

ADMINISTRATIVE MEMORANDUM NO. 20-057

TO: Planning and Zoning Board
VIA: David L. Recor, ICMA-CM, Director of Development Services
VIA: Jennifer Gomez, AICP, Assistant Development Services Director
FROM: Daniel T. Keester-O'Mills, AICP, Principal Planner
SUBJECT: Self-Storage – Text Amendment
DATE: February 18, 2020

Background

Administrative Memorandum No. 20-016 has been attached for reference. At the January Planning & Zoning Board Meeting, Staff presented recommendations to the Planning & Zoning Board for discussion. Based on the direction, Staff proposes the following changes to the Zoning Ordinance specifically addressing self-storage facilities.

The attached text amendments include changes to Chapter 155 Article 4 & Appendix A. The following table lists and briefly describes the proposed changes. Attached is also the ~~Strike-Through~~ & Underline draft of the code amendments for your reference.

Page	Section	Change
3	155.4223.A.1.	Self-Storage or Mini-Warehouse Facility shall remain as a permitted use in PCD & I-1X, but change to a use that requires a Special Exception in B-4, I-1 and O-IP.
3	155.4223.A.3.b.	The hours of operation, for public access to a self-storage use when abutting a residential zoning district currently restricts the hours of operation from 6 AM – 10 AM, staff believes this is a scrivener's error and proposes an amendment to increase the hours of operation from 6 AM – 10 PM.
4	155.4223.A.3.e.	Added design standards for self-storage. Self-Storage is listed as a "commercial use," although it is permitted within some industrial zoning districts. Self-Storage Facilities must be constructed in accordance with the Commercial, Institutional & Mixed Use Design standards, with additional design requirements.
4	155.4223.A.3.e.i.	Require the design of the building to articulate a base and top of the facility in a way that is unique from the rest of the building.
4	155.4223.A.3.e.ii.	Prohibit garage doors or overhead doors from view from the streets and other public right-of-ways.
4	155.4223.A.3.e.iii.	Commercial design standards require that the ground floor include 30% of glass treatment for street-facing facades, the use-specific standard requires that glass treatment continue above the ground floor to prevent large blank walls above the ground floor.

4	155.4223.A.3.e.iv.	Require a commercial liner building, when the self-storage facility is located along an arterial or collector roadway.
5	Appendix A	Amend the Consolidated Use Table to reflect the changes in the Districts where Permitted.

Staff Request

Staff recommends approval of the proposed code amendments.

Attachments

- Administrative Memorandum No. 20-016
- Chapter 155 Article 5 Part 6 – Commercial, Institutional, and Mixed-Use Design Standards

CHAPTER 155: ZONING CODE

ARTICLE 4: USE STANDARDS

PART 2 PRINCIPAL USES AND STRUCTURES

155.4223. COMMERCIAL: SELF-SERVICE STORAGE USES

A. Self-Storage or Mini-Warehouse Facility
 I. Districts Where Permitted

RS-1	RS-2	RS-3	RS-4	RS-L	RD-1	RM-7	RM-12	RM-20	RM-30	RM-45	MH-12	B-1	B-2	B-3	B-4
															PS

M-1	CR	I-1	I-IX	OIP	M-2	TO	PR	CF	PU	T	BP	RPUD	PCD	PD-TO	LAC	PD-I
		PS	P	PS									P			

2. Definition

A self-storage or mini-warehouse facility is a building or group of buildings divided into separate self-contained units or areas offered for rent for self-service storage of household and personal property. The storage units or areas are designed to allow private access by the tenant for storing and removing personal property. Accessory uses may include leasing offices, outdoor storage of boats and recreational vehicles, incidental sales or rental of moving supplies and equipment, and living quarters for a resident manager or security guard. The rental of trucks or trailers is a separate principal use and not considered accessory to this use.

3. Standards

A self-storage or mini-warehouse facility shall comply with the following standards:

a. Site Layout

- i. The facility shall be located on a site with an area of at least one acre.
- ii. If separate buildings are constructed, there shall be a minimum separation of ten feet between buildings.

b. Operation

- i. The only commercial uses permitted on-site shall be the rental of storage bays and the pickup and deposit of goods or property in dead storage and the incidental sales or rental of moving supplies (e.g., boxes) and equipment (e.g., dollies). Storage bays shall not be used to manufacture, fabricate, or process goods, to service or repair vehicles, small engines or electrical equipment, or conduct similar repair activities, to conduct garage sales or retail sales of any kind, or to conduct any other commercial or industrial activity on the site.
- ii. Except as otherwise authorized in this subsection, all property stored on the site shall be contained entirely within enclosed buildings.
- iii. Hours of public access to a self-storage use abutting a residential zoning district or existing residential use shall be restricted to the hours between 6:00 a.m. and 10:00 a.p.m.

c. Storage of Recreational Vehicles and Boats

Open storage of recreational vehicles (RVs) and pleasure boats of the type customarily maintained by persons for their personal use shall be permitted within a self-service storage facility use, provided that the following standards are met:

- i. The storage shall occur only within a designated area, which shall be clearly delineated.
- ii. Storage shall not occur within required yards.
- iii. The parking spaces designated for storage shall not be eligible for compliance with Minimum Off-Street Parking Requirements.
- iv. The designated storage area shall be located behind the principal structure and shall comply with the Outdoor Storage Area standards in Section [155.4303.VV](#).

v. The recreational vehicles and pleasure boats shall be operable. The pleasure boats shall be placed on a trailer.

d. Parking and Circulation

i. Interior parking shall be provided in the form of aiseways adjacent to the storage bays. These aiseways shall be wide enough to be used both for circulation and temporary customer parking when accessing storage bays.

ii. The one- or two-way traffic flow patterns in aiseways shall be clearly marked. Marking shall consist, at a minimum, of standard directional signage and painted lane markings with arrows.

iii. Appropriate access and circulation by vehicles and emergency equipment shall be ensured through the design of internal turning radii of aiseways.

iv. All access ways shall be paved with asphalt, concrete, or comparable paving materials.

e. Building Appearance. In addition to the General Commercial, Institutional, and Mixed-Use Design Standards of Section 155.5602, the following design standards are applicable for self-storage uses in B-4 and I-1 Zoning districts.

i. Regardless of the number of stories, buildings greater than 24 feet in height shall include a clearly recognizable base, middle and top configured in accordance with the standards of Section 155.5602.C.4.

ii. Garage doors or overhead doors serving individual storage units, or similar architectural treatment shall be perpendicular to a public or private street so as to not be visible from adjacent streets. When overhead doors are within a building, they must be setback a minimum of 15 feet from any window facing a public right-of-way.

iii. The exterior facades of all structures shall receive uniform architectural treatment, including masonry, stucco, and painting of surfaces. Colors used shall be compatible with the character of the surrounding area. Perimeter or exterior walls visible from a public street or detached residential dwelling shall not include metal as a primary material.

iv. Each story above the ground level must provide at least 30 percent of the street-facing facade area as glass treatment (measured from the story line denoting the lower floor to the underside of the eave, top of the parapet, or the story line denoting the upper floor).

v. When a self-storage facility is proposed along an arterial or collector roadway, the building must be designed to accommodate a commercial liner. The liner building may be in the same building or separate from the self-storage facility; however, when it is integrated into the same building at minimum the ground floor must be designed to allow for active commercial use(s) fronting the street, independent from the self-storage facility.

155.5602. COMMERCIAL, INSTITUTIONAL, AND MIXED-USE DESIGN STANDARDS

A. Purpose

These design standards are intended to identify the city's design goals and expectations for commercial, institutional, and mixed-use development quality resulting in greater predictability during the development review process. More specifically, the purposes of this section are to:

1. Encourage establishment of a strong sense of place with vibrant commercial, institutional, and mixed-use development in key areas of the city;
2. Encourage a more pedestrian-friendly environment through attention to human-scale design and site features to limit large, bulky buildings with few architectural details;
3. Foster greater compatibility between adjacent residential and nonresidential development;
4. Limit the impacts of automobile-oriented development in commercial, institutional, and mixed-use areas; and
5. Improve the appearance of gateways and entrances to the city.

B. Applicability

Except as otherwise provided in this Code, the standards in this section shall apply to the following:

1. All new commercial, institutional and mixed-use development (as defined in Section Article 9: Part 5 Terms and Uses Defined), including large retail establishments.
2. Commercial, institutional and mixed-use development required to obtain Major Building Design Approval.

C. General Commercial, Institutional, and Mixed-Use Design Standards

All commercial, institutional, and mixed-use development subject to this section shall comply with the following standards:

1. Business Activities to be Conducted in Enclosed Buildings

Except as expressly provided otherwise in this Code, all business activities associated with commercial, institutional, and mixed-use developments shall be conducted within a totally and permanently enclosed building.

2. Building Orientation

a. Fronting Streets

The front facade of all buildings, as defined by the primary entrance, shall front onto a street, a courtyard, or plaza, not an off-street surface parking area. In the case of corner lots, the primary entrance shall face the street from which the building derives its street address. Nothing shall prohibit a secondary entrance from facing a surface parking area.

b. Single-Building Development Parallel to Street

All single-building developments shall be configured with the long axis of the building parallel to the street it fronts, or be consistent with existing development patterns, rather than being sited at unconventional angles.

c. Multi-Building Development

- i. Development composed of multiple buildings totaling 50,000 or more square feet of floor area shall be configured to:
 - (A) Break up the site into a series of smaller "blocks" defined by on-site streets, vehicle accessways, pedestrian walkways, or other circulation routes;
 - (B) Frame the corner of an adjacent street intersection or entry point to the development;
 - (C) Frame and enclose a "Main Street" pedestrian or vehicle access corridor within the development site;
 - (D) Frame and enclose on at least three sides of parking areas, public spaces, or other site amenities; or
 - (E) Frame and enclose outdoor dining or gathering spaces for pedestrians between buildings.
- ii. The primary entrances of buildings shall be oriented towards a street along the perimeter of a development, towards streets or driveways interior to the development, or towards open space areas, courtyards, or plazas.

3. Outparcel Development

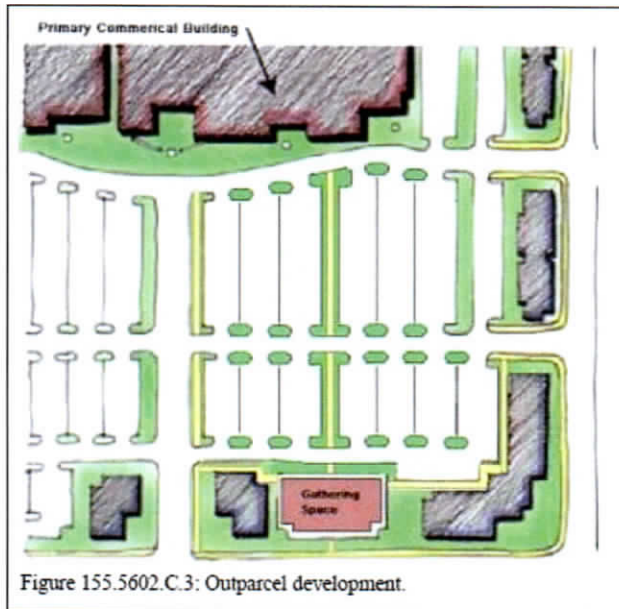


Figure 155.5602.C.3: Outparcel development

- a. To the maximum extent practicable, outparcels and their buildings shall be configured and located to define street edges, development entry points, and spaces for gathering or seating between buildings.
- b. Spaces between buildings on outparcels shall be configured with small scale pedestrian amenities such as plazas, seating areas, pedestrian connections, and gathering spaces. (See Figure 155.5602.C.3; Outparcel development.)

4. Base, Middle, and Top

Buildings of three or more stories shall include a clearly recognizable base, middle, and top configured in accordance with the following standards:

- a. Building bases shall incorporate one or more of the following:
 - i. Thicker walls, ledges, or sills;

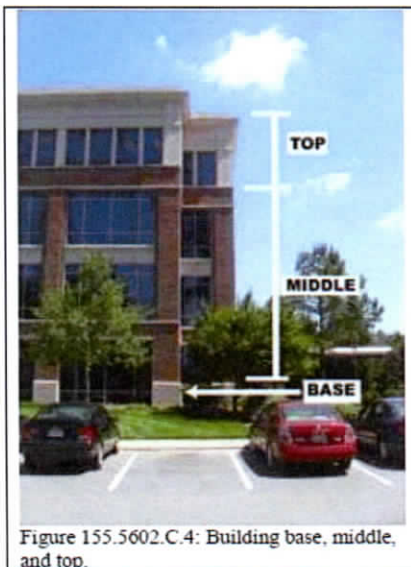


Figure 155.5602.C.4: Building base, middle, and top

- ii. Integrally-textured materials such as stone or other masonry;

- iii. Integrally-colored and patterned materials such as smooth-finished stone or tile; or
 - iv. Lighter or darker colored materials, mullions, or panels.
- b. Building tops shall include two or more of the following features:
- i. Three-dimensional cornice treatments with integrally-textured materials such as stone or other masonry or differently colored materials;
 - ii. Sloping roofs with overhangs and brackets;
 - iii. Stepped parapets; or
 - iv. Aligned openings and articulations.

(See Figure 155.5602.C.4: Building base, middle, and top.)

5. Facade Articulation

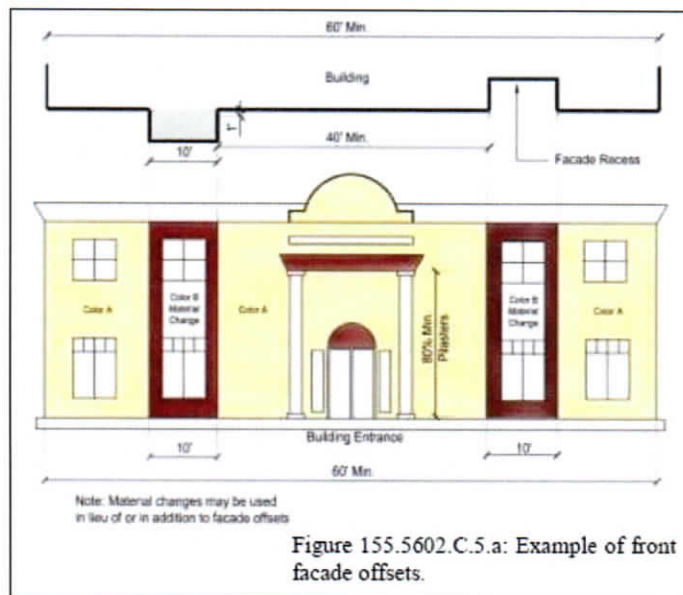


Figure 155.5602.C.5.a: Example of front facade offsets

a. Offsets Required

Street-facing front building facades that are greater than 60 feet wide shall be articulated with wall offsets (e.g., projections or recesses in the facade plane) that are at least one foot deep, at least ten feet wide, and spaced no more than 40 feet apart. (See Figure 155.5602.C.5.a Example of front facade offsets.)

b. Offset Alternatives

The following alternatives can be used alone or in combination as an alternative to the required front facade offsets:

- i. Changes in facade color or material that follow the same dimensional standards as the offset requirements;
- ii. Columns or pilasters that are at least eight inches deep and at least eight inches wide, and have a height equal to at least 80 percent of the facade's height;
- iii. Roofline changes that vertically align with a corresponding wall offset or change in facade color or material, including changes in roof planes and changes in the height of a parapet wall (such as extending the top of pilasters above the top of the parapet wall); or
- iv. Awnings or other shading devices over doors and windows that follow the same dimensional standards as the offset requirements.

c. Street Side Facades

The street-facing side facades of buildings shall be articulated with the same facade details as provided on the building's front facade, or be screened from off-site views through fences, walls, or landscaping at least eight feet high.

d. Outbuildings

Outbuildings located in front of other buildings within the same development shall include a consistent level of façade articulation and architectural detail on all sides of the building as well as exterior materials and colors that are compatible with the primary building in the development.

6. Facade Materials

a. The use of aluminum siding, vinyl siding, corrugated metal siding, or other metal cladding other than decorative or ornamental metal siding is prohibited on any facade visible from a street right-of-way. Nothing shall limit the use of high-quality, decorative metal (e.g., brass, copper, steel) as a building accent material, or in a manner subject to the discretion of the Development Services Director.

b. Primary facade materials shall not change at outside corners and shall continue along any side facade visible from a street right-of-way for at least 15 feet; however, materials may change where side or rear wings meet the main body of the structure.

c. Materials changes shall occur along a horizontal line or where two forms meet; however, changes of materials may be used as accents around windows, doors, cornices, at corners, or as a repetitive pattern.

d. Where two or more materials are proposed to be combined on a facade, the heavier and more massive elements shall be located below the lighter elements (i.e., brick shall be located below stucco or wood). The heavier material may be used as a detail on the corner of a building or along cornices or windows.

7. Fenestration/Transparency

a. At least 30 percent of the street-facing facade area of the ground-level floor of buildings (as measured from the grade to the underside of the eave, top of the parapet, or the story line denoting the second floor) shall be occupied by windows or doorways. This figure may be reduced to 20 percent of the first-floor front facade of a structure housing a large retail sales establishment.

b. All ground-level windows on street-facing facades shall be transparent. Mirrored or heavily-tinted glass that prevents views into the building is prohibited on street-facing front building facades. This provision does not apply to a building facade enclosing a sexually oriented business use.

c. Street-facing facades of the ground level floor for uses involving repair, servicing and/or maintenance shall not include service bay entrances, overhead doors, sliding glass doors, removable panels, or similar type of doors.

d. Street-facing facades of the ground level floor for all commercial, institutional, and mixed-use developments shall not include roll up doors.

8. Roofs

a. Sloped roofs on principal buildings shall include two or more different sloping roof planes, each with a minimum pitch between 3:12 and 12:12.

b. Flat roofs on principal buildings shall be concealed by parapet walls that extend at least three feet above the roof level and have three-dimensional cornice treatments that project at least eight inches outward from the parapet facade plane.

c. Alternative roof forms or pitches may be allowed for small roof sections over porches, entryways, or similar features.

d. All roof-based mechanical equipment, as well as vents, pipes, antennas, satellite dishes, and other roof penetrations (except chimneys), shall be located on the rear elevations or otherwise be configured, to the maximum extent practicable, to have a minimal visual impact as seen from the street.

9. Location of Off-Street Parking

a. In the B-1 District

Single-story commercial, institutional, and mixed-use development in the Business-1 (B-1) district shall be configured to locate all required surface off-street parking to the side or rear of the front facade of the building. Buildings of two or more stories may locate one bay of off-street parking between the primary building entrance and the street the building faces.

b. Other Districts

No more than two bays of off-street surface parking may be located between the front building facade and the street it faces. This may be doubled for buildings of two or more stories.

10. Loading, Service, and Equipment Areas

- a. Loading, service, and equipment areas shall be located in a manner that minimizes their visibility from off-site areas, to the maximum extent practicable.
- b. Outdoor storage areas shall be fully screened from adjacent streets and single-family development in accordance with the standards for outdoor storage in Article 4: Use Standards.

c. Loading, service, and equipment areas that are associated with an outparcel building shall be screened through the use of structural elements and similar materials attached to and integrated with the building.

11. For mixed use building with a residential or hotel component, upper-story balconies serving individual dwelling units located within 100 feet of a single-family dwelling shall be oriented or configured to prevent direct views into the single family dwelling's rear yard .

D. Large Retail Establishment Design Standards

1. General

In addition to the general commercial and mixed-use design standards in Section 155.5602.C, single-tenant buildings that have a gross floor area of 60,000 square feet or more and devote 60 percent or more of the total floor area to retail sales activities ("large retail buildings") shall also comply with the following standards. If there is a conflict between these standards and those in 155.5602.C, General Commercial and Mixed-Use Design Standards, these standards control. (See Figure 155.5602.D: Examples of large retail establishments.)



Figure 155.5602.D: Examples of large retail establishments.

Figure 155.5602.D: Examples of large retail establishments

2. Building Entrances

Buildings shall have clearly defined, highly visible customer entrances featuring no less than three of the following:

- a. Canopies or porticos above the entrance;
- b. Roof overhangs above the entrance;
- c. Entry recesses or projections;
- d. Arcades that are physically integrated with the entrance;
- e. Raised corniced parapets above the entrance;
- f. Gabled roof forms or arches above the entrance;
- g. Outdoor patios or plazas adjacent to the entrance;
- h. Display windows that are directly adjacent to the entrance;
- i. Architectural details, such as tile work and moldings, that are integrated into the building structure and design and are above or directly adjacent to the entrance; or

- j. Integral planters or wing walls that incorporate landscaped areas or seating areas.

3. Facades and Massing

a. To reduce their perceived mass and scale, buildings shall incorporate two or more of the following design elements on each façade facing a street:

- i. Variations in roof form and parapet heights;
- ii. Pronounced wall offsets that are at least two feet deep;
- iii. Distinct changes in texture and color of wall surfaces;
- iv. Ground level arcades and second floor galleries or balconies;
- v. Protected and recessed entries; and
- vi. Vertical accents or focal points.

b. Side building walls that do not face a street and exceed 30 feet in length shall have façade-articulating elements such as columns and/or changes in plane, texture, or masonry pattern.

(See Figure 155.5602.D.3: Large retail building entrances and massing.)

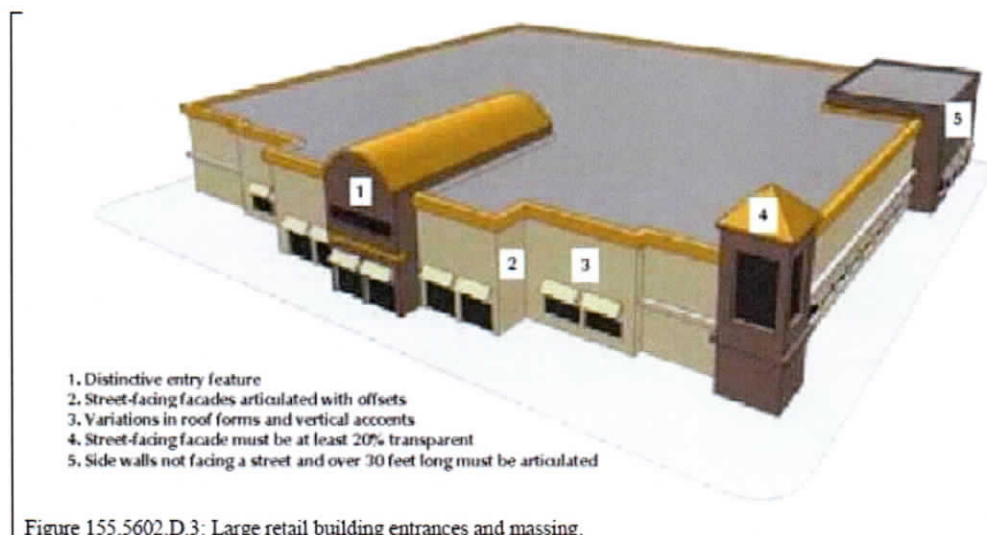


Figure 155.5602.D.3: Large retail building entrances and massing.

Figure 155.5602.D.3: Large retail building entrances and massing

4. Off-Street Parking Location Standards

- a. Up to 60 percent of the total off-street surface parking provided may be located between the front facade of the building and the street it faces.
- b. Off-street surface parking lots with 300 or more spaces shall be organized into a series of parking bays surrounded by buildings, landscaping, or accessways designed to appear as streets.

(See Figure 155.5602.D.4: Large retail parking location.)



Figure 155.5602.D.4: Large retail parking location.

Figure 155.5602.D.4: Large retail parking location

(Ord. 2012-64, passed 9-11-12; Am. Ord. [2013-73](#), passed 7-23-13; Am. Ord. [2019-110](#), passed 9-24-19)