



Staff Report

File #: LN-119

PLANNING AND ZONING BOARD

Meeting Date: AUGUST 23, 2023

POST DECISION ACTION - EXTENSION OF SITE PLAN APPROVAL

Request: Extension of Site Plan Approval - BSO Substation
P&Z# 21-12000014
Owner: City of Pompano Beach
Project Location: 2714 NW 4 CT
Folio Number: 484233730010
Land Use Designation: C (Commercial) and L (Low Residential)
Zoning District: B-2 (Community Business) & RS-3 (Single-Family Residence 3)
Commission District: 5
Agent: Tammy Good (954-786-5512)
Project Planner: Lauren Gratzner (954-545-7792 / lauren.gratzner@copbfl.com)

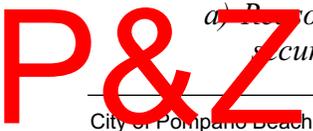
Summary:

The applicant is requesting an Extension of Expiration Time Period for the Minor Site Plan Development Order for folio # 484233730010 (previously 484233045300 and 484233045310) under PZ# 21-12000014. The Minor Site Plan was approved by the Development Services Director’s designee, and filed with our department on September 7, 2021 and is set to expire on September 7, 2023.

The applicant, the City of Pompano Beach, is requesting the extension to this Development Order. Section 155.2308.B.2.a.iv of the Zoning Code, copied below, outlines the eligibility requirements for an Extension of Expiration Time Period to the Development Order approval. Subsequent to the original development order issuance, the applicant submitted a building permit for the construction of the new building (BP 20-5383). Complications within the design and bidding phases of this project has delayed the overall approval of this permit. Therefore, pursuant to criteria A below, the Site Plan Development Order is eligible for an extension.

For development orders for a Site Plan, except for development orders subject to or governed by an enforceable Development Agreement the PZB may, subsequent to any extension(s) granted by the Development Services Director, grant up to one extension for up to two years (including extensions granted by the Development Services Director). Under no circumstances shall a Development Order for a Site Plan be extended for more than two years. The aforementioned required written basis and reason for extension must provide competent and substantial evidence demonstrating compliance with one or more of the following criteria:

- a) Reasonable efforts were made to apply for a Building Permit and reasonable steps were taken to secure any other development approvals that may be needed from other permitting authorities to



allow for the submittal of an application for a Building Permit; or

- b) Since the date of the development order, substantial expenditures have been made or substantial obligations have been incurred in reliance on the approval and in furthering and proceeding with the development; or*
- c) The delay in proceeding with the commencement of development resulted from a "force majeure" or "Act of God" or extreme economic conditions of the market, and not acts of omission by the applicant or owner.*

The project consists of a new 2,749 square foot building for use as a Broward Sheriff's Office (BSO) police substation with associated parking and landscaping. The total footprint of the building is 2,749 square feet on a 14,536 square foot (0.33 acre) site, a total lot coverage of 18.9%. The original Development Order, site plan, floor plan, and elevations have been attached for reference only.

The project is located on the southwest corner of NW 4th Court and NW 27th Ave.

Staff Conditions:

1. The original conditions of the Site Plan Development Order (PZ# 21-12000014) remain in effect.
2. The applicant shall obtain an updated Special Exception from the Zoning Board of Appeals (ZBA) for the proposed Police Substation within the RS-3 zoning district.

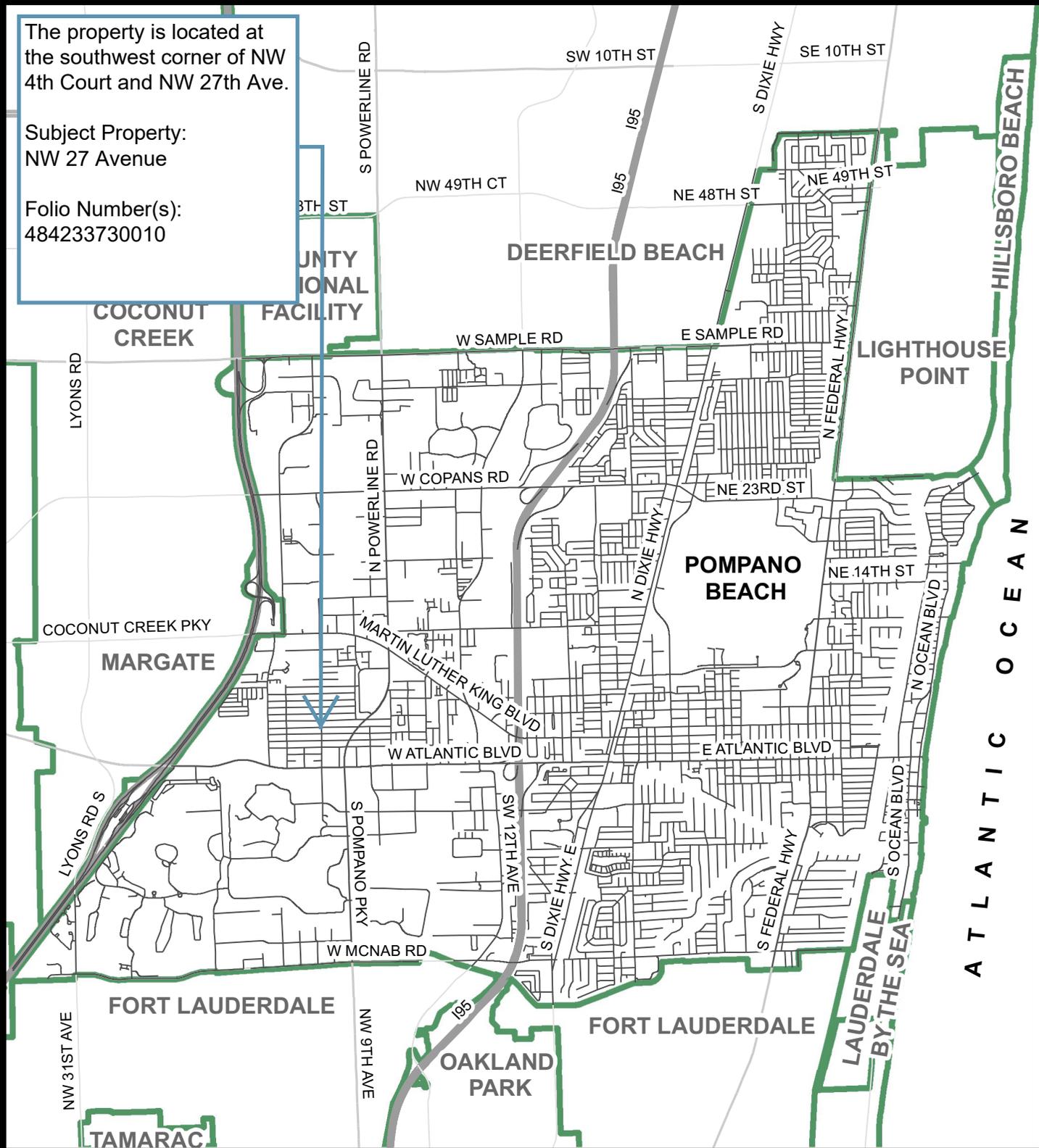
CITY OF POMPANO BEACH LOCATION MAP



The property is located at
the southwest corner of NW
4th Court and NW 27th Ave.

Subject Property:
NW 27 Avenue

Folio Number(s):
484233730010



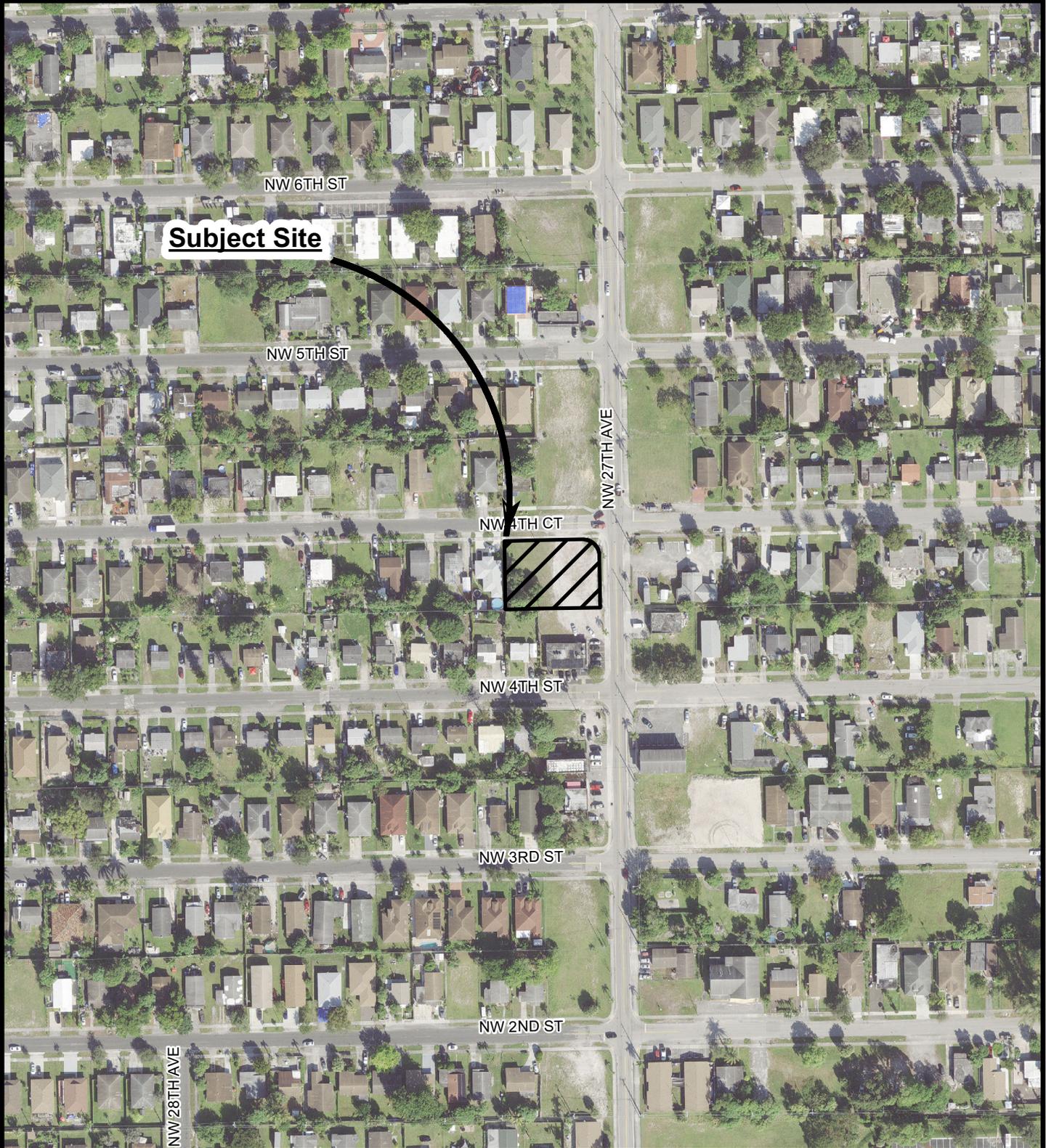
P&Z
Scale = 1 miles
7/30/2017 KeeDan

\\GISDBSVR\larcgisserver\directories\larcgis\Planning\All_Maps\P&Z Packets\2017\PZ_Location_Maps.mxd

PREPARED BY:
DEPARTMENT OF
DEVELOPMENT SERVICES

PZ21-12000014
8/23/2023

CITY OF POMPANO BEACH AERIAL MAP



Subject Site

NW 6TH ST

NW 5TH ST

NW 4TH CT

NW 27TH AVE

NW 4TH ST

NW 3RD ST

NW 2ND ST

NW 28TH AVE

P & Z
Scale = 200 ft

8/8/2023

AdkBob

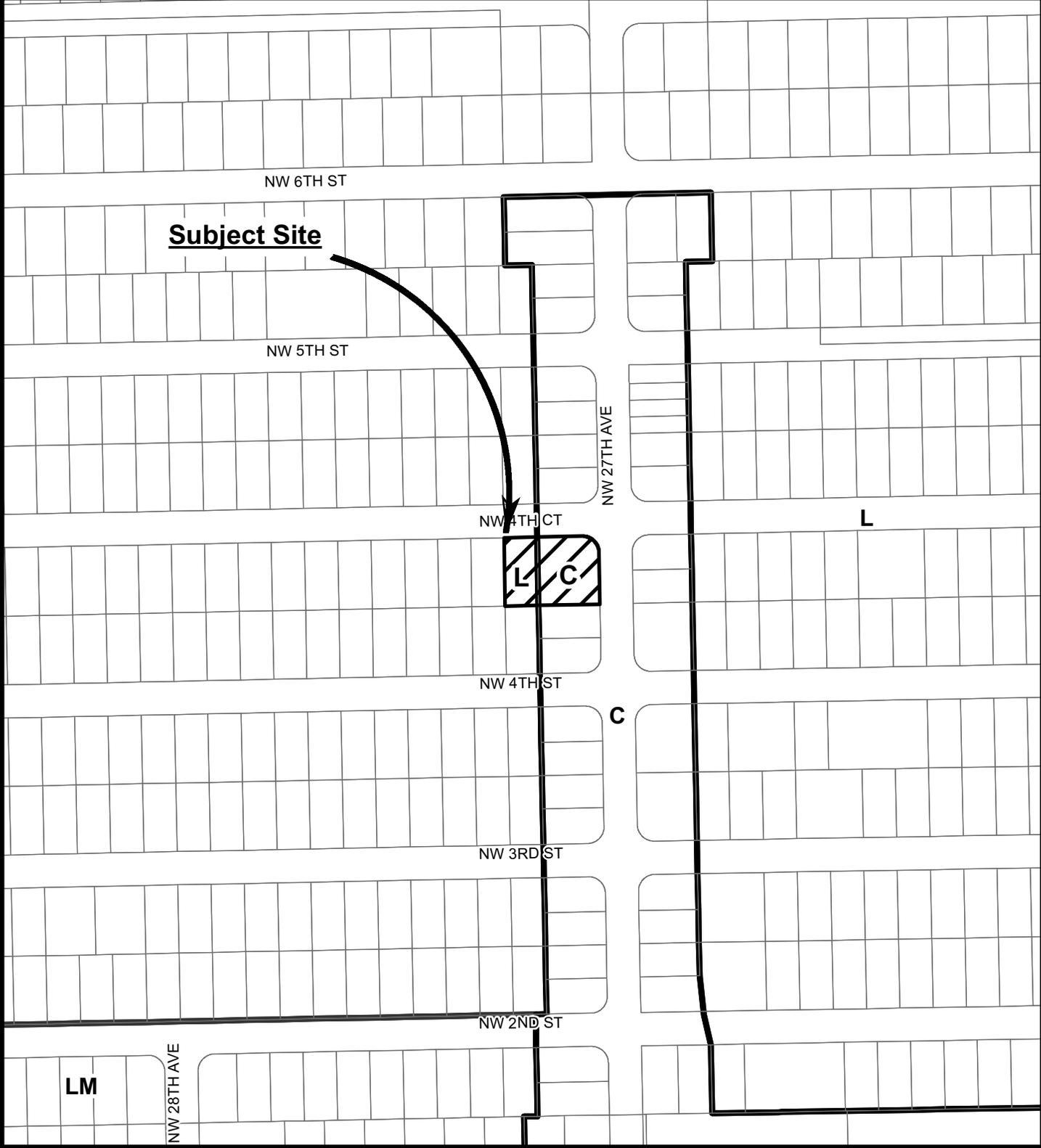
\\pwgishosting\directories\arcgis\Planning\All_Maps\P&Z Packets\2021\21-12000014_Aerial Map.mxd

PREPARED BY:
DEPARTMENT OF
DEVELOPMENT SERVICES

PZ21-12000014

8/23/2023

CITY OF POMPANO BEACH OFFICIAL LAND USE MAP



Subject Site

NW 6TH ST

NW 5TH ST

NW 4TH CT

NW 27TH AVE

L

NW 4TH ST

C

NW 3RD ST

NW 2ND ST

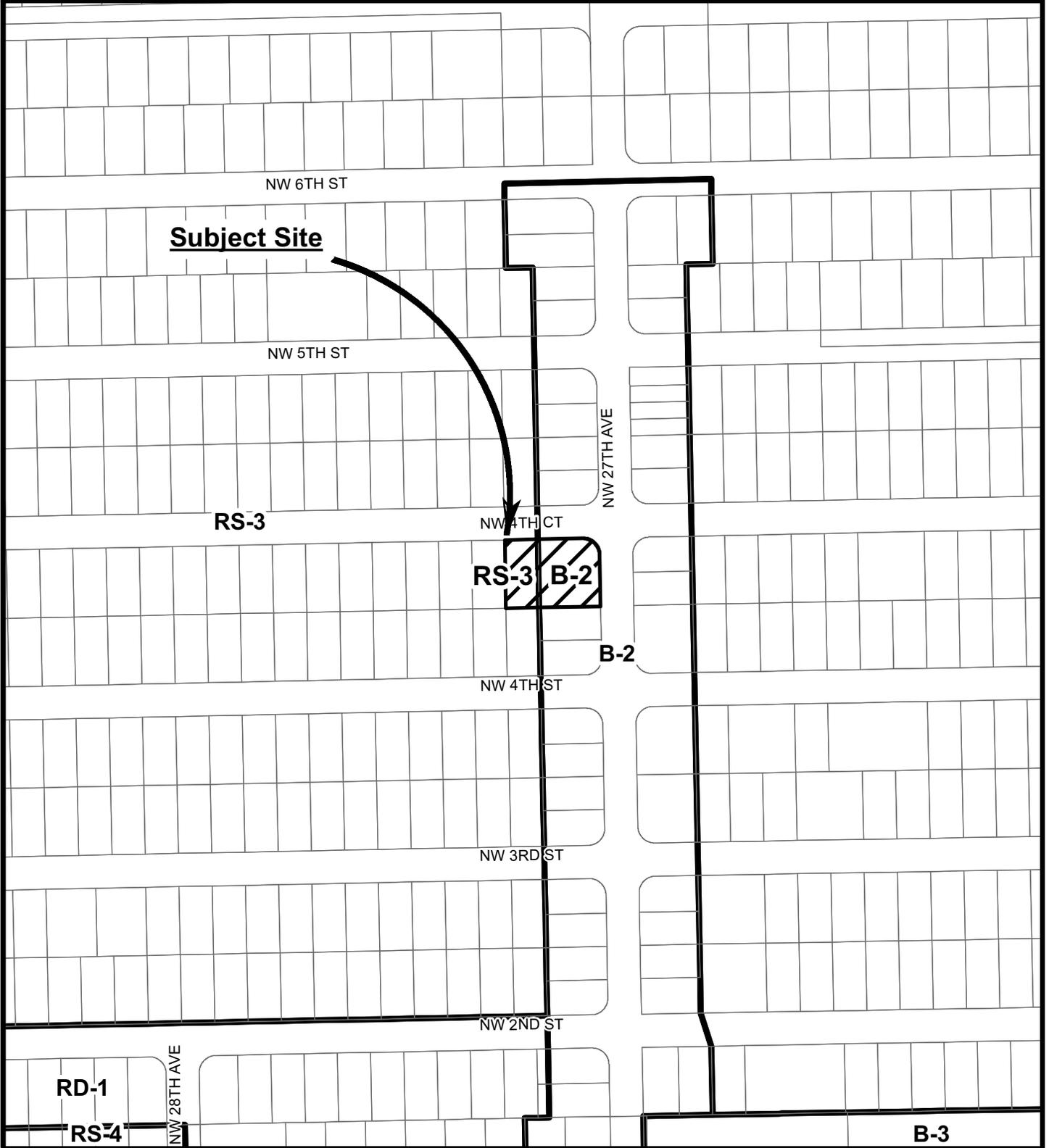
LM

NW 28TH AVE

P & Z
in = 200 ft

PREPARED BY:
DEPARTMENT OF
DEVELOPMENT SERVICES

CITY OF POMPANO BEACH OFFICIAL ZONING MAP



Subject Site

RS-3

RS-3 B-2

B-2

RD-1

RS-4

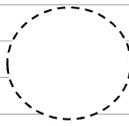
B-3

P & Z
in = 200 ft

PREPARED BY:
DEPARTMENT OF
DEVELOPMENT SERVICES

LEGEND

FOR LAND USE PLAN		FOR ZONING MAP	
Symbol	Classification Units/ Acre	Symbol	District
		RS-1	Single-Family Residence 1
*	L Low (1-5 DU/AC)	RS-2	Single-Family Residence 2
	LM Low- Medium (5-10 DU/AC)	*	RS-3 Single-Family Residence 3
	M Medium (10-16 DU/AC)		RS-4 Single-Family Residence 4
	MH Medium-High 16-25 DU/AC)		RS-L Single-Family Residence Leisureville
	H High (25-46 DU/AC)		
	IRR Irregular Density	RD-1	Two- Family Residence
	MUR-H Mixed Use Residential (High)		
		RM-7	Multiple-Family Residence 7
*	C Commercial	RM-12	Multiple-Family Residence 12
	CR Commercial Recreation	RM-20	Multiple-Family Residence 20
		RM-30	Multiple-Family Residence 30
	I Industrial	RM-45	Multiple-Family Residence 45
		MH-12	Mobile Home Park
	T Transportation		
		B-1	Limited Business
	U Utilities	*	B-2 Neighborhood Business
			B-3 General Business
	CF Community Facilities		B-4 Heavy Business
		M-1	Marina Business
	OR Recreation & Open Space	CR	Commerical Recreation
	W Water	I-1	General Industrial
		I-1X	Special Industrial
	RAC Regional Activity Center	O-IP	Office Industrial Park
		M-2	Marina Industrial
	LAC Local Activity Center		
		TO	Transit Oriented
	Transit Oriented Corridors:	PR	Parks & Recreation
	DPTOC Downtown Pompano	CF	Community Facilities
	ETOC East Atlantic Blvd	PU	Public Utility
		T	Transportation
		BP	Business Parking
		LAC	Local Activity Center
			<i>Planned Developments</i>
		RPUD	Residential Planned Unit Development
		PCD	Planned Commercial Development
	*	PD-TO	Planned Development - Transit Oriented
	>	PD-I	Planned Development - Infill
			<i>Overlay Districts</i>
		RM-45 HR	Multiple-Family Residence 45 High Rise
		DPOD	Downtown Pompano Beach
		EOD	East Atlantic Blvd.
		AOD	Atlantic Boulevard



**DEVELOPMENT ORDER
(21-1200014)**

A DEVELOPMENT ORDER ISSUED BY THE CHAIRMAN OF THE DEVELOPMENT REVIEW COMMITTEE, CITY OF POMPAÑO BEACH, BROWARD COUNTY, FLORIDA, PURSUANT TO SECTIONS 155.2407 AND 155.2408, CODE OF ORDINANCES; APPROVING THE APPLICATION FOR THE DEVELOPMENT PERMIT FOR THE CONSTRUCTION OF A NEW INSTITUTIONAL FACILITY ON THE PROPERTY LOCATED AT 2714 NW 4 COURT (FOLIO NUMBERS: 484233045300 AND 484233045310).

WHEREAS, Sections 155.2407 and 155.2408, Code of Ordinances, defines the project referenced above as a Minor Review;

WHEREAS, Section 155.2207, Code of Ordinances, authorizes the Director of Development Services to conduct staff review for this project, which involves the construction of a 2,749 square foot building for use as a Broward Sheriff's Office (BSO) police substation.;

WHEREAS, the application for development permit is in general compliance with the applicable standards and minimum requirements of this code, and no permit will be issued until all conditions issued are met; and,

WHEREAS, copies of the site plan and landscape plan are on file with the Department of Development Services, and referenced herein as **Exhibit "A", and "B"** respectively.

The Application for Development Permit is hereby approved by the Development Services Director designee as Chairman of the Development Review Committee subject to following comments from the July 21, 2021 DRC meeting and the revised plan stamped with the date received of July 27,2021.

1. The two subject folios shall be unified with Broward County before building permit approval.
2. Provide a survey that identifies all easements, in particular the 5-foot easement located on the plat, prior to building permit approval.
3. Plans submitted with the Zoning Compliance Permit are subject to compliance with all applicable Code requirements including but not limited to the DRC comments issued for this site plan.
4. Provide a copy of the CPTED Security Plan and Narrative approved by the Broward Sheriff's Office prior to building permit approval.
5. Landscape and irrigation plans are subject to approval by the City's Urban Forestry Division.

EXPIRATION DATE IS 24 MONTHS FROM THE DATE OF SIGNING



Daniel T. Keester-O'Mills, AICP, Principal Planner

9/7/2021

Date

EXHIBIT "A"

NW 4th COURT

SITE CODE INFORMATION			
PER ZONING CODE SECTION 155.3303. COMMUNITY BUSINESS (B-2)			
DIMENSIONAL STANDARDS:			
• MINIMUM LOT AREA	10,000 SF.		
• MINIMUM LOT WIDTH	100 FT.		
• MAXIMUM DENSITY	30 DWELLING UNITS PER ACRE MAX.		
• MAXIMUM LOT COVERAGE	45%		
• MINIMUM PAVEMENT AREA	20%		
• MAXIMUM HEIGHT	105 FT.		
• MINIMUM FRONT YARD SETBACK	0 FT.		
• MINIMUM STREET SIDE YARD SETBACK	0 FT.		
• MINIMUM INTERIOR YARD SETBACK	0 FT.		
• MINIMUM REAR YARD SETBACK	30 FT.		

SITE CALCULATIONS			
TOTAL LOT AREA	14,536.1 SF.		
PERVIOUS AREAS	REQUIRED	ALLOWED	PROVIDED
	± SF.	%	± SF.
	2,907.2	20	4,639.0
			31.9
IMPERVIOUS AREAS	REQUIRED	ALLOWED	PROVIDED
	± SF.	%	± SF.
	6,541.2	45	2,749.4
	N/A	N/A	6,033.3
	N/A	N/A	914.0
	N/A	N/A	200.4
SUBTOTAL			9,897.1
			68.1

VEHICULAR PARKING CALCULATIONS:			
TOTAL SPACES REQUIRED (PER TABLE 155.5102D.1)	REQUIRED	PROVIDED	
	2,749.4 GSF. @ 1/500 SF.	6 SPACES	
TOTAL SPACES PROVIDED INCL. (1) ACCESSIBLE PARKING SPACE PER 2017 FLORIDA ACCESSIBILITY CODE TABLE 208.2			12 SPACES

BICYCLE PARKING REQUIREMENT:			
TOTAL SPACES REQUIRED: 4 FOR EACH (10) PARKING SPACES (PER 155.5102L.1)	REQUIRED	PROVIDED	
	12 / 10 = 1.2 1.2 X 4 = 4.8	5 SPACES	
TOTAL SPACES PROVIDED			7 SPACES

Site Data 03

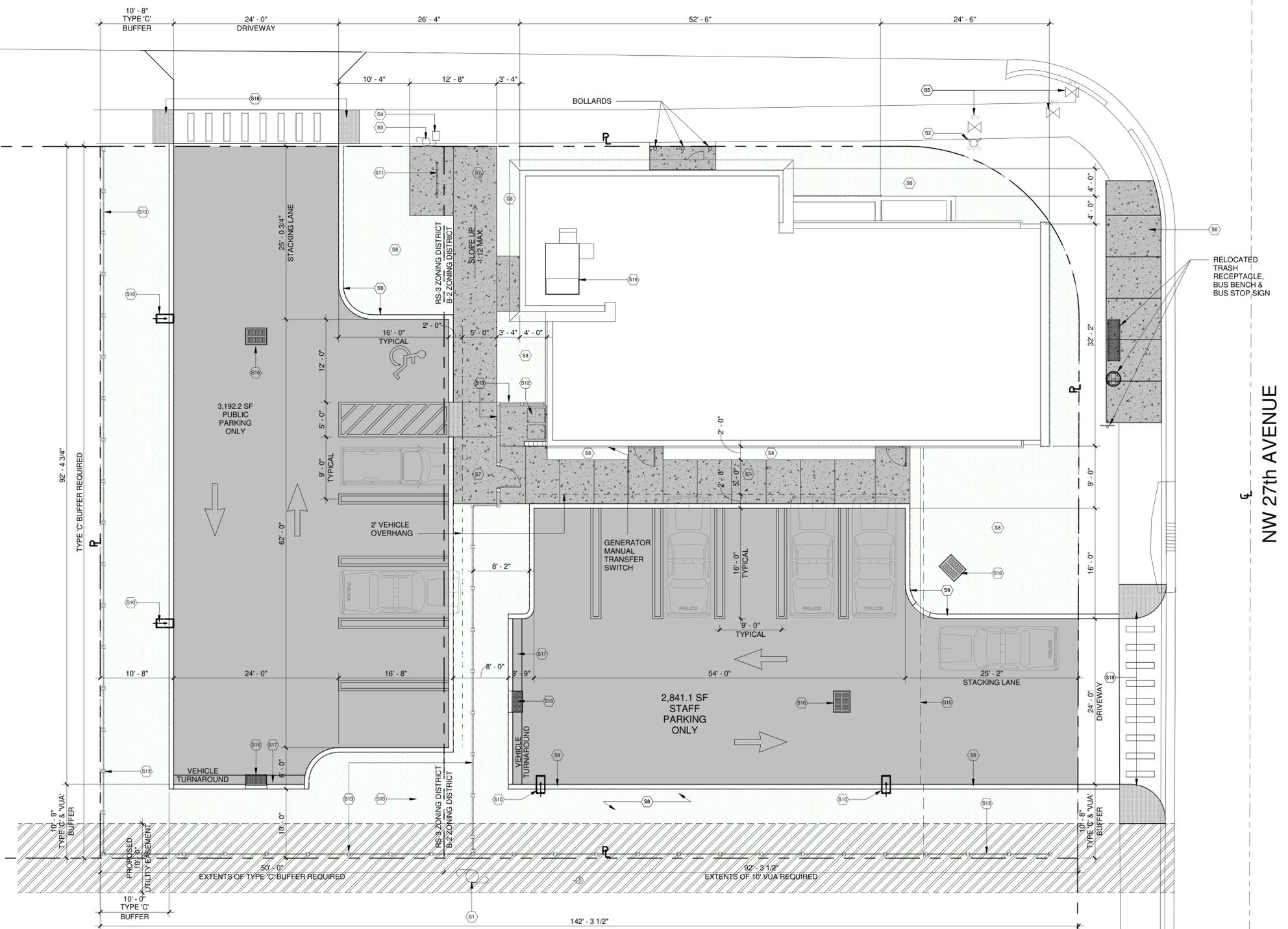
Received after DRC Meeting to address DRC comments prior to the submission of a Building Permit Application.
7/27/2021

KEYNOTE LEGEND (#)	
S1	EXISTING WOODEN FPL UTILITY POLE W/ TRANSFORMER. OVERHEAD LINE FEED TO STREET LIGHT (NORTH PROPERTY LINE) TO BE REMOVED
S2	EXISTING FIRE HYDRANT
S3	EXISTING WOODEN UTILITY POLE WITH STREET LIGHT TO BE REMOVED ALONG WITH OVERHEAD LINE FEED
S4	EXISTING METER BOX. SEE CIVIL DWGS FOR POINT OF CONNECTION
S5	EXISTING WATER VALVE
S6	CONCRETE APRON. SEE CIVIL DWGS DWGS FOR ADDITIONAL INFO
S7	5'-0" WIDE X 4" THICK FIBER REINFORCED CONCRETE WALKWAY. THICKENED EDGE W/ (1) CONT. # BAR TO PROVIDED ADJACENT TO LANDSCAPE AREAS. SAW CUT CONTROL JOINTS TO AT 5'-0" O.C. MAX. WITHIN 24 HOURS OF CONCRETE PLACEMENT
S8	LANDSCAPE AREA. SEE LANDSCAPE PLANA FOR ADDITIONAL INFO
S9	TYPE D CURB (TYP.). SEE CIVIL DWGS DWGS FOR ADDITIONAL INFO
S10	15' LIGHT POLE AND LED LIGHT FIXTURE. SEE PHOTOMETRICS PLAN FOR ADDITIONAL INFO
S11	HUNTCO SITE FURNISHINGS - (7-BIKE) RACK INSTALLED IN GROUND
S12	TRASH AND RECYCLE RECEPTACLES. SEE LANDSCAPE DWGS FOR SCREENING MATERIAL
S13	8' PERIMETER PRECAST CONCRETE POST-AND-PANEL WALL BY WALL WAY USA. SEE STRUCTURAL DWGS FOR ADDITIONAL INFO
S15	DECORATIVE FENCE W/ ACCESS CONTROLLED PEDESTRIAN / VEHICULAR ACCESS GATE
S16	CATCH BASIN. SEE CIVIL DWGS FOR ADDITIONAL INFO
S17	TYPE F CURB (TYP.). SEE CIVIL DWGS DWGS FOR ADDITIONAL INFO
S18	TRUNCATED WARNING DOME MATS. SEE CIVIL DWGS FOR ADDITIONAL INFO
S19	ROOF TOP MOUNTED MECHANICAL UNIT SCREENED FROM VIEW W/ PARAPET WALLS

Site Plan Keynote Legend 02



Location Plan 01

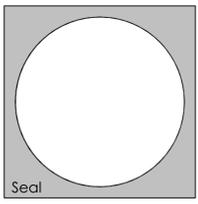


Architectural Site Plan 04
SCALE: 1/8" = 1'-0"



License #
AA26003131 • IB26001701
4710 SW 163rd Avenue
Miramar, Florida 33027
Phone (954) 489-8245
bennett.architecture@gmail.com

© BENNETT ARCHITECTURE, INC. 2021. THIS DOCUMENT IS THE PROPERTY OF BENNETT ARCHITECTURE, INC. AND SHALL NOT BE REPRODUCED, COPIED, NOR ALTERED WITHOUT EXPRESS WRITTEN CONSENT OF BENNETT ARCHITECTURE, INC.



ARCHITECT OF RECORD: KURT I-V BENNETT
LICENSE NUMBER: AR97753

Digitally signed by Kurt I-V Bennett
DN: cn=Kurt I-V Bennett, o=Bennett Architecture, Inc., ou=AR97753, email=bennett.architect@ure@gmail.com, c=US
Date: 2021.07.26 22:44:21 -0400

Kurt I-V Bennett
t

City of Pompano Beach:
BSO Substation (Collier City)
441 Northwest 27th Ave
Pompano Beach, Florida

Project

Revisions
Description Date

Sheet Title
Architectural Site Plan

Sheet No.
AS-100

Project No: 191210
Date Issued: 4/1/2021
Drawn By: KI-VB
Checked By: KI-VB

P&Z
PZ21-12000014
8/23/2023

GENERAL NOTES

EXHIBIT "B"

The plan takes precedence over the plant list.

2 Full business days before digging, call toll free 1-800-432-4770 Sunshine State One Call of Florida, Inc. Notification Center. For City of Fort Lauderdale Utilities call 1-954-828-8000. Contractors are responsible for coordinating with the owners and appropriate public agencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading and final decorative berm shaping shall be provided by the landscape contractor.

All sizes shown for plant material on the plans are to be considered Minimum. All plant material must meet or exceed these minimum requirements for both height and spread. Any other requirements for specific shape or effect as noted on the plan(s) will also be required for final acceptance.

All plant material furnished by the landscape contractor shall be Florida #1 or better as established by Grades and Standards for Florida Nursery Trees and Plants.

All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structural branching and even branch distribution. Trees with bark inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected.

All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionable material including weeds, weed seeds. All limerock shall be removed/cleaned down to the native soils. Planting soil 50/50 sand/topsoil mix shall be delivered to the site in a clean loose and friable condition and is required around the root ball of all trees and palms, the top 6" of all shrubs and ground cover beds. This soil can be tilled into the existing soil after the existing soil has been cleaned of all rocks, limestone and sticks. Recycled compost is encouraged as a soil amendment alternative. Sod 1.5-2" topsoil comes furnished.

All burlap, string, cords, wire baskets, plastic or metal containers shall be removed from the rootballs before planting. Remove all bamboo and metal nursery stakes. Remove all tagging tape.

All trees/palms shall be planted so the top of the root ball, root flare are slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. It is the sole responsibility of the landscape contractor to insure that all new plantings receive adequate water during the installation and during all plant warranty periods. Deep watering of all new trees and palms and any supplemental watering that may be required to augment natural rainfall and site irrigation is mandatory to insure proper plant development and shall be provided as a part of this contract.

All trees/palms shall be staked using biodegradable material. No wire, black strapping, or other synthetic material shall be used. Nailing into trees and palms for any reason is prohibited and the material will be rejected. Please refer to the planting details.

All landscape areas shall be irrigated by a fully automatic sprinkler system with a minimum 100% coverage with all heads adjusted to 50% overlap. Each system shall be installed with an operational rain sensor and rust inhibitor.

No fertilizers are required.

All landscape areas shall be covered with Pine Straw, Pine Bark, Eucalyptus or sterilized seed free Melaleuca mulch to a minimum depth of two inches (2") of cover when settled. Spread mulch to 1" thickness 3" away from the trunks/stems of all plant material. All trees in sodded areas shall have a clean cut 4" diameter mulch ring. The 5-6" height water ring shall be made from mulch, not soil. Certain areas may receive a thicker mulch cover where noted on plans. Cypress, red, gold and green mulch is prohibited.

Please refer to the planting details for a graphic representation of the above notes.

All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Thomas White, ASLA-ISA, AKA Land Art Planning & Design, LLC.

All plant material as included herein shall be warranted by the landscape contractor for a minimum period as follows: All trees and palms for 12 months, all shrubs, vines, groundcovers and miscellaneous planting materials for 90 days after final acceptance by the owner or owner's representative.

City of Pompano Beach Notes:

Pre-construction meeting is required with the City's Urban Forester before any plant material is installed on site.

As per 155.5204.F. No development, work, or demo activity shall be allowed within the dripline of a tree or tree protection area.

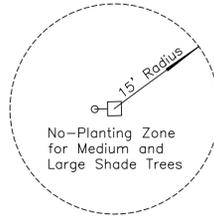
All hedges abutting City Rights of way are maintained at a height no greater than 24". It is staffs recommendation that all trees VIA perimeter trees be 14' OA to create a largest CPTED clear line of sight from roadway.

All tree work will require permitting by a registered Broward County Tree Trimmer. Provide a 24" Depth Root Barrier between all Shade Trees and Utilities, Hardscapes. See Detail this Sheet.

If trees are to be containerized, specify that the root ball will be shaved at the periphery, and radial slices to correct all circling roots and root ball deficiencies.

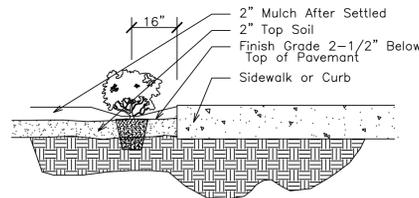
Plant spacing shall supersede plant quantity to fill the landscape bed.

All plant material utility equipment screening is to be maintained at least 6" above the equipment.



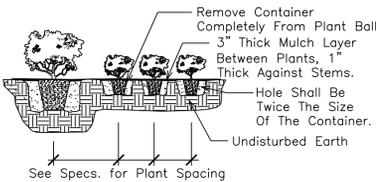
SITE LIGHTING CLEAR ZONE

NTS



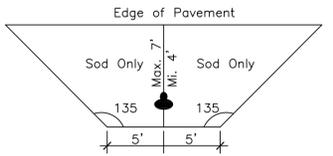
SHRUB INSTALLATION DETAIL

NTS



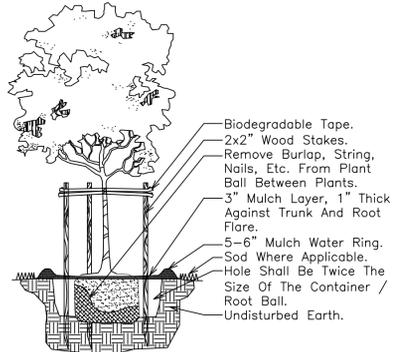
SHRUB PLANTING DETAIL

NTS



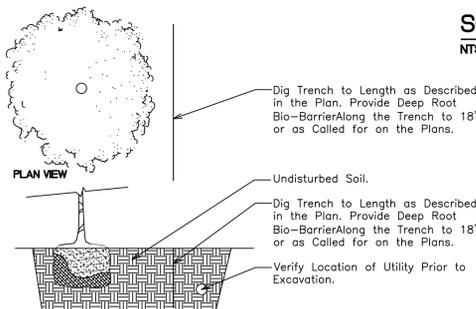
FIRE HYDRANT CLEAR ZONE

NTS



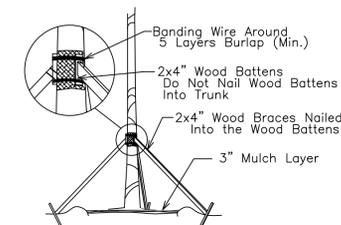
SMALL TREE PLANTING DETAIL

NTS



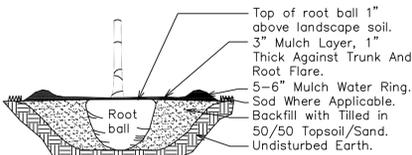
ROOT BARRIER DETAIL

NTS



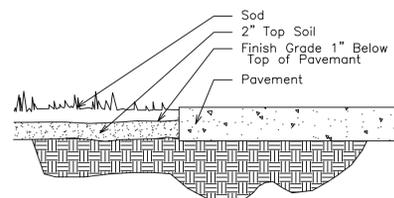
TREE/PALM BRACING DETAIL

NTS



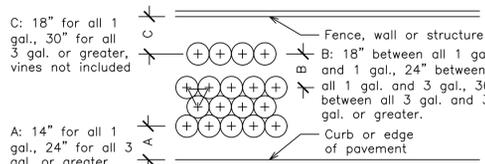
TREE/PALM PLANTING DETAIL

NTS



SOD INSTALLATION DETAIL

NTS

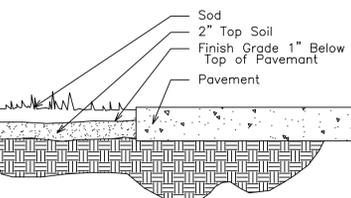


TYPICAL PLANT SPACING DETAIL

NTS

LANDSCAPE PLAN

1"=10'



CITY OF POMPANO BEACH PLANTING CALCULATIONS			
LANDSCAPE QUANTITY REQUIREMENTS			
Plot Tree Requirement: One Tree for every 3,000 square feet	Required	Provided	
14,536 Square Feet of Lot Area	5	12	
(Min. 50% shall be installed relating to the ht. of the main structure. = 12X6)			
Plot Shrub Requirement: 5 Shrubs per Tree	25	222	
Perimeter Tree Requirement: One Per 30' of Perimeter Linear Feet	Required	Provided	
245 Feet Total Perimeter	9	9	
103 Linear Feet West Property Line	4	4	
142 Linear Feet South Property Line	5	5	
Continuous hedge		Contd. Hedge	
Street Tree Requirement: One Per 40' of Street Frontage, 10x6, 2" DBH	Required	Provided	
118 Feet of NW 4th Court Street Frontage (Minus 24' Driveways)	3	3	
79 Feet of NW 27th Avenue Frontage (Minus 24' Driveways)	2	2	
20% Native Tree Requirement When 20 or more trees are required.	Provided		
Total Trees / Palms	26	26	
Total Native or Drought Tolerant Trees / Palms	24	24	
% Native or Drought Tolerant Trees / Palms	92%	92%	

CITY OF POMPANO BEACH SITE PLAN INFORMATION			
Land Use Designation:	Community Business		
Zoning Designation:	B-2		
Net Site Area:	14,536 Sq. Feet	=	0.33 Acres
Building Area:	2,749 Sq. Feet	=	18.9%
VUA Asphalt Areas:	6,033 Sq. Feet	=	41.5%
Misc Conc. Walks:	914 Sq. Feet	=	6.3%
Perimeter Wall & Curbs:	200 Sq. Feet	=	1.4%
Total Impervious Areas:	9,896 Sq. Feet	=	68.1%
Landscape Area:	4,640 Sq. Feet	=	31.9%
Total Pervious Areas:	4,640 Sq. Feet		

PLANT LIST					
Code	Drought	Qty.	Botanical Name / Common Name	Specifications	
TREES / PALMS					
CR	(N)	V	3	Clusia rosea / Pitch Apple	12 Ht. x 5 Spr., 2' Cal.
CE	(N)	V	9	Conocarpus erectus sericeus / Silver Buttonwood	12 Ht. x 5 Spr., 2' Cal.
MC	(N)	V	8	Myrica cerifera / Wax Myrtle	12 Ht. x 5 Spr., 2' Cal.
QV	(N)	V	4	Quercus virginiana / Live Oak	12 Ht. x 5 Spr., 2' Cal.
VM	(N)	V	6	Verticillium montgomeryana / Montgomery Palm	16 OA Ht., 4' Cal.
			26	Total Trees / Palms (VM Counted 3:1)	
			24	Native Trees / Palms	
			92%	Native Trees / Palms	
SHRUBS					
CFS	(N)	V	81	Clusia flava / Small Leaf Clusia	5 Ht. x 36' Spr., 36" OC
CFS	(N)	V	33	Clusia flava / Small Leaf Clusia	24 Ht. x 24' Spr., 24" OC
PMP	(N)	V	66	Podocarpus neriifolius / Podocarpus	24 Ht. x 24' Spr., 24" OC
SAT	(N)	V	5	Schefflera arboricola / Variegated Arboricola	24 Ht. x 24' Spr., 24" OC
TDF	(N)	V	28	Tripsacum dasytyloides / Fakahatchee Grass	24 Ht. x 24' Spr., 42-48" OC
YAS	(N)	V	9	Yucca aloifolia / Spanish Bayonet	5 Ht. x 3 Spr., FTB
			222	Total Shrubs	
			151	Native Shrubs	
			68%	Native Shrubs	
GROUND COVERS / SOD					
FMG	(N)	V	36	Ficus microcarpa / Green Island Ficus	24' Spr., 24" OC
SOD	(M)	V	S.F.	Stenotaphrum secundatum / St. Augustine Palmetto	Solid application - no gaps between seams
	(N)	V		Florida Native Plant Species	
	(M)	V		Medium Drought Tolerant	
	(V)	V		Very Drought Tolerant	

THOMAS WHITE, ASLA-ISA
LANDSCAPE ARCHITECT, LEED GREEN
ASSOCIATE, CERTIFIED ARBORIST,
2600 NE 27th Avenue
FORT LAUDERDALE, FLORIDA 33306
tcwhite@telsouth.net
954-253-2265

REVISIONS

6-21-2021: Per City Comments

4 TOF 28

CE 4

28

N.W. 27th Avenue

City of Pompano Beach BSO Substation
441 NW 27th Terrace
Pompano Beach, Florida



DRAWN: TW
CHECKED: TW
DATE: 4-1-2021
SCALE: 1" = 10'

Sheet No. L-2
Sheet 2 Of 3

Thomas White, ASLA-ISA
ASLA-ISA
Digitally signed by Thomas White, ASLA-ISA
Date: 2021.06.21 10:53:25 -0400

P&Z
PZ21-1200014
8/23/2023

DRC
PZ21-1200014
7/21/2021



3D View (Northeast Corner) SCALE: 05

PLUMBING CALCULATIONS

PER F.B.C.P. 2020: TABLE 403.1 - BUSINESS

WATER CLOSETS:
 - 1 PER 25 FOR THE FIRST 50 AND 1 PER 50 FOR THE REMAINDER EXCEEDING 50

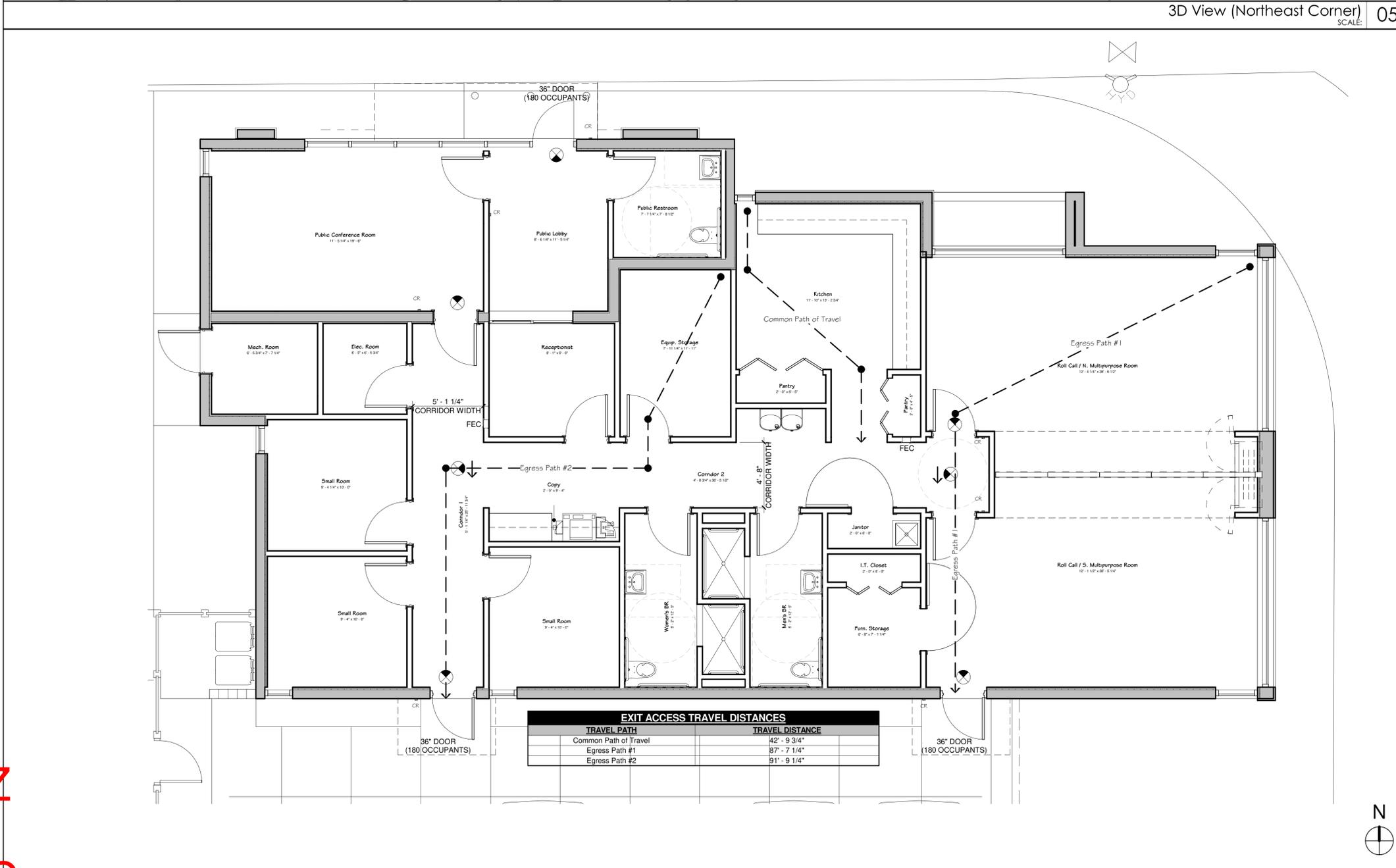
LAVATORIES:
 - 1 PER 40 FOR THE FIRST 80 AND 1 PER 80 FOR THE REMAINDER EXCEEDING 80

DRINKING FOUNTAIN:
 - 1 PER 100

SERVICE SINK:
 - 1 SERVICE SINK

	REQUIRED	PROVIDED
WATER CLOSETS:		
• MALE	1	1
• FEMALE	1	1
LAVATORIES		
• MALE	1	1
• FEMALE	1	1
DRINKING FOUNTAIN	1	1
SERVICE SINK	1	1

Plumbing Calculations 03



EXIT ACCESS TRAVEL DISTANCES

TRAVEL PATH	TRAVEL DISTANCE
Common Path of Travel	42' - 9 3/4"
Egress Path #1	87' - 7 1/4"
Egress Path #2	91' - 9 1/4"

Proposed Floor & Life Safety Plan SCALE: 1/4" = 1'-0" 04

OCCUPANCY LOAD CALCULATIONS

PER F.B.C. 2020: TABLE 1004.5

FUNCTION OF SPACE	TOTAL AREA	Load Factor	Total Load
• ACCESSORY STORAGE, MECHANICAL ROOMS	229 SF.	300 Gross	0.8
• BUSINESS	260 SF.	100 Gross	2.6
• CONFERENCE ROOM	224 SF.	20 Net	11.2
• KITCHEN	156 SF.	200 Gross	0.8
• MULTI-PURPOSE (EDUCATIONAL)	689 SF.	20 Net	34.5
TOTAL...			49.9 or 50

Occupancy Load Calculations 02

OCCUPANCY GROUP PER F.B.C. 2020 (304) & NFPA 101 (38.1.2)
 BUSINESS

TYPE OF CONSTRUCTION (F.B.C. TABLE 601)
 TYPE II B

ALLOWABLE AREA / HEIGHT
 MAXIMUM ALLOWABLE AREA PER FLOOR NS: 23,000 SF.
 AREA PROVIDED: 2,749.5 SF.

MAXIMUM ALLOWABLE HEIGHT:
 HEIGHT PROVIDED: 5 STORIES / 1 STORY

TRAVEL DISTANCE (F.B.C. TABLE 1017.2)
 WITHOUT FIRE SPRINKLER SYSTEM (FEET) 200'-0" PERMITTED
 PROVIDED 91'-10" WORST CASE SCENARIO

COMMON PATH OF TRAVEL (F.B.C. TABLE 0006.2.1)
 WITHOUT FIRE SPRINKLER (FEET) 100'-0" PERMITTED
 PROVIDED 40'-5"

DEAD-END CORRIDOR (F.B.C. TABLE 1020.4)
 WITHOUT FIRE SPRINKLER (FEET) 00'-0" PERMITTED
 NO DEAD END CORRIDOR PROVIDED

MINIMUM EGRESS WIDTH (F.B.C. 1005.3.2)
 0.2 INCH PER OCCUPANT REQUIRED
 50 OCCUPANTS X 0.2 INCH = 10 INCHES
 PROVIDED 108 INCHES

MINIMUM CORRIDOR WIDTH (INCHES) (F.B.C. TABLE 1020.2)
 44 INCHES MINIMUM
 PROVIDED 56 INCHES

REQUIRED FIRE EXTINGUISHERS (F.B.C. TABLE 906.3(1))
 ONE FIRE EXTINGUISHER MUST BE LOCATED PER 1,500 SQ.FT. OF FLOOR AREA WITH
 A MAXIMUM OF 75' FROM ANY ONE POINT IN THE SPACE (SEE FLOOR PLAN FOR
 LOCATION) - EACH EXTINGUISHER SHALL BE RATED TYPE 2-A FOR ORDINARY HAZARD
 OCCUPANCY & INSTALLED SO THAT THE TOP IS NOT MORE THAN 5' A.F.F. (IF WEIGHT
 IS <40 LBS)
 GROSS FLOOR AREA (2,749.4/1,500 = 1.83) REQUIRED
 PROVIDED 2 FIRE EXTINGUISHERS

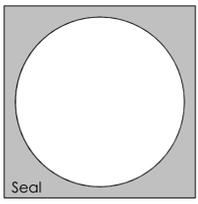
Code Research 01



License #
 AA26003131 • IB26001701

4710 SW 163rd Avenue
 Miramar, Florida 33027
 Phone (954) 489-8245
 bennett.architecture@gmail.com

© BENNETT ARCHITECTURE, INC. 2021. THIS DOCUMENT IS THE PROPERTY OF BENNETT ARCHITECTURE, INC. AND SHALL NOT BE REPRODUCED, COPIED, NOR ALTERED WITHOUT EXPRESS WRITTEN CONSENT OF BENNETT ARCHITECTURE, INC.



ARCHITECT OF RECORD: KURT I-V BENNETT
 LICENSE NUMBER: AR97753

Digitally signed by
 Kurt I-V Bennett
 DN: cn=Kurt I-V Bennett, o=Bennett Architecture, Inc., ou=AR97753, email=kurt@bennett.architecture@gmail.com, c=US
 Date: 2023.06.18 23:44:44 -0400

City of Pompano Beach:
BSO Substation (Collier City)

441 Northwest 27th Ave
 Pompano Beach, Florida

Project

Revisions
 # Description Date

Sheet Title
 Floor/ Life Safety Plan & Data

Sheet No.
A-100

Project No: 191210
 Date Issued: 4/1/2021
 Drawn By: Author
 Checked By: Checker

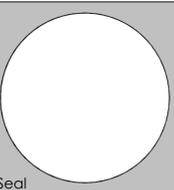
P&Z
 PZ21-12000014
 8/23/2023

DRC
 PZ21-12000014
 7/21/2021



License #
AA26003131 • IB26001701
4710 SW 163rd Avenue
Miramar, Florida 33027
Phone (954) 489-8245
bennett.architecture@gmail.com

© BENNETT ARCHITECTURE, INC. 2021. THIS DOCUMENT IS THE PROPERTY OF BENNETT ARCHITECTURE, INC. AND SHALL NOT BE REPRODUCED, COPIED, NOR ALTERED WITHOUT EXPRESS WRITTEN CONSENT OF BENNETT ARCHITECTURE, INC.



ARCHITECT OF RECORD: KURT I-V BENNETT
LICENSE NUMBER: AR97753

Digitally signed by Kurt I-V Bennett
DN: cn=Kurt I-V Bennett, o=Bennett Architecture, Inc., ou=AR97753, email=bennett.architect@me.com, c=US
Date: 2021.07.26 22:43:07 -0400

City of Pompano Beach:
BSO Substation (Collier City)
441 Northwest 27th Ave
Pompano Beach, Florida

Project

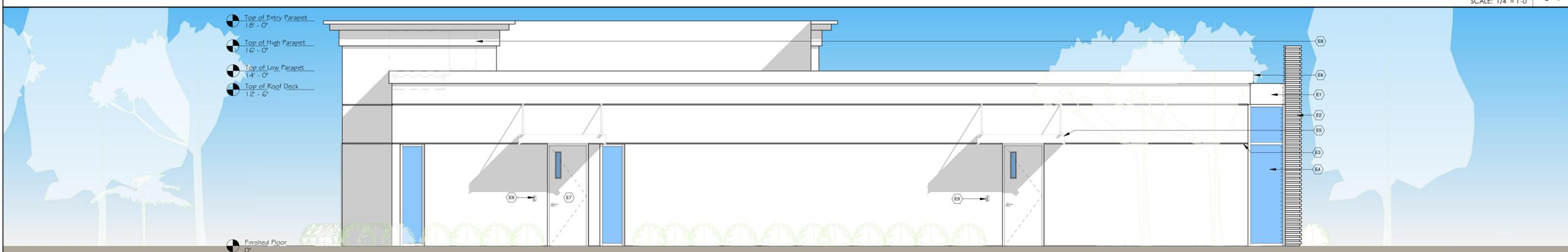
Revisions
Description Date

Sheet Title
Exterior Elevations

Sheet No.
A-201
Project No: 191210
Date Issued: 4/1/2021
Drawn By: Author
Checked By: Checker



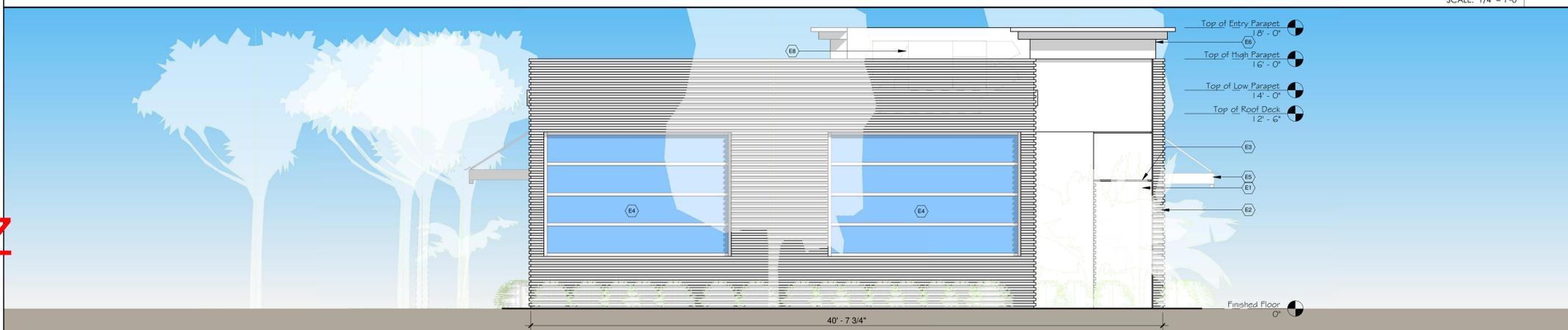
North Elevation 04
SCALE: 1/4" = 1'-0"



South Elevation 03
SCALE: 1/4" = 1'-0"



West Elevation 06
SCALE: 1/4" = 1'-0"



East Elevation 05
SCALE: 1/4" = 1'-0"

Received after DRG Meeting
to address DRG comments
prior to the submission of a
Building Permit Application.
7/27/2021

FENESTRATION / TRANSPARENCY

AT LEAST 30% REQUIRED

STREET FACING FACADE	FACADE AREA (± SF)	REQUIRED (± SF)	PROVIDED (± SF)
• NORTH ELEVATION (NW 4th COURT)	1,159 SF.	347.7 SF.	350.3 SF.
• EAST ELEVATION (NW 27th AVENUE)	640.5 SF.	192.2 S.F	192.4 SF.

Fenestration/Transparency Calculations 02

KEYNOTE LEGEND (#)

- E1 SMOOTH TEXTURED PAINTED STUCCO. COLOR PALLETTE TO MATCH CITY HALL
- E2 BOX RIBBED (BR-12) METAL PANELS BY BERRIDGE MANUFACTURING
- E3 1" STUCCO CHANNEL REVEAL
- E4 IMPACT RESISTANT GLAZING SYSTEM
- E5 SUPER LUMIDECK FLAT SOFFIT CANOPY BY MAPES INDUSTRIES, INC.
- E6 SMOOTH STUCCO CORNICE
- E7 HOLLOW METAL DOOR & FRAME
- E8 ROOF TOP MOUNTED MECHANICAL UNIT SCREENED FROM VIEW W/ PARAPET WALLS
- E9 ACCESS CONTROLS: CARD READER

P&Z
PZ21-1200014
8/23/2023