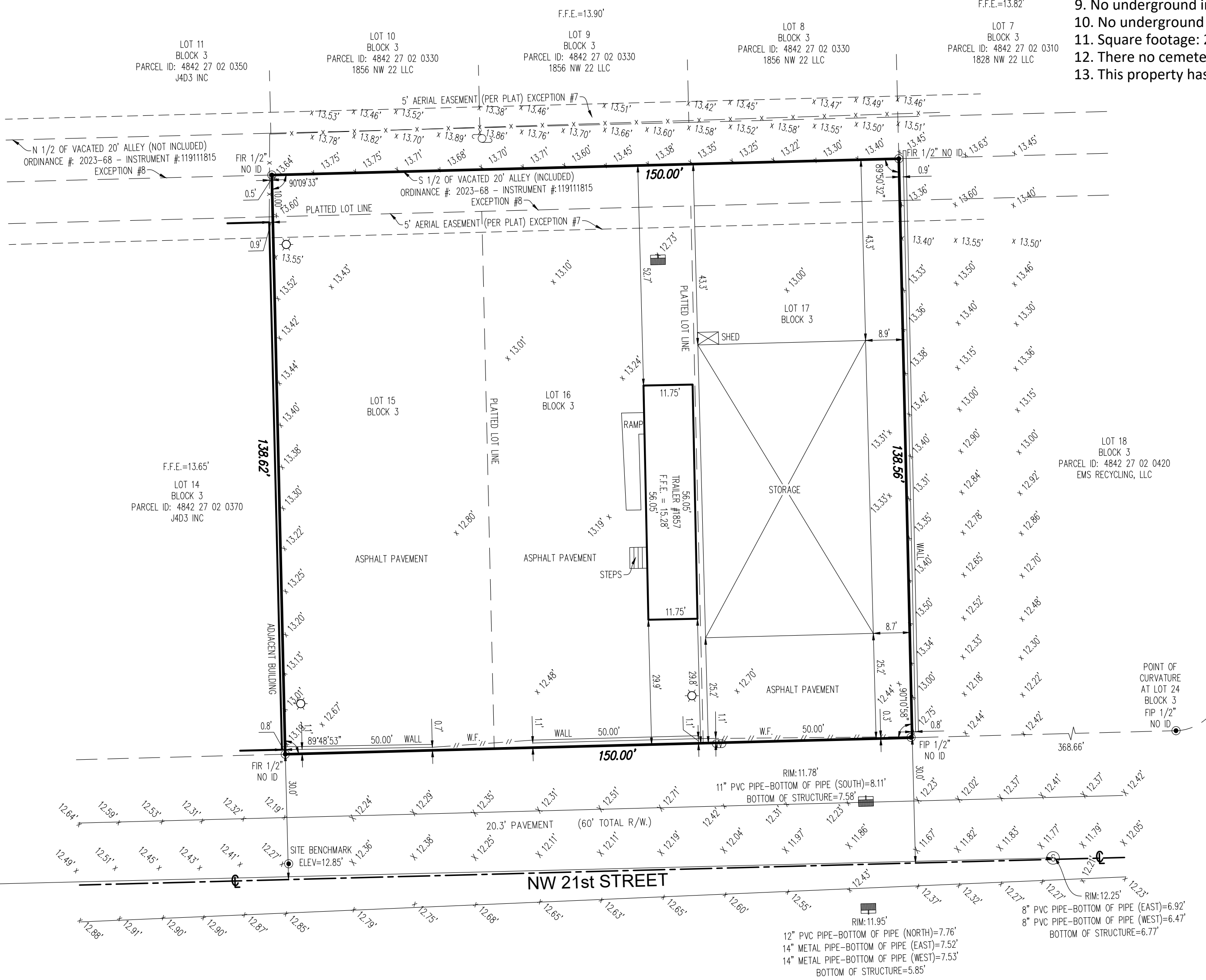
1. No improvements located except as shown.
2. No instruments of record reflecting easements, right of way, and or ownership were furnished to this surveyor except as shown.
3. Unless otherwise noted record and measured data are in substantial agreement.
4. The Street Right-of-Way abutting this property are physically open unless otherwise noted.
5. Elevations shown relative to The North American Vertical Datum of 1988..
6. Additions or deletions to survey map by other than the signing party or parties is prohibited without the written consent of the signing party of parties.
7. No underground installations or improvements have been located.
8. Flood Zone: X Base Flood Elev.: NA as per map community 120055, Suffix H, Panel 0170H, Date of Panel 0818-2014
9. No underground improvements located except as shown.
10. No underground improvements located except as shown.
11. Square footage: 20,794.80 sq.ft.
12. There no cemetery or burial grounds on or adjacent to subject property.
13. This property has direct access to NW 21st STREET said road is public.

Legend:

- INV. Invert
- ANC. Anchor
- BL. Base Line
- BM. Bench Mark
- CL. Centerline
- CA. Central Angle
- CHD. Chord
- C.L.F. Chain Link Fence
- C&G. Curb & Gutter
- (M) Measured
- M. Monument Line
- O.R.B. Official Record Book
- PF. Plastic Fence
- P.G. Page
- PS. Parking Spaces
- P.B. Plat Book
- N. North
- S. South
- E. East
- W. West
- R/W. Right-of-Way
- SF. Square Feet
- TYP. Typical
- U.E. Utility Easement
- WF. Wood Fence
- Valve Unknown
- Water Meter
- Water Valve
- Lamp
- Underground Sewer Line
- Underground Telephone Line
- Underground Water Line
- Catch Basin
- Water Service
- Light Pole
- Concrete Light Pole
- Concrete Traffic Signal Pole
- Drain
- Drainage Manhole
- Electric Box
- Electric Manhole
- Electric Meter
- Flow Arrow
- FPL Box
- FP&L Manhole
- Fire Hydrant
- Gas Meter
- GPS Point
- Grease Manhole
- Handicap
- Drainage Inlet (4'x4' or 5'x5')
- Irrigation Control Valve
- Irrigation Valve
- Light Meter
- Concrete Power Pole
- Mail Box
- Light Pole
- Metal Power Pole
- Metal Traffic Signal Pole
- Monitoring Well
- Overhead Cable
- Fire Department Connection
- Sanitary Sewer Manhole
- Sewer Valve
- Storm Sewer Manhole
- Street Sign
- T.V. Box
- Telephone Box
- Traffic Meter
- Power Pole
- Traffic Signal Control Box
- Transformer
- Underground Cable TV Line
- Underground Electrical Line
- Underground Gas Line
- Backflow Preventor in Concrete
- Pressure Vacuum Breaker
- Markin GPS
- Clean out

Abbreviations

- | | | | |
|----------|--------------------------------|-------------|-----------------------------------|
| A/C | -AIR CONDITIONER | L. A. E | -LIMITED ACCESS EASEMENT |
| A | -ARC | L. F. | -LOWEST FLOOR |
| BM | -BENCHMARK | MAINT. | -MAINTENANCE |
| C. E. | -CANAL EASEMENT | M. E. | -MAINTENANCE EASEMENT |
| C. M. E | -CANAL MAINTENANCE EASEMENT | N. D. | -NAIL AND DISC |
| C/L | -CENTERLINE | N. G. V. D. | -NATIONAL GEODETIC VERTICAL DATUM |
| CH | -CHORD | N. T. S. | -NOT TO SCALE |
| COL | -COLUMN | PG. | -PAGE |
| CONC. | -CONCRETE | P. C. P | -PERMANENT CONTROL POINT |
| D | -DELTA | P. R. M. | -PERMANENT REFERENCE MONUMENT |
| D. E. | -DRAINAGE EASEMENT | (P) | -PLAT |
| D. M. E. | -DRAINAGE MAINTENANCE EASEMENT | P. B. | -PLAT BOOK |
| ESMT. | -EASEMENT | P. C. | -POINT OF CURVATURE |
| E/P | -EDGE OF PAVEMENT | P. I. | -POINT OF INTERSECTION |
| EL. | -ELEVATION | P. D. B. | -POINT OF BEGINNING |
| F. D. H. | -FOUND DRILL HOLE | P. D. C. | -POINT OF COMMENCE |
| F. F. E. | -FINISH FLOOR ELEVATION | P. R. C. | -POINT OF REVERSE CURVATURE |
| FIP. | -FOUND IRON PIPE/PIPE | P. T. | -POINT OF TANGENCY |
| FND. | -FOUND | P/L | -PROPERTY LINE |
| G. F. F. | -GARAGE ELEVATION | R | -RADIUS |
| INV. | -INVERT | (R) | -RECORD |
| I. R. | -IRON ROD | R/W. | -RIGHT OF WAY |
| L | -ARC LENGTH | R. E. E. | -ROOF ENCROACHMENT EASEMENT |
| L. M. E | -LAKE MAINTENANCE EASEMENT | T | -TANGENT |
| PLT | -PLANTER | U. E. | -UTILITY EASEMENT |
| | | U. E. A. | -UTILITY EASEMENT ACCESS |
| | | U. M. E. | -UTILITY AND MAINTENANCE EASEMENT |



TITLE REVIEW CERTIFICATE:

A COMMITMENT FOR TITLE INSURANCE PREPARED BY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY - COMMITMENT NUMBER: 24111107 AND WAS SUPPLIED FOR REVIEW BY: CAY TITLE, LLC. - ISSUING OFFICE FILE NO.: 2024-966 - WITH AN EFFECTIVE DATE OF: JANUARY 8, 2025 AT 8:00AM. THE SCHEDULE B, SECTION II OF SAID COMMITMENT WAS REVIEWED FOR SURVEY RELATED ISSUES AND THE FINDINGS ARE AS FOLLOWS:

ITEMS 1-6 -ARE GENERAL EXCEPTIONS AND THEREFORE ARE NOT APPLICABLE FOR REVIEW

ITEM 7 - DEDICATIONS AS SHOWN ON THE PLAT OF RAMBLER PARK 2ND SECTION, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK 52, PAGE 50, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (PLOTTED AND SHOWN HEREON)

ITEM 8 - RESERVED UTILITY EASEMENTS OVER VACATED ALLEY AS PER CITY OF POMPAÑO BEACH, FLORIDA, ORDINANCE 2023-68, RECORDED SEPTEMBER 19, 2023 IN INSTRUMENT NUMBER 119111815, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. (PLOTTED AND SHOWN HEREON)

ITEMS 9 & 10 - AFFECT THE SUBJECT PROPERTY BUT ARE NOT SURVEY ITEMS

SURVEYOR'S CERTIFICATE:

THE UNDERSIGNED, BEING A REGISTERED SURVEYOR OF THE STATE OF FLORIDA, CERTIFIES TO:

JH4 Investments, LLC
Old Republic National Title Insurance Company
Cay Title, LLC
Bussey Bank
CrossFirst Bank, NA

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 7a, b(1), 8, 9, 13, 14, 16, 17 & 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JUNE 8, 2025.
DATE OF PLAT OF MAP: JUNE 9, 2025.

PEDRO LUIS MARTINEZ, PSM
PROFESSIONAL SURVEYOR AND MAPPER NO. LS#5443

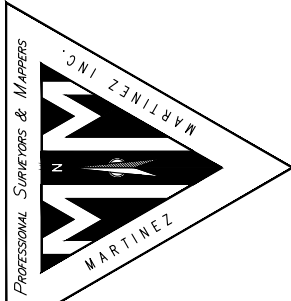


08/06/2025

PREPARED FOR:

JH4 Investments, LLC

SKETCH OF SURVEY



MARTINEZ & MARTINEZ ENTERPRISES, INC.
6901 SW. 16 ST., PEMBROKE PINES, FLORIDA 33023
Phone: 786-277-4851 plpsm@gmail.com
Business License # 1702

PEDRO L. MARTINEZ, P.S.M. (1109 P.E. PIN)
PROFESSIONAL SURVEYOR AND MAPPER
STATE OF FLORIDA
5443
NOT VALID WITHOUT AN AUTHENTIC ELECTRONIC SIGNATURE
NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A LICENSED SURVEYOR AND MAPPER

DRAWN BY: E.I.
CHECKED BY: P.L.M.
DATE: 06-08-2025

SHEET:

S-1