

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

REVOCABLE LICENSE AGREEMENT

THIS AGREEMENT, made this 16th day of November, 2020, by and between:

CITY OF POMPANO BEACH, a municipal corporation of the State of Florida, whose address is 100 W. Atlantic Blvd., Pompano Beach, Florida 33060, (“CITY”),

and

FAIRFIELD POMPANO LP, a Delaware limited partnership with offices located at 5510 Morehouse Drive, Suite 200, San Diego, CA 92121, (“LICENSEE”),

collectively referred to as “the Parties.”

WITNESSETH:

WHEREAS, LICENSEE is the owner of fee simple title to certain real property located on the northwest corner of N.E. 6th Street and State Road 5/Federal Highway in the City of Pompano Beach, Broward County, Florida, and more particularly described in Exhibit “A” attached and incorporated in this Agreement (the “Property”); and

WHEREAS, LICENSEE is developing a Fairfield Residential project on the Property (the “Project”); and

WHEREAS, as part of the Project, LICENSEE intends to or has constructed or placed, and agrees to maintain, certain improvements including, but not limited to, pavers, landscaping and irrigation (“Improvements”), within the rights-of-way of N.E. 6th Street and Federal Highway, and as further described and depicted in Exhibit “B;” and

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WHEREAS, it is the intent of the Parties that LICENSEE any successor property owner, association or other designated legal entity shall be required to maintain the Improvements; and

WHEREAS, Federal Highway Right-of-way adjacent to the Property is under the jurisdiction of the Florida Department of Transportation (“FDOT”); and

WHEREAS, pursuant to City Resolution No. 2008-49, a Landscape Inclusive Maintenance Memorandum of Agreement (“MMOA”) between City and FDOT, outlining the parties’ responsibilities regarding improvements to be constructed and installed, and the maintenance of such Improvements, within the Right-of-Way of State Road 5/Federal Highway; and

WHEREAS, pursuant to the City Resolution No. 2019-149, the CITY and FDOT recently executed Amendment No. 17 of the MMOA agreeing to allow adjacent property owners to State Road 5/Federal Highway to install or construct additional landscape improvements or to modify improvements within the Right-of-Way of State Road 5/Federal Highway, and to maintain such improvements; and

WHEREAS, LICENSEE has agreed to maintain the Improvements proposed for installation or construction within the Rights-of-Way of N.E. 6th Street and State Road 5/Federal Highway, pursuant to the standards and requirements outlined in the MMOA and any amendments and in the Maintenance Plan for Landscape Improvements, attached and incorporated in this Agreement as Exhibit “C”; and

WHEREAS, LICENSEE has agreed to maintain Improvements as consideration for CITY’s authorization to place all of the Improvements, as indicated above, in the Rights-of-Way of N.E. 6th Street and State Road 5/Federal Highway; and

WHEREAS, claims for damages or injuries may be made, or have been made against CITY solely due to the installation, placement or existence of the aforementioned Improvements within

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the aforementioned Rights-of-Way prior to the effective date of this Agreement, and LICENSEE intends to indemnify CITY for any and all such claims; and

WHEREAS, pursuant to the terms set forth in this Agreement, LICENSEE agrees to indemnify and hold CITY harmless for the installation, construction and maintenance of the Improvements within the Rights-of-Way; and

WHEREAS, inasmuch as the use of the property owned by CITY and FDOT by LICENSEE for this restricted purpose will not interfere with the rights enjoyed by the public and will be without cost to the public.

NOW, THEREFORE, in consideration of the sum of Ten Dollars (\$10.00) and such other valuable consideration, the receipt and sufficiency of which is acknowledged, the Parties agree as follows:

1. Recitals.

The parties acknowledge and agree that the Recitals above are true and correct and incorporated herein by this reference.

2. CITY grants to LICENSEE and LICENSEE accepts from CITY a non-exclusive license to use a portion of right-of-way property ("License Area") in the aforementioned roadways for the purpose of installing, operating and maintaining Improvements in and under the property shown on the site plan and description attached and designated as Exhibit "D," attached and incorporated in this License Agreement. All work of installation, maintenance, land restoration and clean-up shall be done to the satisfaction of the City Engineer. Prior to the start of construction, LICENSEE shall provide documentation (such as pictures, video, topographic surveys) to the City Engineer to establish the conditions that existed within the License Area prior to construction. All damages caused as a result of such installation to any elements, including, but not limited to,

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pavement, curbs, sidewalks, landscaping, trees, irrigation, utility poles, located within the public right-of-way shall be restored or repaired to a condition equal to or better than that existing prior to commencement of installation/construction or maintenance of Improvements. This shall include any subsurface features such as water service lines, utility access lines, utility access covers, water meter boxes, water isolation valve stems, or sanitary sewer cleanouts that may deteriorate as a result of removing asphalt, base materials, compaction, paving operations. LICENSEE shall be responsible for verifying all underground utilities prior to digging in any area. LICENSEE shall notify all necessary utility companies, 48 hours minimum prior to digging for verification all underground utilities, irrigation and any other obstructions and coordinate prior to initiating operations.

3. LICENSEE agrees that this License Agreement is contingent upon LICENSEE submitting a site plan or location plan and blueprints or other documentation as is usually required by the Engineering Department of CITY for the issuance of a permit, and the granting of this license does not in any way waive any other building or construction ordinances, fees, or requirements of CITY. LICENSEE shall not commence construction nor occupy the right-of-way for construction purposes prior to approval of the permits.

4. This license shall continue from day to day commencing on the date of execution by all parties until terminated in accordance with this Agreement.

5. LICENSEE agrees to pay CITY as compensation for this License the sum of One Dollar (\$1.00) per annum. Receipt of the first payment of One Dollar (\$1.00) is acknowledged.

6. This license may, at the option of LICENSEE, with the consent of CITY, be renewed from year to year after the initial term upon payment by LICENSEE to CITY of the sum of One Dollar (\$1.00) per annum.

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7. As further consideration of this License Agreement, LICENSEE further agrees to pay any taxes of whatever nature which may validly be levied against the premises or pursuant to this Agreement during the continuance of this Agreement.

8. This license may be terminated by CITY at any time, for no express reason, upon giving thirty (30) days' written notice to LICENSEE by certified mail as further provided in paragraph 15. Upon termination, LICENSEE agrees to remove at its sole expense all encroachments lying in, along and under the licensed portion of the right-of-way and to restore the pavement and any modification made by LICENSEE to the licensed premises to its former condition or better as determined in the sole discretion of the Public Works Administrator.

9. LICENSEE specifically agrees that it will use the Rights-of-way pursuant to this license only for the purpose of installing, constructing and maintaining Improvements described in this Agreement. Further, LICENSEE will not suffer or permit the licensed premises or any part to be used for any other purpose without the express consent of CITY. During the construction and installation phase, LICENSEE shall not store materials and equipment in the public right-of-way. Staging of materials in the public right-of-way is strictly prohibited. The City Engineer shall approve all repairs, replacements and maintenance within the License Area.

10. It is further expressly agreed by LICENSEE that it shall not make any alteration other than normal repairs and maintenance to the Improvements by way of substantial alteration without the express written consent of CITY.

11. It is expressly understood and agreed that no real or personal property is leased to LICENSEE; that the LICENSEE's right to occupy the right-of-way is subordinate to CITY's (or any franchisee of CITY) use of the licensed premises, and should any relocation of any public utility be necessitated at any time in the future, then LICENSEE shall relocate, if practicable, or

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terminate its use of the licensed premises at its own expense by restoring the pavement and any modifications made by LICENSEE to the licensed premises to its former condition or better, as determined in the sole discretion of the Public Works Director. In the event that the non-exclusive use, occupation, and possession and maintenance of the Improvements ever (a) conflicts with a superior municipal interest of the CITY or public or FDOT, or (b) at any time the CITY or FDOT requires the use of the License Area for a superior conflicting municipal purpose or (c) the CITY or FDOT determines that continuation of the License Agreement for the License Area is no longer in the best public interest, all as determined by the CITY, and consistent with the MMOMA, then in that event, the license shall be terminable at the will of the CITY upon fifteen (15) days written notice to the LICENSEE.

12. During the term of this License and any subsequent renewal, LICENSEE assumes all risks in the installation, construction and maintenance of the Improvements located along and under the licensed premises and shall be solely responsible and answerable for damages related to all accidents or injuries to person or property arising out of or caused in the performance of any of the work done pursuant to this Agreement, or arising out of the presence, possession or maintenance of such Improvements. LICENSEE further covenants and agrees to indemnify and hold harmless CITY, FDOT and their officers, agents and employees from any and all claims (which shall include, but not be limited to, the defense of any claim and any and all costs in any judicial or quasi-judicial proceedings and for any and all damages or penalties of any kind or nature), suits, losses, damage or injury to person or property of whatsoever kind and nature, whether direct or indirect, arising out of the installation, construction and maintenance of the aforementioned Improvements or the carelessness, negligence or improper conduct of LICENSEE or any servant, agent, subcontractor or employee of LICENSEE.

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13. LICENSEE shall procure at its own cost and expense Comprehensive General Liability Insurance coverage in an amount not less than One Million (\$1,000,000.00) Dollars combined single limit in addition to any other insurance or bond CITY may require, which insurance will protect LICENSEE, CITY, FDOT and their officers and employees from any claims for damages to property and for personal injuries, including death, which may arise on the Property/Licensed premises during the term of this agreement and any renewals. The insurance policy shall contain a thirty (30) day cancellation clause period and a Certificate of Insurance shall be furnished to the CITY, naming the City of Pompano Beach and FDOT as an additional insured pursuant to this Agreement. The Certificate of Insurance must be approved by the CITY's Risk Manager prior to execution of this Agreement. A copy of the approved Certificate is attached and incorporated in this Agreement as Exhibit "E."

14. LICENSEE is not permitted to assign, transfer, convey or otherwise dispose of this license to any other person or corporation without the prior written consent of CITY. In the event of an attempt to assign, transfer, convey or otherwise dispose of this license to any person not specifically a party to this Agreement, then this license shall be null and void and terminated without notice to LICENSEE.

15. Any notice required under the terms of this License Agreement must be in writing and must be sent by certified mail to the address of the party to whom the notice is to be given.

Addresses of the parties are as follows:

FOR CITY:

Gregory Harrison, City Manager
City of Pompano Beach
Post Office Box 1300
Pompano Beach, Florida 33061-1300

FOR LICENSEE:

Fairfield Pompano LP
3330 Cumberland Blvd. SE, Suite 375
Atlanta, GA 30339
Attn: C. Thomas Brunson and Richard Munger
Email: tbrunson@ffres.com and
rmunger@ffres.com
404-442-3856 office
214-574-1376 fax

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16. Installation and construction activities shall not commence until the LICENSEE submits to the Engineering Department maintenance of traffic plan ("plan") for approval, if such is needed, as determined by the City Engineer. The plan shall be signed and dated by a person who has been certified by the American Traffic Safety Services Association or signed and sealed by a professional engineer. The plan shall conform to FDOT's latest manual on Uniform Traffic Control Devices, as amended for streets and highways, the requirements of the Standard Application Package for railways, including flagging services and Railroad Protective Insurance or acceptable alternative, when applicable, and the FDOT's latest Roadway and Traffic Design Standards and Standard Specifications for Road and Bridge Construction, as amended.

17. This License Agreement shall be construed in accordance with the laws of the State of Florida. If any provision or its application to any person or situation, is deemed invalid or unenforceable for any reason and to any extent, the remainder of this License Agreement, or the application of the remainder of the provisions, shall not be affected. Rather, this License Agreement is to be enforced to the extent permitted by law. The captions, headings and title of this License Agreement are solely for convenience of reference and are not to affect its interpretation. Each covenant, term, condition, obligation or other provision of the Revocable License is to be construed as a separate and independent covenant of the party who is bound by or who undertakes it, and each is independent of any other provision of this License, unless otherwise expressly provided. All terms and words used in this License Agreement, regardless of the number or gender in which they are used, are deemed to include any other number and other gender, as the context requires.

18. This License Agreement shall be binding on and inure to the benefit of the parties, their successors and assigns.

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19. Nothing contained in this License Agreement is intended to serve as a waiver of sovereign immunity by the CITY as provided for in Fla. Stat. 768.28.

20. The parties expressly acknowledge that it is not their intent to create or confer any rights or obligations in or upon any third person or entity under this License Agreement. None of the parties intend to directly or substantially benefit a third party by this License Agreement. The parties agree that there are no third party beneficiaries to this License Agreement and that no third party shall be entitled to assert a claim against any of the parties based on this License Agreement. Nothing herein shall be construed as consent by any agency or political subdivision of the State of Florida to be sued by third parties in any manner arising out of any contract.

21. LICENSEE shall not discriminate against any Person in the performance of duties, responsibilities and obligations under this License Agreement because of race, age, religion, color, gender, national origin, marital status, disability or sexual orientation.

22. Each party shall maintain its own respective records and documents associated with this License Agreement in accordance with the records retention requirements applicable to public records. Each party shall be responsible for compliance with any public documents request served upon it pursuant to Section 119.07, Florida Statutes, and any resultant award of attorney's fees of non-compliance with that law.

23. This document incorporates and includes all prior negotiations, correspondence, conversations, agreements and understandings applicable to the matters contained herein and the parties agree that there are no commitments, agreements or understandings concerning the subject matter of this License Agreement that are not contained in this document. Accordingly, the parties agree that no deviation from the terms of this Agreement shall be predicated upon any prior representations or agreements, whether oral or written.

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24. The parties acknowledge that they have sought and obtained whatever competent advice and counsel as was necessary for them to form a full and complete understanding of all rights and obligations and that the preparation of this License has been their joint effort.

25. The parties agree that each requirement, duty and obligation set forth in this Agreement is substantial and important to the formation of this License and, therefore, is a material term. Any party's failure to enforce any provision of this License shall not be deemed a waiver of such provision or modification of this License. A waiver of any breach of a provision of this License shall not be deemed a waiver of any subsequent breach and shall not be construed to be a modification of the terms of this License.

26. This License Agreement shall be interpreted and construed in accordance with and governed by the laws of the State of Florida. Any controversies or legal problems arising out of this License Agreement and any action involving the enforcement or interpretation of any rights shall be submitted to the jurisdiction of the State courts of the Seventeenth Judicial Circuit of Broward County, Florida. To that end, LICENSEE expressly waives whatever other privilege to venue it may otherwise have.

27. Neither party shall be obligated to perform any duty, requirement or obligation under this Agreement if such performance is prevented by fire, hurricane, earthquake, explosion, war, civil disorder, sabotage, accident, flood, acts of God or by any reason of any other matter or condition beyond the control of either party which cannot be overcome by reasonable diligence and without unusual expense ("Force Majeure"). In no event shall economic hardship or lack of funds be considered an event of force majeure.

Licensee must follow all Federal, State, County, and City safety guidelines, including all CDC safety guidelines in effect during the term of the program, including but not limited to social

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distancing, and personal protection equipment. Inability to conduct the program and follow any and all required safety guidelines from the COVID-19 crisis or other similar emergency, or failure to follow such requirements, including but not limited to, social distancing, shall constitute grounds for immediate cancellation of this Agreement unilaterally by the City upon written notice, which may be provided via electronic mail.

The parties, by mutual agreement, may reschedule the performance of the services to a later date pursuant to the terms of this agreement.

IN WITNESS WHEREOF, the parties to this License Agreement have set their hands and seals on the day and year first above written.

"CITY":

CITY OF POMPANO BEACH

DocuSigned by:
Rex Hardin
By: 502CB780EB3F480...
REX HARDIN, MAYOR

DocuSigned by:
Gregory P. Harrison
By: 7052B67E15A44C8
GREGORY P. HARRISON, CITY MANAGER

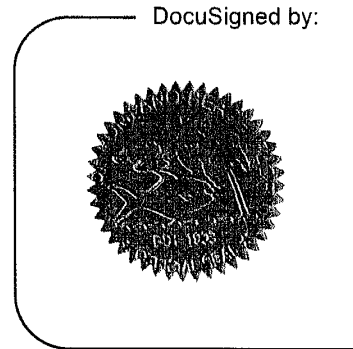
Attest:

DocuSigned by:
Asceleta Hammond
775D4290316A490...
ASCELETA HAMMOND, CITY CLERK

APPROVED AS TO FORM:

DocuSigned by:
Mark E. Berman
B4DD5E1CDA804A1...
MARK E. BERMAN, CITY ATTORNEY

(SEAL)



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"LICENSEE":

Witnesses:

FAIRFIELD POMPANO LP
a Delaware limited partnership

By BF VAMF III GP LLC
a Delaware limited liability company,
Its General Partner,

James Condie
James Condie
Print Name

By: [Signature]

Bryan Condie
Typed or Printed Name

Brent LeBlanc

Title: Vice President

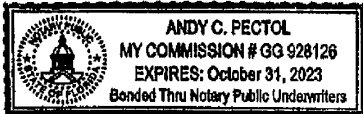
Brent LeBlanc
Print Name

(SEAL)

STATE OF FLORIDA
COUNTY OF Broward

The foregoing instrument was acknowledged before me, by means of physical presence or online notarization, this 2nd day of November, 2020, by Bryan Condie as Vice President of BF VAMF III GP LLC, General Partner of FAIRFIELD POMPANO, LP, a Delaware Limited Partnership, on behalf of the partnership. (He/she is personally known to me) or who has produced _____ (type of identification) as identification.

NOTARY'S SEAL:




[Signature]
NOTARY PUBLIC

Andy C Pectol
(Name of Acknowledger Typed, Printed or Stamped)

GG 928126
Commission Number

JES:jrm
10/21/2020
L:agr/pw/2020-1018



301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6603
PH: (954) 788-5400
Florida Certificate of
Professional Engineer
Authorization # 7-7928
PERMIT SET: 17272016

FAIRFIELD
RESIDENTIAL
POMPANO BEACH
601 N. Federal Hwy
POMPANO BEACH FL
33060

SCALE: AS NOTED
DATE ISSUED: MAY 2, 2019
DRAWN BY: KIS
DESIGNED BY: PIV
CHECKED BY: PIV

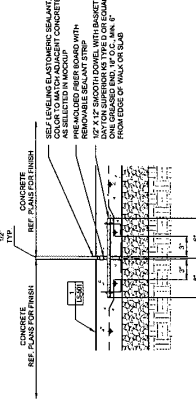
SHEET TITLE
SITework DETAILS

SHEET NUMBER
LS-501

100% CONSTRUCTION DOCUMENTS
PROJECT NO. 09650.01

10' 0" 5' 0" 4' 0" 3' 0" 2' 0" 1' 0" 0' 0"

3 EXPANSION JOINT
SECTION
SCALE: 1-1/2"=1'-0"



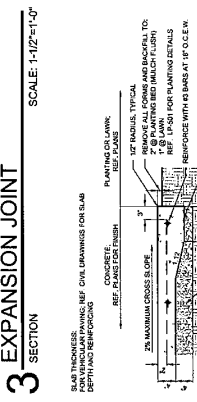
SELF-LEVELING ELASTOMERIC SEALANT COLOR TO MATCH ADJACENT CONCRETE AS SELECTED IN MOODUP
1/2" X 1/2" SMOOTH DOWEL WITH BAGNET, ONE GREASED END, 1/2" O.C. MAX. P. FROM EDGE OF ROAD FOR SLAB

CONCRETE
REF. PLANS FOR FINISH

10' 0" MAX. SPACING

CONCRETE
REF. PLANS FOR FINISH

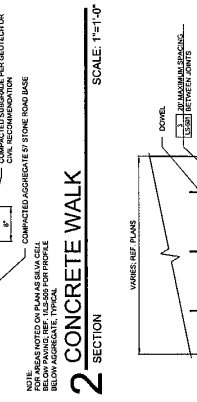
2 CONCRETE WALK
SECTION
SCALE: 1"-1'-0"



REMOVE ALL FORMS AND BACKFILL TO: 1/2" RADIUS, TYPICAL
1/2" RADIUS, TYPICAL
REF. SP-501 FOR PAVING DETAILS
REINFORCE WITH #3 BARS AT 18" O.C. MAX. PER SIDE OF ROAD
PROVIDED EDGE, TYP. ALL WALKS AND SLABS
COMPACTED AGGREGATE BY STONE ROAD BASE
CIVIL RECOMMENDATION

NOTE: ALL WALKS SHALL BE FINISHED TO THE SAME ELEVATION AS THE ADJACENT PAVING BELOW AGGREGATE, TYPICAL

1 CONCRETE WALK
PLAN
SCALE: 3/4"=1'-0"




WALKS: REF. PLANS

REF. ARCHITECTURE PLAN FOR FINISH AND COLOR, TYPICAL

10' 0" MAX. SPACING

6 CONCRETE WALK AT CURB
SECTION
SCALE: 1"-1'-0"



SELF-LEVELING ELASTOMERIC SEALANT, COLOR TO MATCH CONCRETE AS SELECTED IN MOODUP

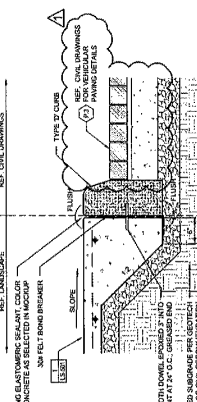
3/8" X 1/2" SMOOTH DOWEL, ONE GREASED END, 1/2" O.C. MAX. P. FROM EDGE OF ROAD FOR SLAB

REF. CIVIL DRAWINGS FOR PAVING DETAILS

REF. CIVIL DRAWINGS FOR PAVING DETAILS

REF. CIVIL DRAWINGS FOR PAVING DETAILS

5 EXPANSION JOINT AT EXISTING WALK
SECTION
SCALE: 1-1/2"=1'-0"

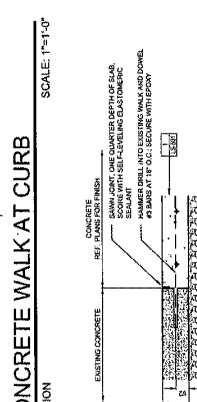


CONCRETE
REF. PLANS FOR FINISH

EXISTING CONCRETE

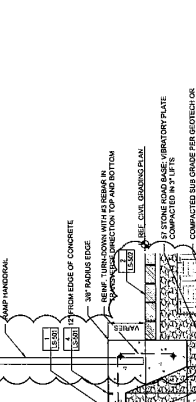
REMOVE ALL FORMS AND BACKFILL TO: 1/2" RADIUS, TYPICAL
1/2" RADIUS, TYPICAL
REF. SP-501 FOR PAVING DETAILS
REINFORCE WITH #3 BARS AT 18" O.C. MAX. PER SIDE OF ROAD
PROVIDED EDGE, TYP. ALL WALKS AND SLABS
COMPACTED AGGREGATE BY STONE ROAD BASE
CIVIL RECOMMENDATION

4 CONTROL JOINT
SECTION
SCALE: 1-1/2"=1'-0"



1/2" WIDE SAW CUT CONTROL JOINT, ONE END OF JOINT WITH 1/2" IN BOARD OF FINISHMENT

9 CONCRETE TURN-DOWN
SECTION
SCALE: 1"-1'-0"



ARCHITECTURAL DOOR

10' 0" MAX. SPACING

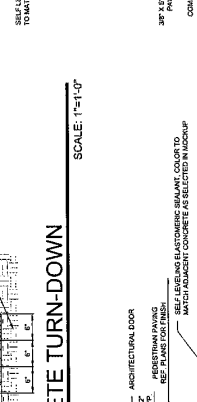
SELF-LEVELING ELASTOMERIC SEALANT, COLOR TO MATCH ADJACENT CONCRETE AS SELECTED IN MOODUP

1/2" X 1/2" SMOOTH DOWEL, ONE GREASED END

PRE-INSULATED FIBER BOARD WITH REMOVABLE SEALANT TRIP

COMPACTED SUB-GRADE PER GEOTECH OR CIVIL RECOMMENDATION

8 CONCRETE WALK AT ARCH'L DOOR
SECTION
SCALE: 1-1/2"=1'-0"

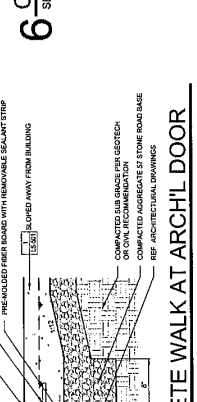


COMPACTED SUB-GRADE PER GEOTECH OR CIVIL RECOMMENDATION

COMPACTED AGGREGATE BY STONE ROAD BASE

REF. ARCHITECTURAL DRAWINGS

7 CONCRETE WALK AT BUILDING
SECTION
SCALE: 1-1/2"=1'-0"



BUILDING FACE
PEDESTRIAN PAVING
REF. PLANS FOR FINISH


SELF-LEVELING ELASTOMERIC SEALANT COLOR TO MATCH ADJACENT CONCRETE AS SELECTED IN MOODUP

1/2" X 1/2" SMOOTH DOWEL, ONE GREASED END

COMPACTED SUB-GRADE PER GEOTECH OR CIVIL RECOMMENDATION

COMPACTED AGGREGATE BY STONE ROAD BASE

REF. ARCHITECTURAL DRAWINGS



KEITH

301 East Atlantic Boulevard
Pompano Beach, Florida 33061-8643
PH: (954) 788-5400
Florida Certificate of
Authorization # - 7928

FAIRFIELD
RESIDENTIAL
POMPANO BEACH
601 N. Federal Hwy
POMPANO BEACH FL
33060

SCALE: AS NOTED
DATE ISSUED: MAY 21, 2019
DRAWN BY: JWS
DESIGNED BY: JWS
CHECKED BY: PW

NO.	DESCRIPTION	DATE

PERMIT SET: 17872918

SHEET TITLE: **SITework DETAILS**

SHEET NUMBER: **LS-502**

100% CONSTRUCTION DOCUMENTS
PROJECT NO.: 09660.01

1 PEDESTRIAN PAVERS
SECTION
SCALE: 1/2"=1'-0"

2 PEDESTRIAN PAVERS
SECTION
SCALE: 1/2"=1'-0"

3 PAVERS AT PLANTING
SECTION
SCALE: 1/2"=1'-0"

4 PAVERS AT TYPE F CURB
SECTION
SCALE: 1/2"=1'-0"

5 PAVERS AT TYPE D CURB AT VEHICULAR PAVERS
SECTION
SCALE: 1/2"=1'-0"


6 PAVERS AT BUILDING
SECTION
SCALE: 1/2"=1'-0"

7 PAVERS AT BUILDING DOOR
SECTION
SCALE: 1/2"=1'-0"

8 TILE PAVING (WOOD PLANK)
SECTION
SCALE: 1/2"=1'-0"

9 SYNTHETIC LAWN
SECTION
SCALE: 1/2"=1'-0"

10 SEATWALL
SECTION
SCALE: 3/4"=1'-0"



KEITH

307 East Alabaster Boulevard
Pompano Beach, Florida 33069-8643
PH: (954) 788-2400
Florida Certificate of
Authorization # 7929

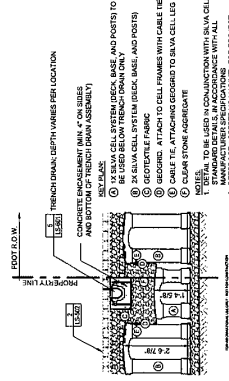
NO.	DESCRIPTION	DATE

FAIRFIELD RESIDENTIAL
POMPANO BEACH
601 N. Federal Hwy
POMPANO BEACH FL 33080

SCALE: AS SHOWN
DATE ISSUED: MAY 12, 2020
DRAWN BY: PIV
DESIGNED BY: PIV
CHECKED BY: PIV

3 SILVA CELL AT TRENCH DRAIN

SCALE: 1/2"=1'-0"

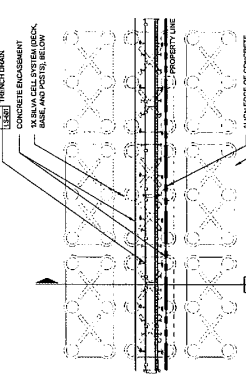


GENERAL SPECIFICATIONS:

- INSTALLATION SHALL BE COMPLETED BY A TRAINED AND CERTIFIED CHAMBERLAIN WAYS, INC. APPLICATION FOR THE PRODUCT. MAINTAIN A MINIMUM OF 6" CLEARANCE TO THE SYSTEM.
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2 SILVA CELL AT TRENCH DRAIN

SCALE: 1/2"=1'-0"

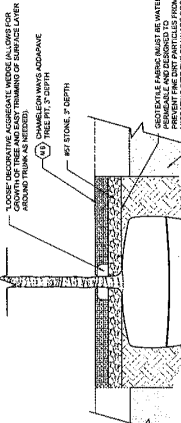


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4 ADAPPAVE AT TREE WELL

SCALE: 1"=1'-0"

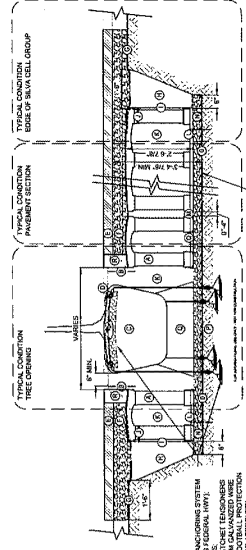


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1 2X SILVA CELL SYSTEM FOR PAVERS (PEDESTRIAN APPLICATION)

SCALE: 1/2"=1'-0"



GENERAL SPECIFICATIONS:

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301 East Atlantic Boulevard
Pompano Beach, Florida 33069-6663
PH: (954) 799-9400
Florida Certificate of
Authorization # 7928

NO.	DESCRIPTION	DATE
1.	CODE COMMENTS	01/25/2019
2.	100% CD SET	05/02/2019

FAIRFIELD
RESIDENTIAL
FAIRFIELD AT
POMPANO BEACH
601 N. Federal Hwy
POMPANO BEACH FL
33060

SCALE: AS NOTED
DATE ISSUED: MAY 2, 2019
DRAWN BY: MS
DESIGNED BY: PW
CHECKED BY: PM

PAUL WILSON, P.E.
FLORIDA REGISTERED PROFESSIONAL ENGINEER
No. 11103
11103

SHEET TITLE

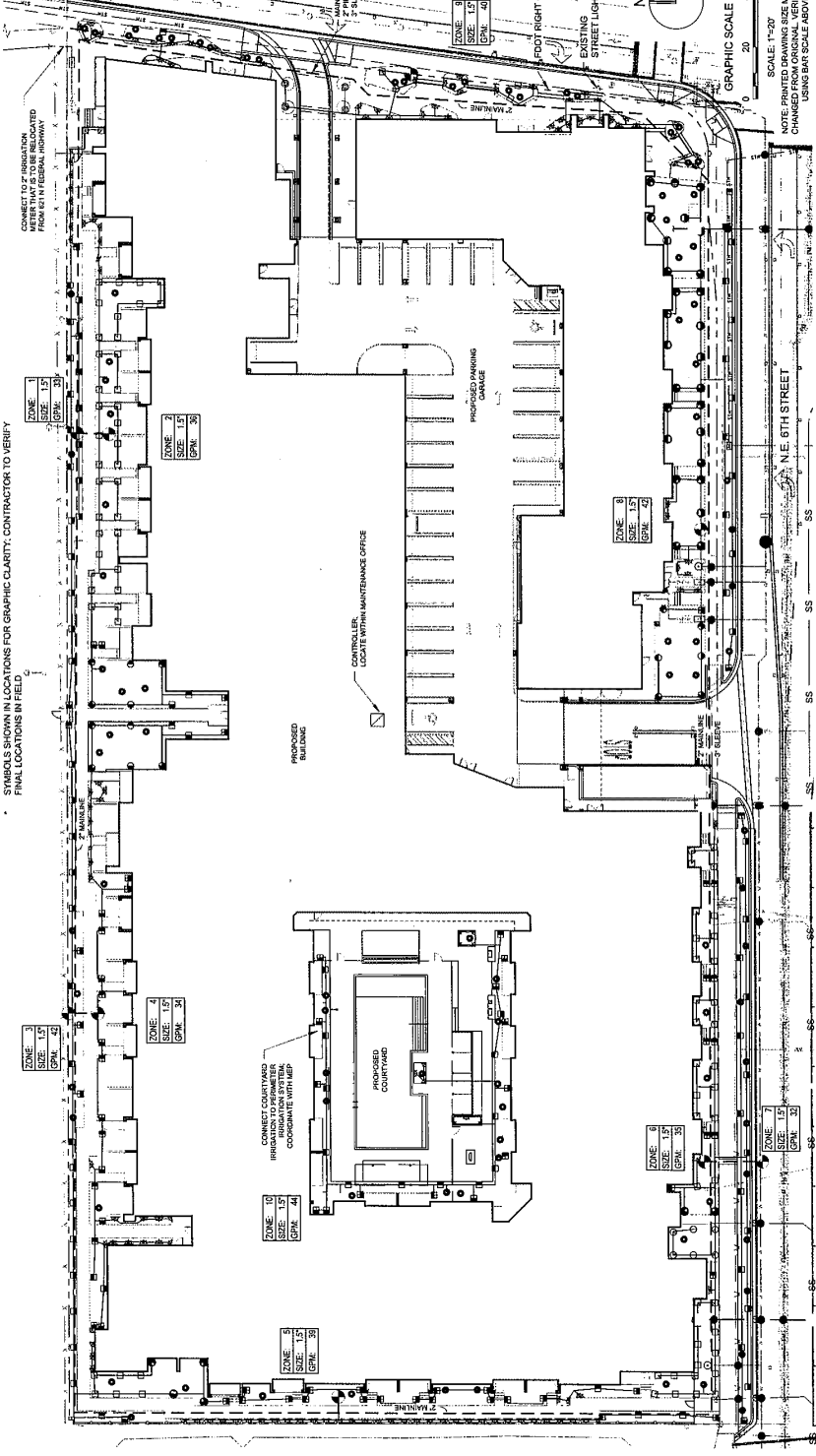
IRRIGATION PLAN

SHEET NUMBER

LI-101

100% CONSTRUCTION DOCUMENTS
PROJECT NO 096600.01

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
○	HUNTER MP ROTATOR: 19" RADIUS, WITH PRO SPRAY BODY-RECLAIMED	⊖	ZONE VALVE: ELECTRONIC, EQUAL TO IRRIGATION, SIZE PER PLAN, IN AMETEK OR CARSON 12X18" VALVE BOX WITH PURPLE TUFTTOP COVER
○	HUNTER MF ROTATOR: 17" RADIUS, WITH PRO SPRAY BODY-RECLAIMED	⊖	AMES BRASS GATE VALVE, SAME SIZE AS MAINLINE, IN HUNTER MODULAR IRRIGATION CONTROLLER EQUAL TO PRO-C SERIES WITH SOLAR SYNC, COORDINATE FINAL
○	HUNTER MP ROTATOR: 17" RADIUS, WITH PRO SPRAY BODY-RECLAIMED	⊖	SECTION WITH 2" PVC GATE EQUAL, CLASS S SLEEVES TO BE MIN. 24" AND MAX. 36" DEEP
○	HUNTER MP ROTATOR: 17" RADIUS, WITH PRO SPRAY BODY-RECLAIMED	⊖	MAIN LINE: SCH 40 PVC WITH SCH 80 R'S FITTINGS
○	HUNTER END SPRAY: EXIST, WITH PRO SPRAY BODY-RECLAIMED	⊖	LATERAL PIPING: PVC CLASS 200
○	HUNTER MULTI-STREAM BUBBLER NOZZLES: MSN SERIES	⊖	THRUST BLOCKS AT STRESS POINTS, SITE PER PLAN
○	HUNTER BUBBLERS: PCB-R	⊖	PVC FITTINGS AND BLUE JOINTS, PER SPECIFICATIONS
○	HUNTER ROOT ZONE WATERING SYSTEM: EDWS-10-R	⊖	
○	ZONE VALVE: ELECTRONIC, EQUAL TO IRRIGATION, SIZE PER PLAN, IN AMETEK OR CARSON 12X18" VALVE BOX WITH PURPLE TUFTTOP COVER	⊖	
○		⊖	



sunshineng.com

NOTE:
CALL SUNSHINE ONE CALL
FOR ANY EXCAVATION WORK.

FOOT IRRIGATION NOTES:
1. THE IRRIGATION SYSTEM SHALL MEET ALL LOCAL WATER REGULATIONS, WHICH ADEQUATELY AND SAFELY DELIVER WATER TO THE SYSTEM. STORM WATER, INCLUDING WATER, OR GREY WATER IRRIGATION SHALL BE USED WHEREVER POSSIBLE.
2. THE IRRIGATION SYSTEM SHALL BE DESIGNED TO OPERATE WITH A SET OF 7.5" BALT' REGULATION PLANS.
3. CONSULT WITH THE PROJECT ARCHITECT FOR ANY CHANGES TO THE IRRIGATION PLAN.

SYMBOLS SHOWN IN LOCATIONS FOR GRAPHIC CLARITY; CONTRACTOR TO VERIFY FINAL LOCATIONS IN FIELD.

CONNECT TO EXISTING IRRIGATION SYSTEM COORDINATE WITH PER.

PROPOSED CONTROLLER

PROPOSED PARKING GARAGE

EXISTING STREET LIGHT

FOOT RIGHT OF WAY

SCALE: 1"=20'

GRAPHIC SCALE

NOTE: PRINTED DRAWING SIZE MAY VARY FROM ORIGINAL SIZE. USE GRAPHIC SCALE USING BAR SCALE ABOVE.

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

05.2

SECTION NO(S): 86070000
S.R. NO.(S): 5
COUNTY: Broward
PERMIT NO.: 19-L-491-00001

DISTRICT FOUR (4) AMENDMENT NUMBER SEVENTEEN (17) TO STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION INCLUSIVE LANDSCAPE MAINTENANCE MEMORANDUM OF AGREEMENT

This is Amendment Number Seventeen (17) to the Agreement dated December 5, 2007, made and entered into this 21st day of May 2019 by and between the State of Florida Department of Transportation hereinafter called the "DEPARTMENT" and the CITY OF POMPANO BEACH, a municipal corporation of the State of Florida, hereinafter called the "AGENCY".

WHEREAS, the parties entered into the Inclusive Landscape Maintenance Memorandum of Agreement dated December 5, 2007 for the purpose of maintaining the landscape improvements by the AGENCY on various State Road(s) including State Road 5 (US 1); and

WHEREAS, the DEPARTMENT and the AGENCY have agreed to add additional landscape improvements to be installed on State Road 5 (US 1) in accordance with the above referenced Agreement;

NOW THEREFORE, for and in consideration of mutual benefits that flow each to the other, the parties covenant and agree as follows:

1. Pursuant to paragraph 1, page 1 of the Amendment Number Six (6) Landscape Inclusive Maintenance Memorandum of Agreement dated August 9, 2013, the DEPARTMENT will allow an adjacent property owner to construct additional landscape improvements or to modify and improvement located as indicated in **Exhibit "A"**, State Road 5 (US 1) from M.P. 9.153 to M.P. 9.207, in accordance with the plans attached as **Exhibit "B"**.
2. The AGENCY shall agree to maintain the additional landscape improvements in the Agreement described above according to **Exhibit "F"** Maintenance Plan, of the original agreement, and as follows:
 - II. Basic maintenance for this area outside of the guidelines provided above, is to prune the groundcover to maintain a natural habit with full foliage, while trimming lateral branching as required to prevent foliage from growing beyond the limits of planting area onto the hardscape / pedestrian zone.

Except as modified by this Amendment, all terms and conditions of the AGEEMENT shall remain in full force and effect.

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

LIST OF EXHIBITS

Exhibit A - Landscape Improvements Maintenance Boundaries
Exhibit B - Landscape Improvement Plan

In Witness whereof, the parties hereto have executed with this Amendment effective the 21st day May year written and approved.

CITY OF POMPANO BEACH

By: SEE CITY SIGNATURE PAGE ATTACHED
Chairperson/Mayor/Manager

Attest: _____ (SEAL)
Clerk

Legal Review Date

STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION

By: Suzanne Stiller
Transportation Development Director

Attest: [Signature] (SEAL)
Executive Secretary

Legal Review Date
[Signature] 5/20/2019
Office of the General Counsel

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

"CITY":

Witnesses:

CITY OF POMPANO BEACH

Gandra M. Moroney

By: [Signature]
REX HARDIN, MAYOR

Shelly P. Bartholomew

By: [Signature]
GREGORY P. HARRISON, CITY MANAGER

Attest:

[Signature]
ASCELETA HAMMOND, CITY CLERK

(SEAL)

Approved As To Form:

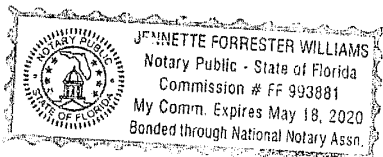
[Signature]
MARK E. BERMAN, CITY ATTORNEY

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this 25 day of April, 2019 by **REX HARDIN** as Mayor, **GREGORY P. HARRISON** as City Manager and **ASCELETA HAMMOND** as City Clerk of the City of Pompano Beach, Florida, a municipal corporation, on behalf of the municipal corporation, who are personally known to me.

NOTARY'S SEAL:

[Signature]
NOTARY PUBLIC, STATE OF FLORIDA
Jennette Forrester Williams
(Name of Acknowledger Typed, Printed or Stamped)



Commission Number

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

SECTION NO(S): 86070000
S.R. NO.(S): 5
COUNTY: Broward
PERMIT NO.: 19-L-491-00001

EXHIBIT A

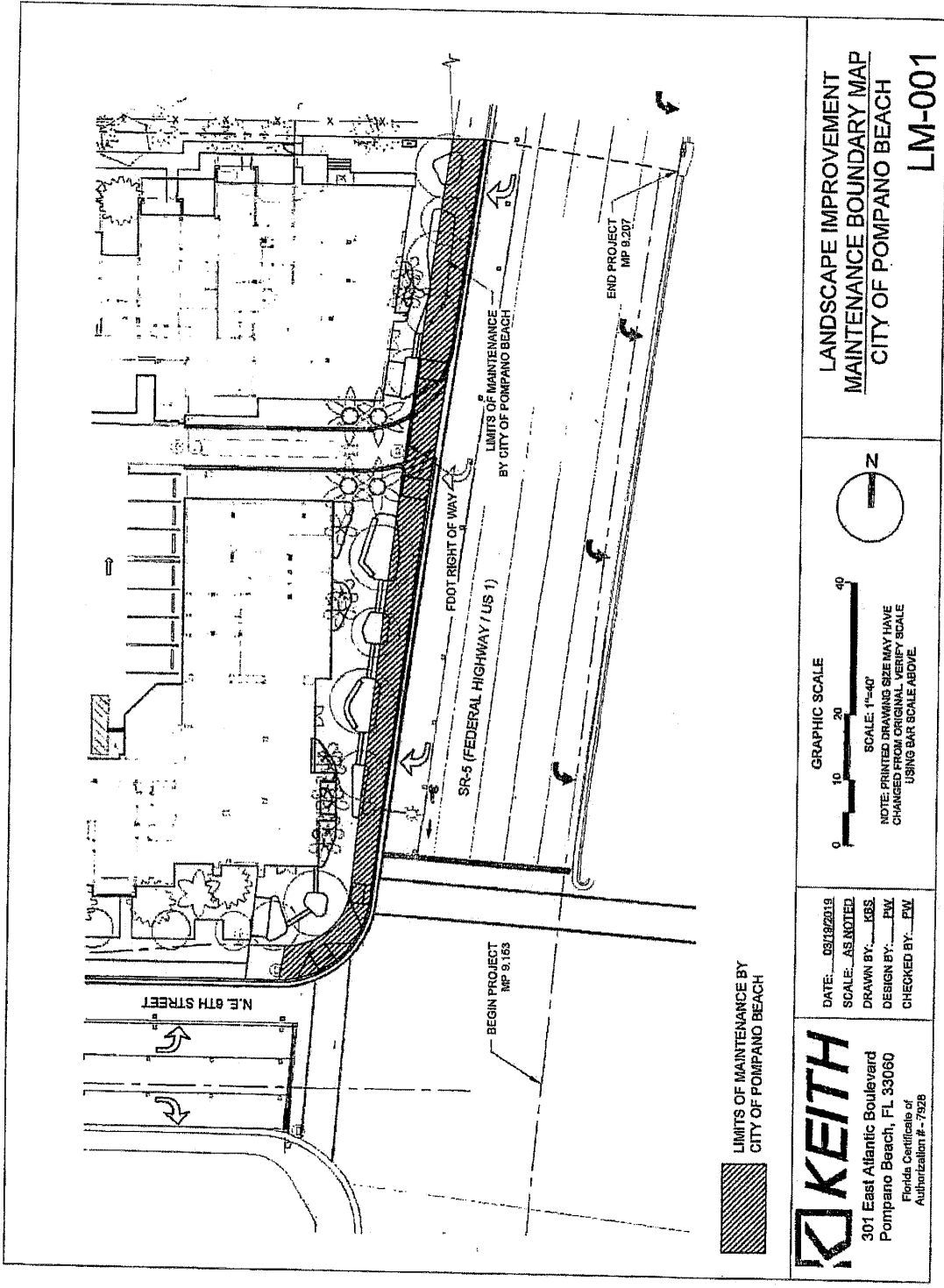
**LANDSCAPE IMPROVEMENTS
MAINTENANCE BOUNDARIES**

- I. **PERMIT PROJECT LANDSCAPE IMPROVEMENTS MAINTENANCE LIMITS:**
State Road 5 (US 1) from M.P. 9.953 to M.P. 9.207
- II. **INCLUSIVE LANDSCAPE MAINTENANCE AGREEMENT LIMITS FOR STATE ROAD 5 (US 1):**
State Road 5 (US 1) from M.P. 7.262 (south of McNab Road) to M.P. 10,825 (north of N.E. 24th Street)
- III. **LANDSCAPE IMPROVEMENTS MAINTENANCE BOUNDARY LIMITS MAP:**

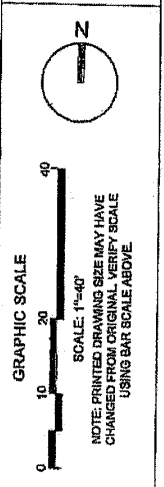
Please See Attached

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C



LANDSCAPE IMPROVEMENT
 MAINTENANCE BOUNDARY MAP
 CITY OF POMPAHO BEACH
 LM-001



DATE: 03/12/2019
 SCALE: AS NOTED
 DRAWN BY: JKS
 DESIGN BY: PW
 CHECKED BY: PW

KEITH
 301 East Atlantic Boulevard
 Pompano Beach, FL 33060
 Florida Certificate of
 Authorization # - 7926

FDOT LANDSCAPE PERMIT NO. 2019-L-491-00001

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

SECTION NO(S): 86070000
S.R. NO.(S): 5
COUNTY: Broward
PERMIT NO.: 19-L-491-00001

EXHIBIT B

LANDSCAPE IMPROVEMENT PLANS

The AGENCY agrees to install the landscape improvements in accordance with the plans and specifications attached hereto and incorporated herein.

Please see attached plans prepared by:
KEITH
Paul Weinberg, PLA
Date: March 5, 2019

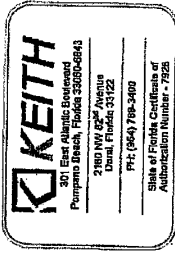
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Exhibit C

B.C. HCED REF # 180913051

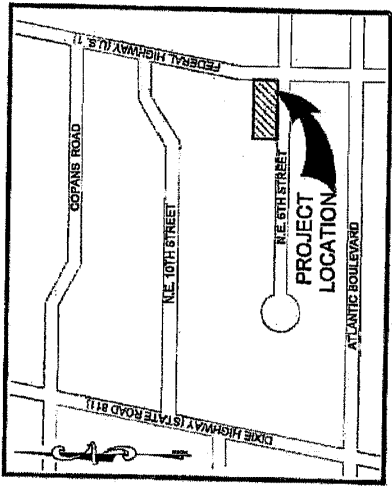
FOR PERMIT FOR FAIRFIELD AT POMPANO BEACH

601 NORTH FEDERAL HIGHWAY
CITY OF POMPANO BEACH,
BROWARD COUNTY, FLORIDA



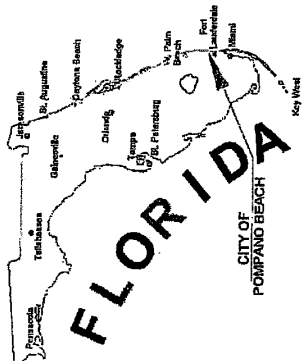
Sheet Identification	Quarter of Sheets	Sheet Title
GC-000		COVER
LC-001		SEE DIMENSION PLAN
LC-002		SEE DIMENSION PLAN
LC-003		SEE DIMENSION PLAN
LC-004		SEE DIMENSION PLAN
LC-005		SEE DIMENSION PLAN
LC-006		SEE DIMENSION PLAN
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LC-100		SEE DIMENSION PLAN

FOR INFORMATION AND GENERAL STANDARD INDUSTRY PRACTICES, THE DESIGNER HAS REFERENCED THE FLORIDA TRANSPORTATION PLANS FOR ROAD AND BRIDGE CONSTRUCTION AND APPLICABLE INTERIM REQUIREMENTS (PROVISIONS) OF THE 2018 STANDARD SPECIFICATIONS FOR TRANSPORTATION, JULY 2018 STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.



LOCATION MAP
SECTION 8B, TOWNSHIP 48 S, RANGE 42 E
SCALE: 1" = 100'

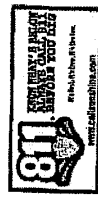
PREPARED FOR:
FAIRFIELD RESIDENCE, LP
200 GALLERIA PARKWAY, SUITE 1560
ATLANTA, GA, 30339



FEMA FLOOD ZONE:
THE PROPERTY IS LOCATED WITHIN A FLOOD ZONE X-BELOW 500 YEAR FLOOD ELEVATION OF 9 FEET, AS SHOWN ON PLAN. IN A 2017 FLOOD MAP, BEARING A MAP EFFECTIVE DATE OF 06/02/2014.

ALL ELEVATIONS SHOWN ON THESE PLANS ARE BASED ON NAVD 1988 DATUM.

PERMITTING AGENCY	PERMIT NO.	DATE
CITY OF POMPANO BEACH	18011281	12/14/18
BROWARD COUNTY (E.C.A. (EMERGENCY))	18007251	12/14/18
BROWARD COUNTY (E.C.A. (TRANS))	18004351	12/14/18
F.D.C.T. (RIGHT OF WAY ACCESS)	2018-05189	7/18/18
F.D.C.T. (DRAINAGE)	2018-05189	7/18/18
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FWA/60)	18014249	12/14/18
FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION (FWA/60)	1800202492009	10/04/18
BROWARD COUNTY (E.P.L. (RENEW))	18042513	10/22/18



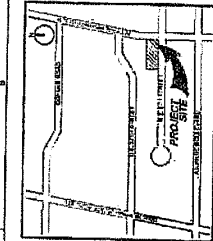
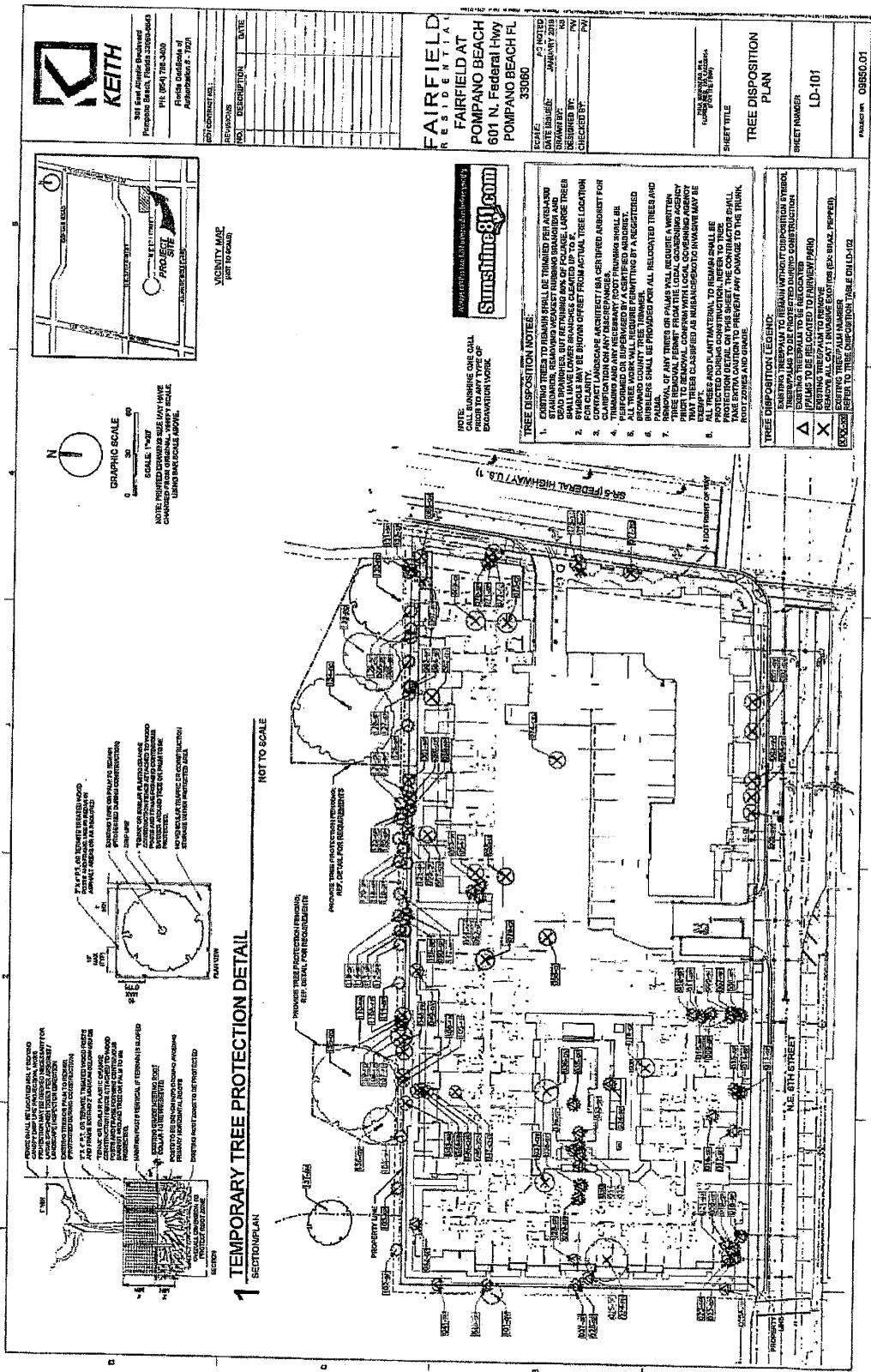
THIS PLAN MAY HAVE BEEN REPRODUCED IN SIZE BY REPRODUCTION. IT MUST BE CONSIDERED WHEN USED TO DETERMINE EXISTING CONDITIONS.

Paul Weinberg
Professional Engineer
No. 12000
Professional Seal
No. 12000

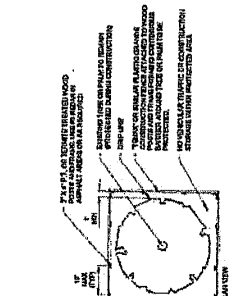
PROJECT No. 09860-01, JANUARY 2019

FOOTLANDSCAPE PERMIT No. 2018-L-001

Exhibit C



NOTE: PRINTED DIMENSIONS MAY VARY Slightly due to the way the file was printed.



1 TEMPORARY TREE PROTECTION DETAIL
SECTION PLAN

NOT TO SCALE

PROTECT TREE PROTECTION FENCING... PROVIDES TREE PROTECTION FENCING...
 PREVENTS ROOT COLLAPSE...
 PREVENTS TRUNK DAMAGE...
 PREVENTS SOIL COMPACTION...
 PREVENTS SOIL EROSION...
 PREVENTS SOIL SETTLEMENT...
 PREVENTS SOIL DRAINAGE...
 PREVENTS SOIL POLLUTION...
 PREVENTS SOIL SALINITY...
 PREVENTS SOIL TOXICITY...
 PREVENTS SOIL WATERLOGGING...
 PREVENTS SOIL DRYING...
 PREVENTS SOIL FERTILIZATION...
 PREVENTS SOIL pH BALANCE...
 PREVENTS SOIL TEMPERATURE...
 PREVENTS SOIL HUMIDITY...
 PREVENTS SOIL AIR QUALITY...
 PREVENTS SOIL LIGHT EXPOSURE...
 PREVENTS SOIL SOUND...
 PREVENTS SOIL VIBRATION...
 PREVENTS SOIL SHOCK...
 PREVENTS SOIL STRESS...
 PREVENTS SOIL DAMAGE...
 PREVENTS SOIL DESTRUCTION...
 PREVENTS SOIL COLLAPSE...
 PREVENTS SOIL CRACKING...
 PREVENTS SOIL FRACTURING...
 PREVENTS SOIL SPLITTING...
 PREVENTS SOIL BREAKING...
 PREVENTS SOIL BREAKDOWN...
 PREVENTS SOIL BREAKUP...
 PREVENTS SOIL BREAKERS...
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 PREVENTS SOIL BREAKERS...

NO.	DESCRIPTION	DATE

FAIRFIELD RESIDENTIAL
601 N. Federal Hwy
POMPA NO BEACH FL 33060

SCALE: 1" = 20'
 DATE: JANUARY 2018
 DESIGNED BY:
 CHECKED BY:



- TREE DISPOSITION NOTES:**
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER APPLICABLE STANDARDS. REMAINING NEAREST BRANCHES TO WINDS AND SHALL HAVE LOWER BRANCHES CLEARED UP TO 2'.
 - REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN PERMIT FROM THE LOCAL GOVERNING AGENCY AND SHALL BE CLASSIFIED AS AN OBSTRUCTION TO NAVIGATION IF PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION ACT FOR FULL DETAILS OF TREE PROTECTION AND TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND CRIMES.

TREE DISPOSITION LEGEND:

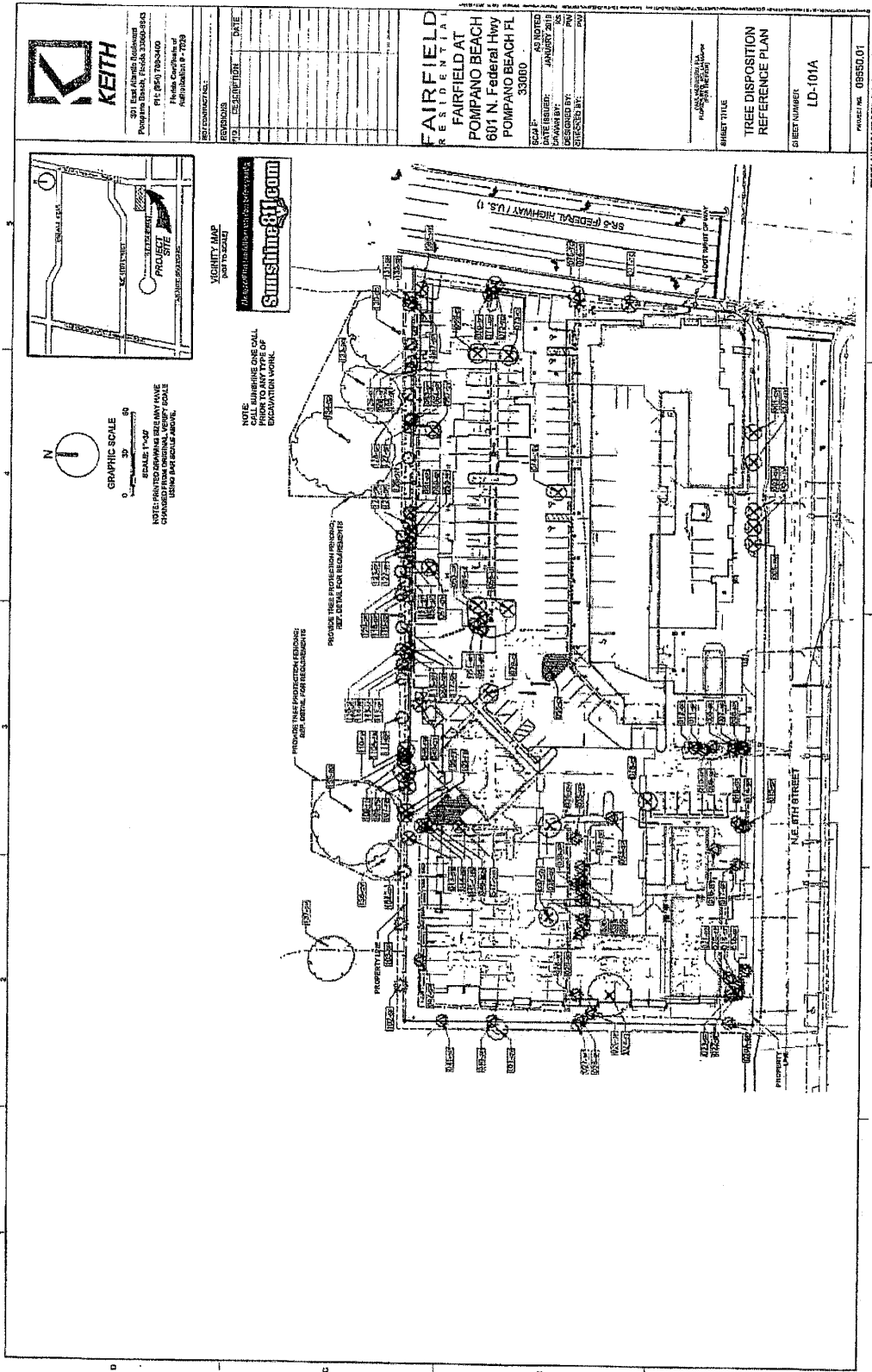
○	RELOCATED TREE (SYMBOL)
△	EXISTING TREE TO BE RELOCATED
×	EXISTING TREE TO BE REMOVED (PARK)
○	REMOVAL ALL CAY I INVAZIVE EXOT (EX-BLACK PINE)

SEE DRAWING FOR TREE TAG NUMBERS AND TAGS TO BE USED FOR TREE IDENTIFICATION

PROJECT: 04850.01
 SHEET NUMBER: LD-101
 SHEET TITLE: TREE DISPOSITION PLAN


DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C




DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C

 <p>KEITH</p> <p>Professional Land Surveyors Pompano Beach, Florida 33069-4649 FLS 65478-0000 Member of the American Surveying & Mapping Society</p>		<p>FAIRFIELD RESIDENTIAL</p> <p>FAIRFIELD AT POMPANO BEACH</p> <p>601 N. Federal Hwy POMPANO BEACH FL 33069</p>	<p>DATE</p> <p>AS NOTED</p> <p>JANUARY 2019</p> <p>PM</p>																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																												
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42	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
43	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
44	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
45	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
46	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
47	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
48	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
49	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE
50	CONCRETE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE	SMOOTH	NA	- SUBMIT PRODUCT DATA FOR REVIEW	LOCAL SOURCE



KEITH
171 S. ...
Pompano Beach, Florida 33062-0400
Phone: (561) 788-2400
Fax: (561) 788-2400
www.keith.com

FAIRFIELD RESIDENTIAL
POMPANO BEACH
601 N. Federal Hwy
POMPANO BEACH FL 33060

SCALE: AS NOTED
DATE ISSUED: JANUARY 2021
DESIGNED BY: J. MASLUK
CHECKED BY: J. MASLUK
CATEGORIES: POOL

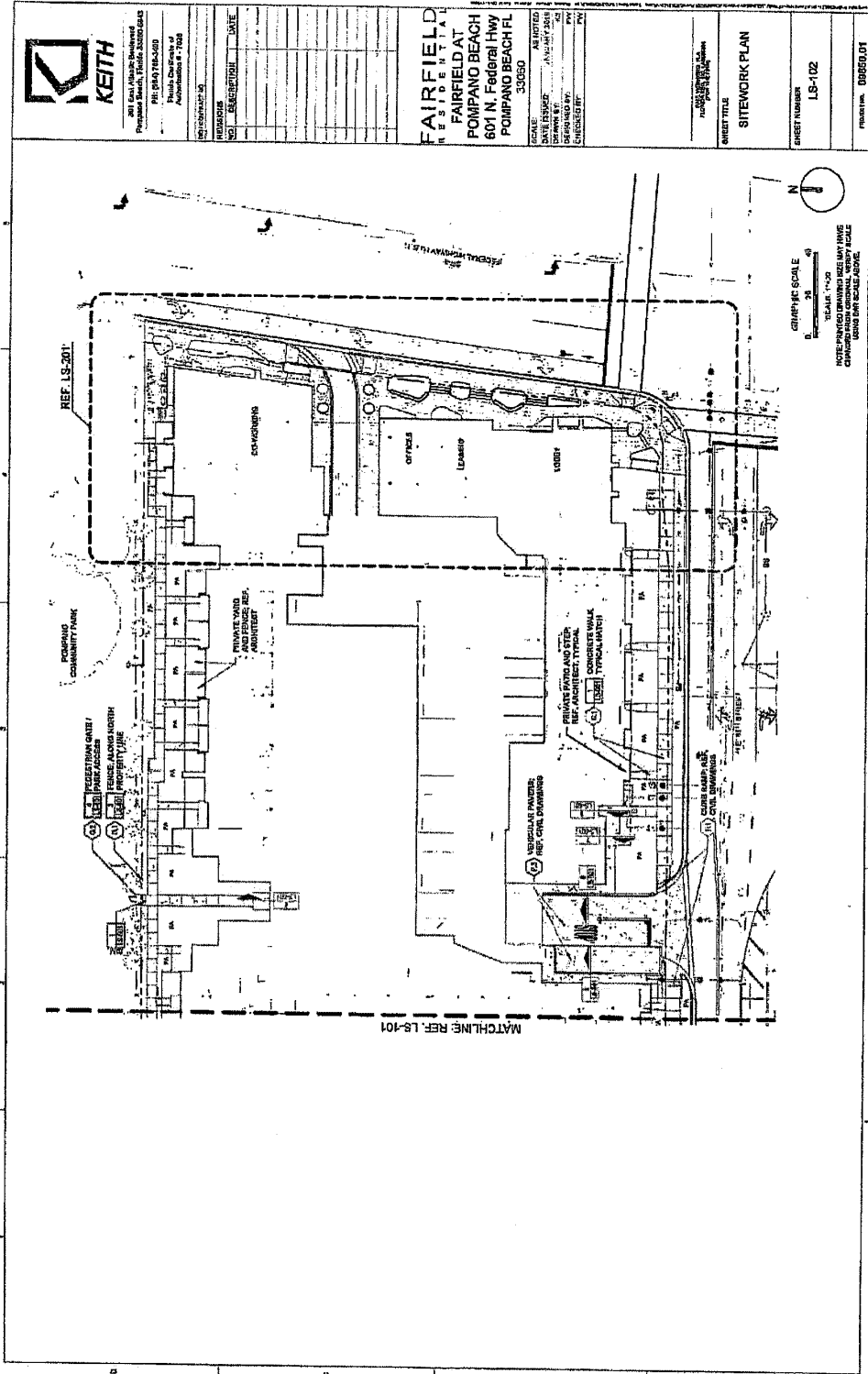
MATERIAL SCHEDULE

SHEET NUMBER: LC-002

PROJECT NUMBER: 08550-01

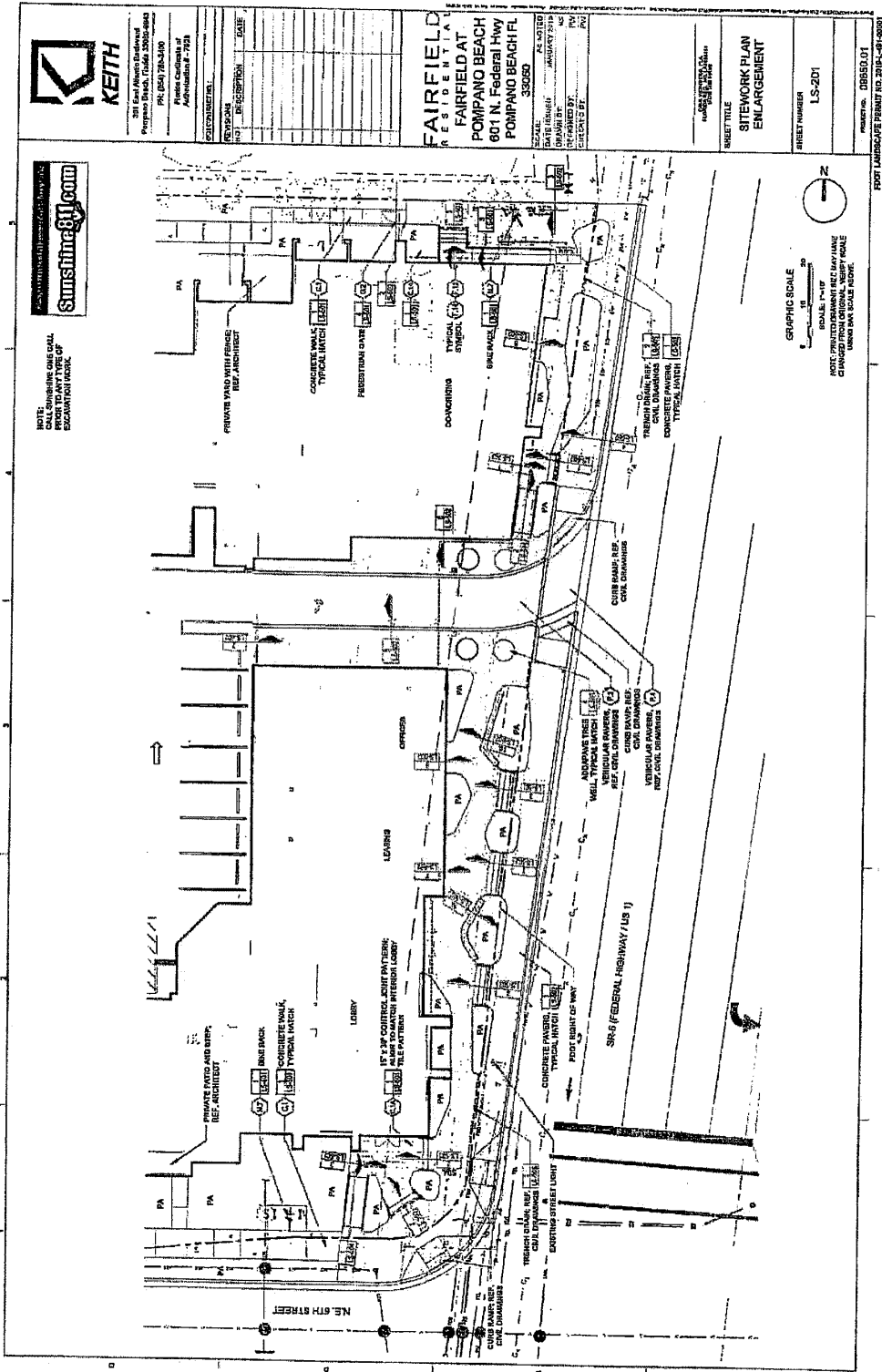
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Exhibit C



DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C



KEITH
 381 East Atlantic Boulevard
 Pompano Beach, FL 33069
 Phone: (954) 784-4300
 Fax: (954) 784-4308
 Email: keith@keith.com
 Website: www.keith.com

Sunshine811.com
 811 Service
 Call before you dig

NOTE:
 CALL SUNSHINE 811 TO
 LOCATE ALL UTILITIES
 BEFORE ANY EXCAVATION WORK.

FAIRFIELD RESIDENTIAL
FAIRFIELD AT
POMPANO BEACH
 6011 N. Federal Hwy
 POMPANO BEACH FL
 33069

SCALE: AS SHOWN
 DATE REVISION: JANUARY 2019
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 PROJECT NO.: 1903021

SHEET TITLE
SITENETWORK PLAN ENLARGEMENT
 SHEET NUMBER
LS-201
 DRAWING NO.: 1903021

GRAPHIC SCALE
 1" = 10'-0"
 SCALE: P=HP
 NOTE: ALL DIMENSIONS AND SPACING
 SHOWN ON THIS DRAWING ARE TO BE
 CONSIDERED AS SHOWN UNLESS
 OTHERWISE NOTED.

PROJECT NO.: 1903021

KEITH
ENGINEERING
301 East Merida Boulevard
Pompano Beach, Florida 33069
Phone: 954-781-4600
Fax: 954-781-4601
www.keitheng.com

FAIRFIELD RESIDENTIAL
601 N. Federal Hwy.
POMPANO BEACH, FL
SCALE: AS SHOWN
DATE: JANUARY 2021
DRAWN BY: PAV
CHECKED BY: PAV
DATE: 02-22-2021

SUSPENDED PAVING PLAN, NOTES & DETAILS
SHEET NUMBER: L1S-400
PROJECT NUMBER: 03858.01
DESIGNED BY: PAV

NOTE: CALL SUPPLIER TO CALL FOR LATEST PRICE LIST FOR CURB AND TOP COATING NOTED.

GRAPHIC SCALE:
0 10 20 30 40
SCALE: 1/8"=1'-0"

CHANGES TO PLAN:
1. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
2. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
3. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
4. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
5. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
6. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
7. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
8. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
9. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21
10. REVISED PER COMMENTS FROM ARCHITECT DATE 01/20/21

VERTICAL CURVATURE (RADIUS) TO BE DETERMINED BY THE OWNER.

NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.

NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.

NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.

SECTION 1
(PEDESTRIAN APPLICATION) 2X SILVA CELL SYSTEM FOR PAVERS
SCALE: 1/2"=1'-0"

SECTION 1
SCALE: 1/2"=1'-0"

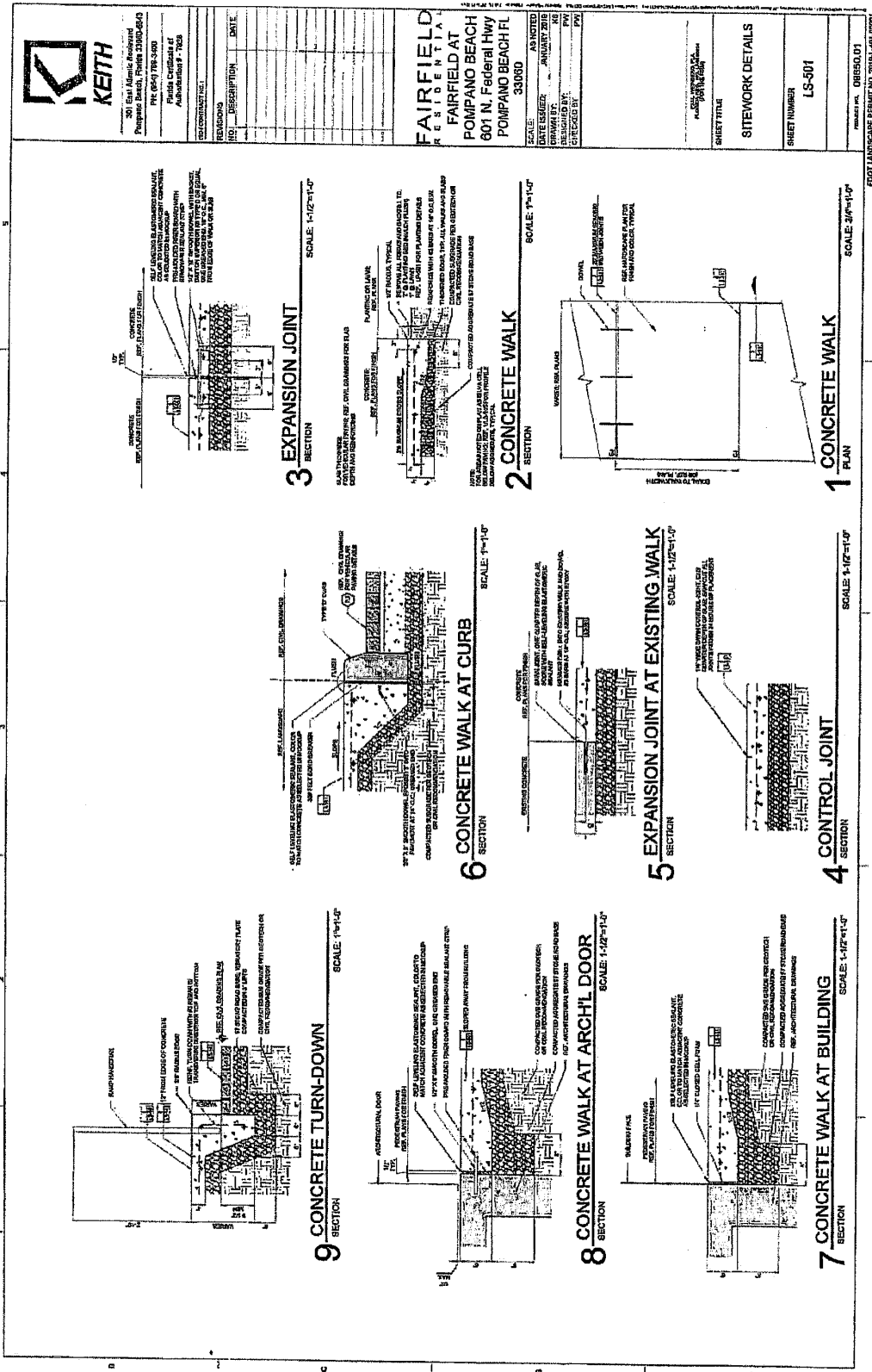
SCALE: 1/8"=1'-0"

NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.

NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.


NOTE: THESE NOTES ARE TO BE USED IN CONJUNCTION WITH THE PLAN AND THE VOLUME CALCULATION SHEET.

FAST TRACK PAVING PERMITS (N.C. 2018 Local Ordinance)



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Exhibit C



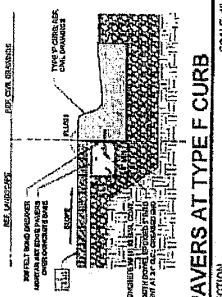
KEITH
300 East Atlantic Boulevard
Pompano Beach, FL 33062
Phone: (954) 783-6667
Fax: (954) 783-6667
www.keithinc.com

FAIRFIELD RESIDENTIAL
FAIRFIELD AT
POMPANO BEACH
801 N. Federal Hwy
POMPANO BEACH FL
33060

SCALE: AS NOTED
DATE ISSUED: JANUARY 2021
PROJECT NO.: 19-0000000000
DESIGNED BY: KEITH INC.
CHECKED BY: KEITH INC.

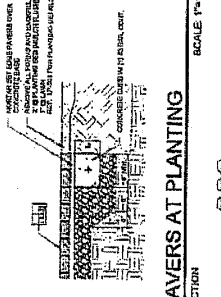
SHEET TITLE: PAVING DETAILS
SHEET NUMBER: LS-502
PROJECT NUMBER: 09550101
PROJECT ADDRESS: 801 N. FEDERAL HWY, POMPANO BEACH, FL 33060

4 PAVERS AT TYPE F CURB
SECTION
SCALE: 1/2"=1'-0"



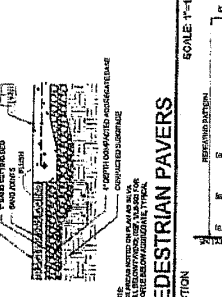
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS

3 PAVERS AT PLANTING
SECTION
SCALE: 1/2"=1'-0"



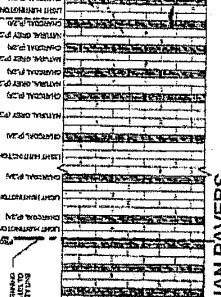
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR PLANTING DETAILS
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR PLANTING DETAILS

2 PEDESTRIAN PAVERS
SECTION
SCALE: 1/2"=1'-0"



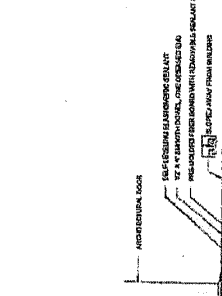
SEE LANSKAPPE FOR PAVEMENT DETAILS
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SEE LANSKAPPE FOR CURB DETAILS

1 PEDESTRIAN PAVERS
SECTION
SCALE: 1/2"=1'-0"



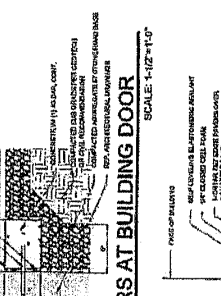
SEE LANSKAPPE FOR PAVEMENT DETAILS
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SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS

7 PAVERS AT BUILDING DOOR
SECTION
SCALE: 1/2"=1'-0"



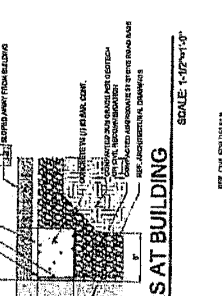
SEE LANSKAPPE FOR PAVEMENT DETAILS
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SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS

6 PAVERS AT BUILDING
SECTION
SCALE: 1/2"=1'-0"




SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR CURB DETAILS

5 PAVERS AT TYPE D CURB AT VEHICULAR PAVERS
SECTION
SCALE: 1/2"=1'-0"



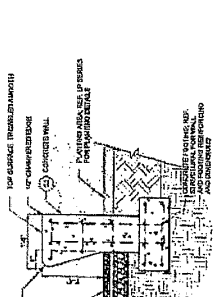
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SEE LANSKAPPE FOR CURB DETAILS

10 SEATWALL
SECTION
SCALE: 3/8"=1'-0"



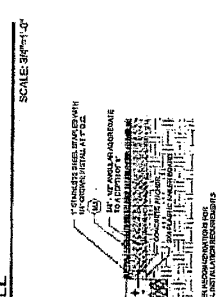
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SEE LANSKAPPE FOR SEATWALL DETAILS
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SEE LANSKAPPE FOR SEATWALL DETAILS

9 SYNTHETIC LAWN
SECTION
SCALE: 1/2"=1'-0"



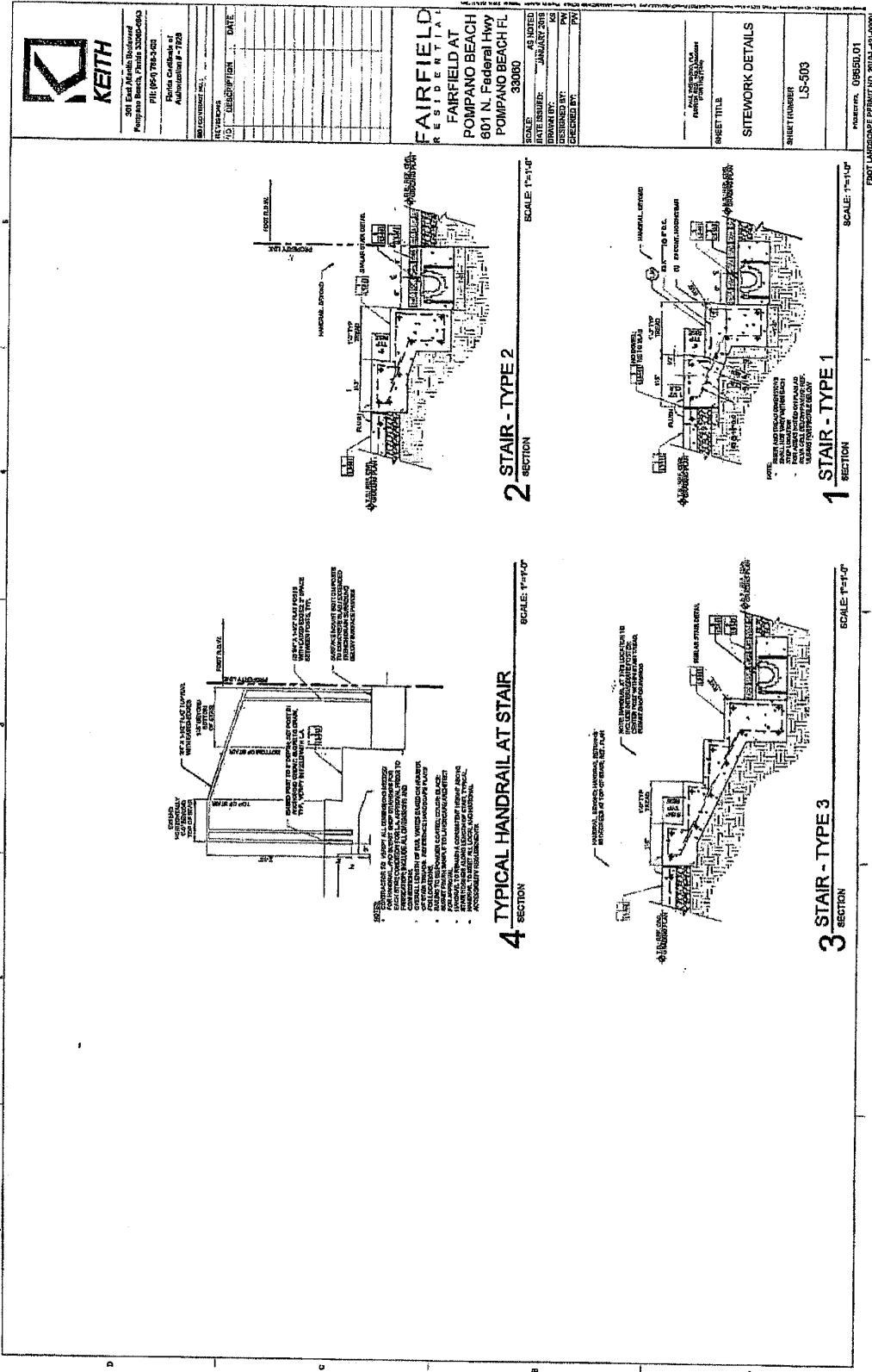
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SEE LANSKAPPE FOR SYNTHETIC LAWN DETAILS
SEE LANSKAPPE FOR PAVEMENT DETAILS
SEE LANSKAPPE FOR SYNTHETIC LAWN DETAILS

8 TILE PAVING (WOOD PLANK)
SECTION
SCALE: 1/2"=1'-0"



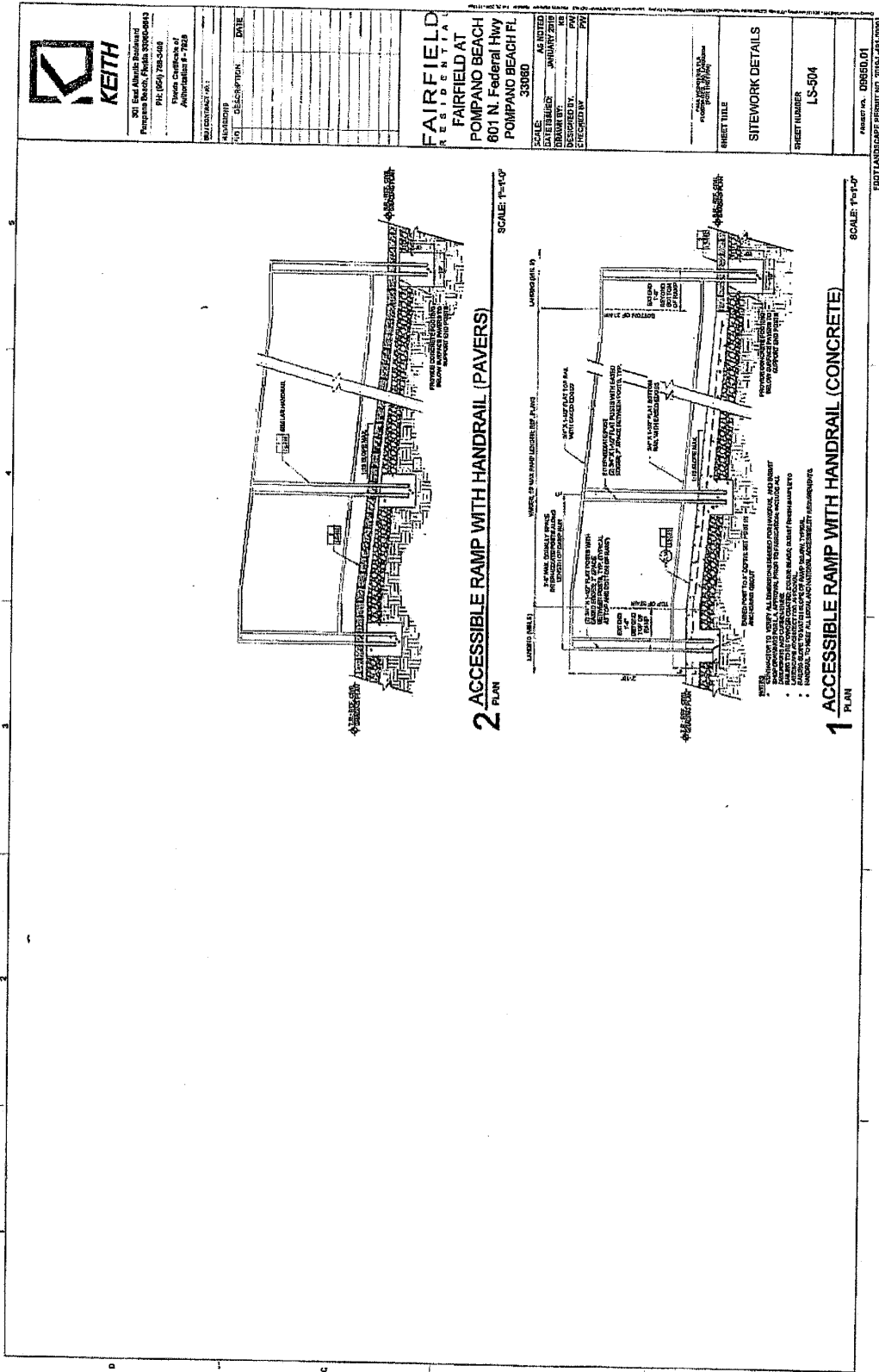
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SEE LANSKAPPE FOR TILE PAVING DETAILS

Exhibit C



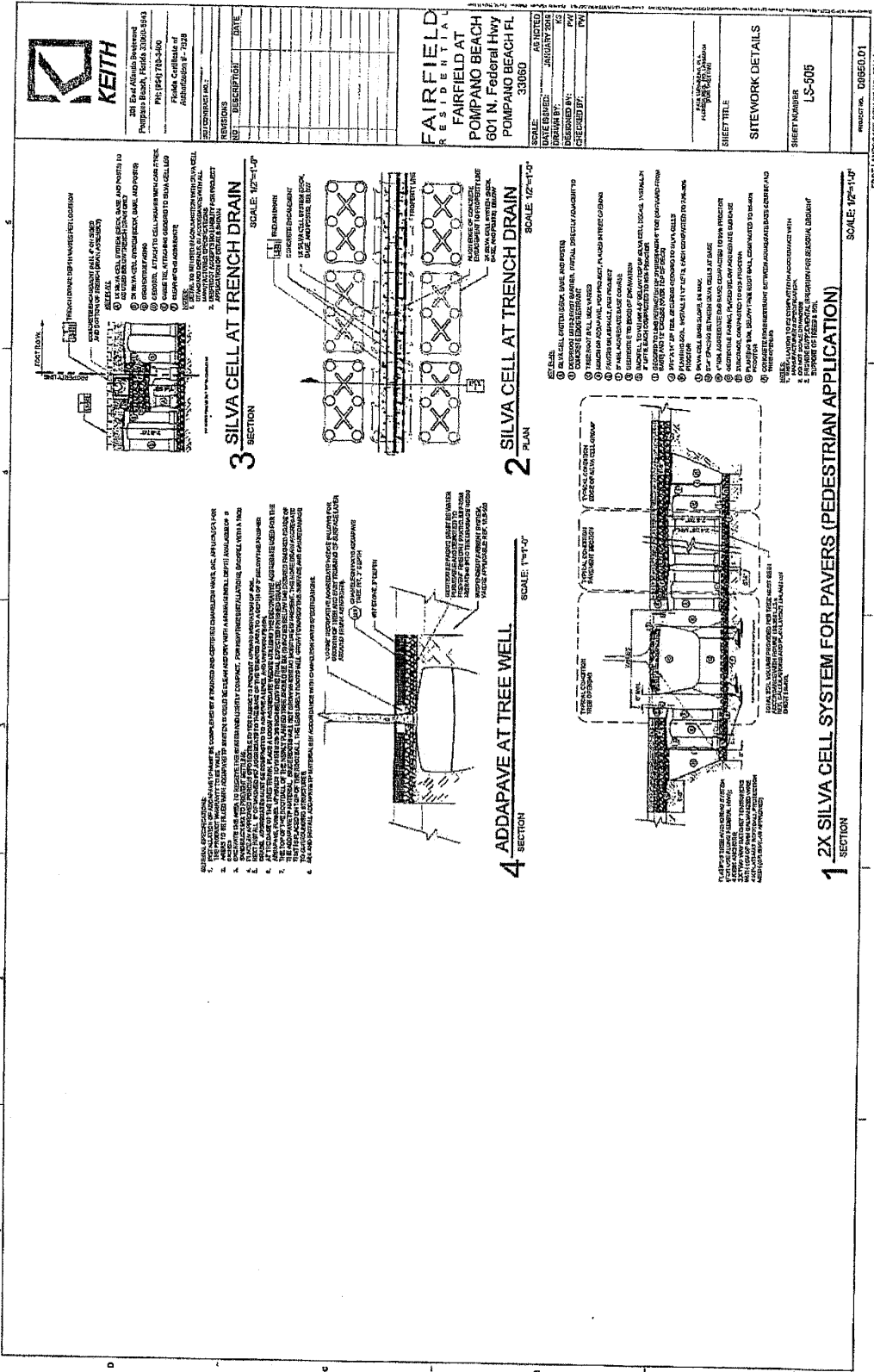
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Exhibit C




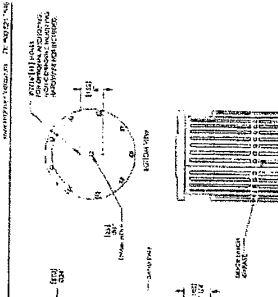
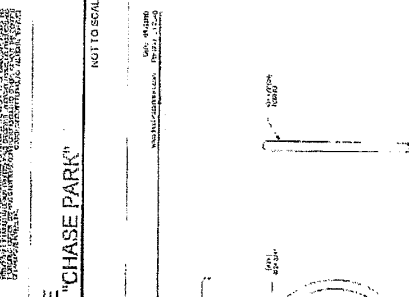

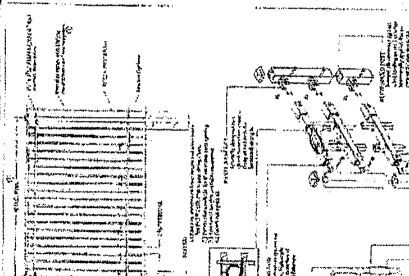
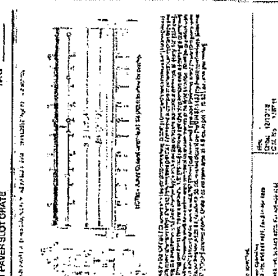
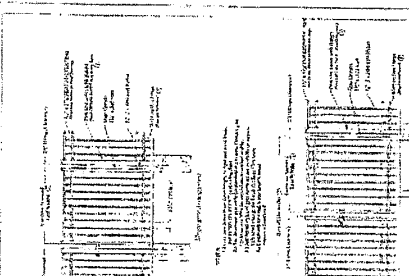
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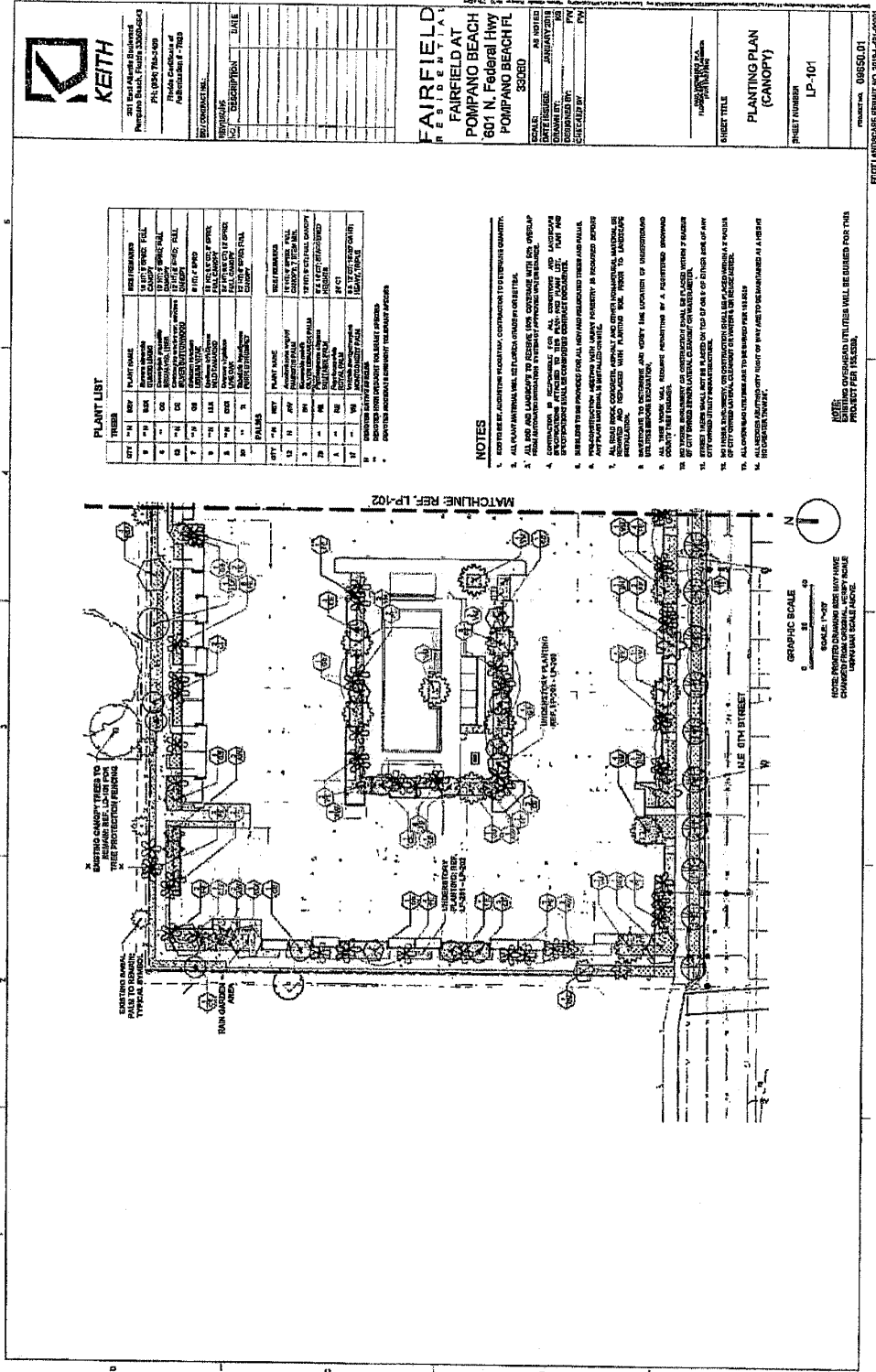
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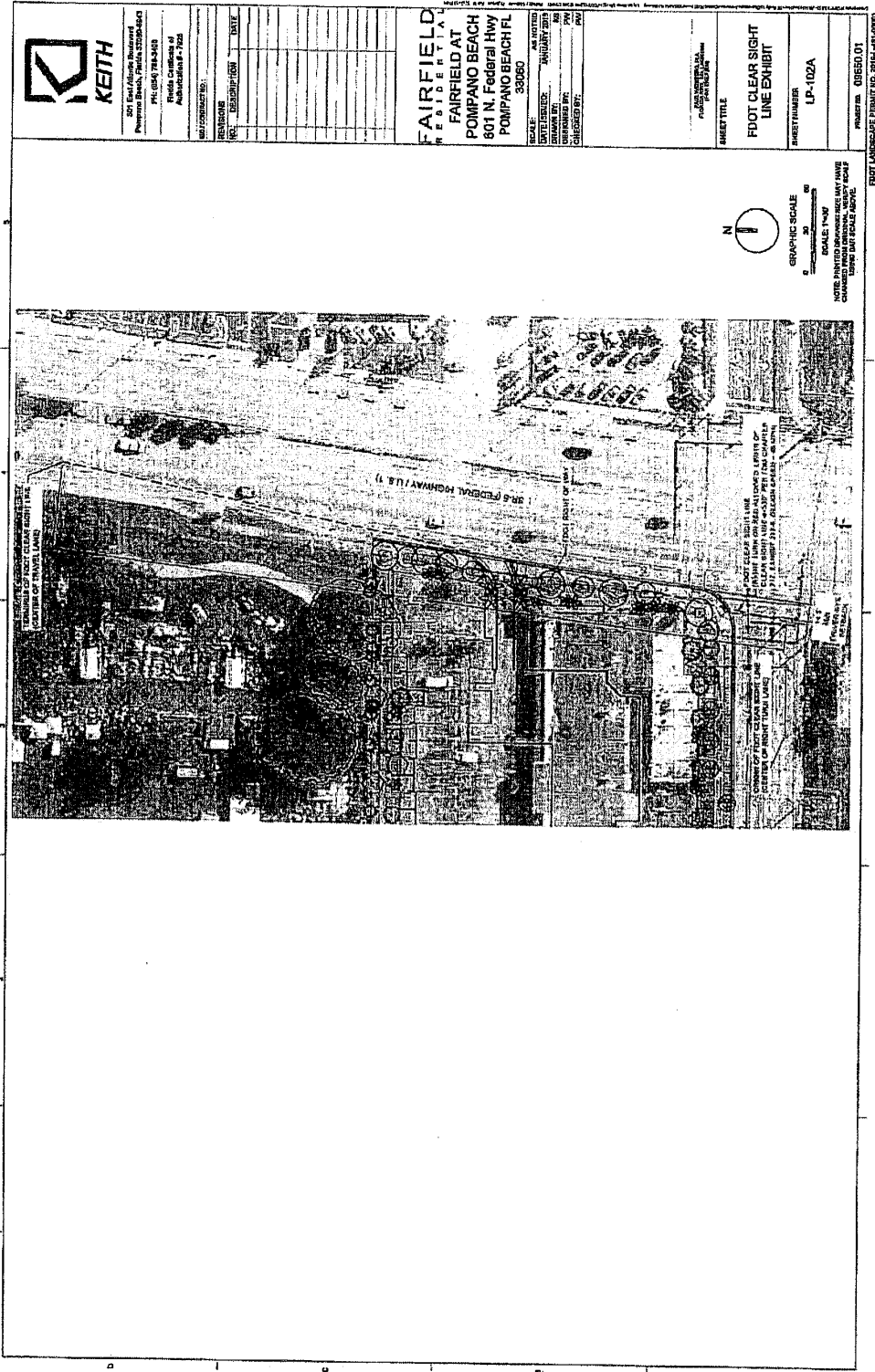
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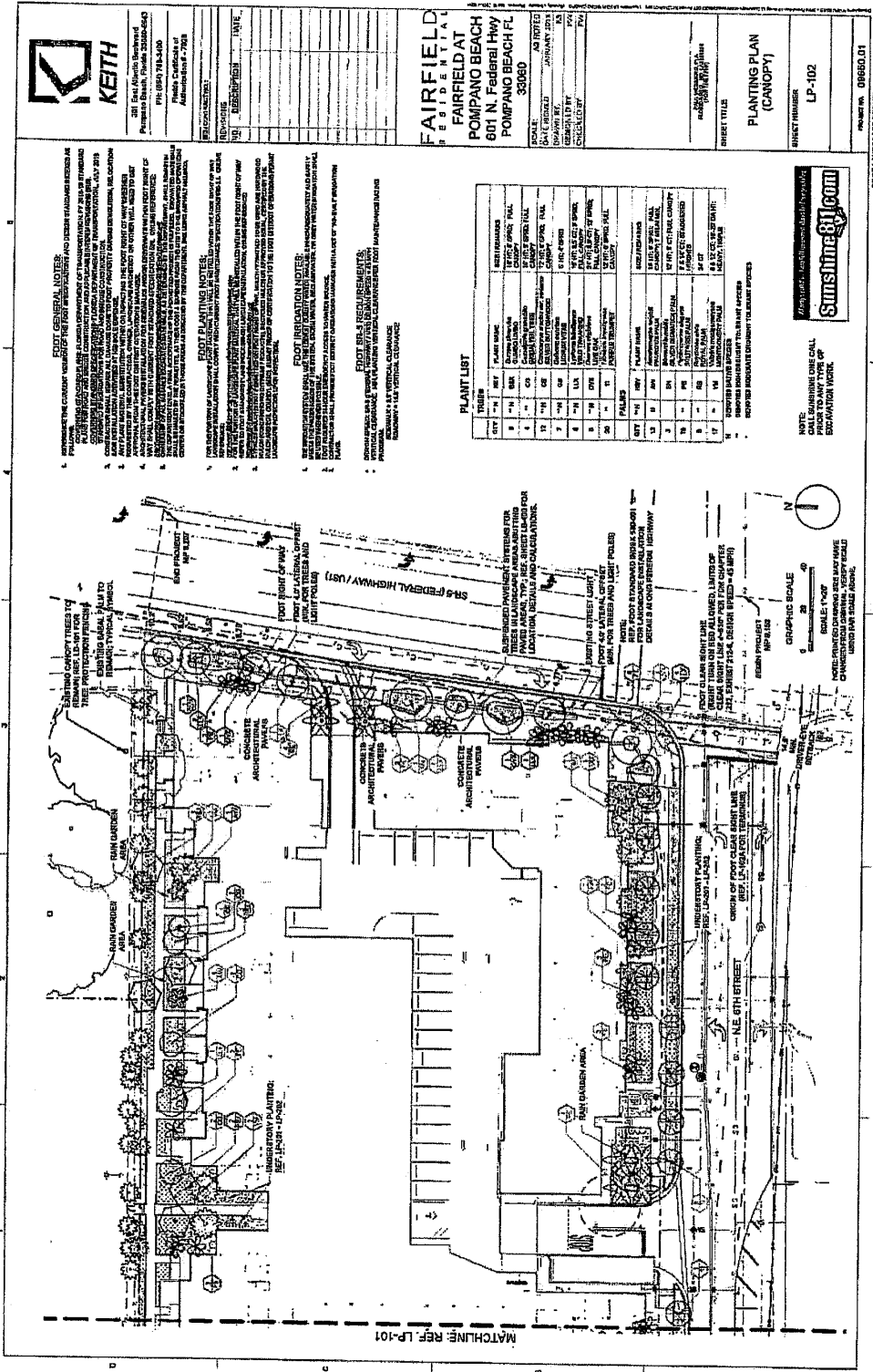
 <p>KEITH 3811 Ever Plunge Boulevard Pompano Beach, Florida 33069-5915 Phone: (954) 789-2200 www.keithinc.com</p>	<p>FAIRFIELD FAIRFIELD AT POMPANO BEACH 601 N. Federal Hwy POMPANO BEACH FL 33060</p> <p>SCALE: AS NOTED DATE: FEBRUARY 2018 DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p> <p>SHEET TITLE: SITEWORK CUT SHEETS SHEET NUMBER: 10/01/18</p> <p>PROJECT NO.: UBS85-D1 FOOT COUNTSHEET NO.: 2018-C91-C001</p>
<p>CHASE PARK® 5000 Chase Parkway, Pompano Beach, FL 33062</p>  <p>TRASH RECEPTACLE LANDSCAPE FORMS "CHASE PARK" 2 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>	 <p>BIKE RACK LANDSCAPE FORMS "RING" 1 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>
<p>ZURR 3000 ZURR DRIVE, POMPANO BEACH, FL 33062</p>  <p>TRENCH DRAIN 5 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>	 <p>PERIMETER FENCE 3 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>
 <p>GATE 4 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>	 <p>GATE 4 CUT SHEET</p> <p>SCALE: AS NOTED DATE: [redacted] DRAWN BY: [redacted] CHECKED BY: [redacted] CREATED BY: [redacted]</p>



DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

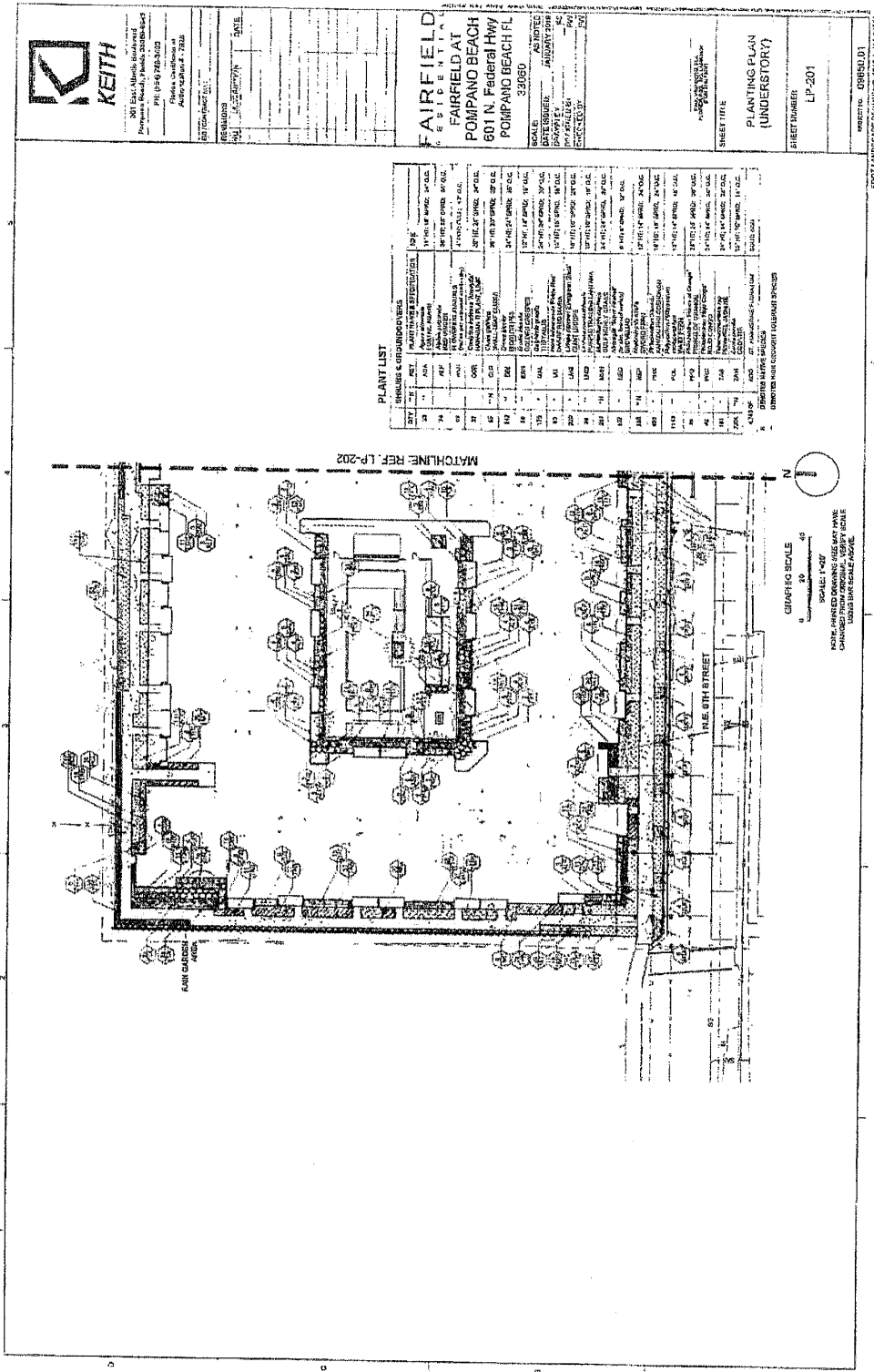
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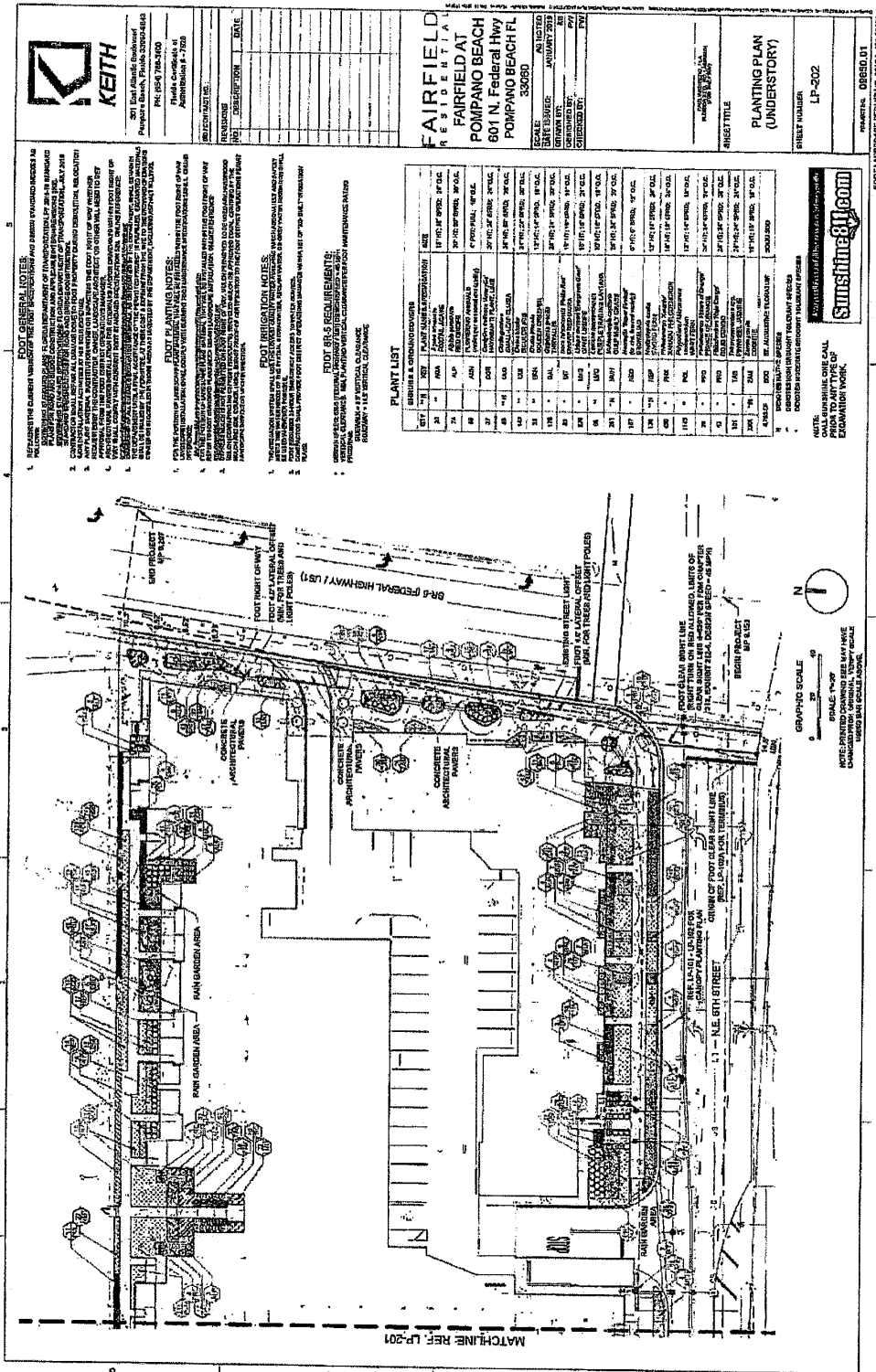




DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit C





- FOOT GENERAL NOTES:**
1. THE CLIENT HAS REQUESTED THE FOLLOWING SPECIFICATIONS AND NOTES TO BE ADHERED TO FOR THE UNDERSTORY PLANTING PLAN. THESE SPECIFICATIONS AND NOTES ARE TO BE USED IN CONJUNCTION WITH THE UNDERSTORY PLANTING PLAN.
 2. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 3. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 4. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 5. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
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 9. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 10. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
- FOOT PLANTING NOTES:**
1. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 2. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 3. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
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 9. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 10. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
- FOOT BR/S REQUIREMENTS:**
1. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 2. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 3. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 4. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
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 8. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 9. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.
 10. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

PLANT LIST

NO.	SYMBOL	DESCRIPTION	SIZE	QUANTITY
1	P1	PLANTING MATERIAL	12" WIDE	10
2	P2	PLANTING MATERIAL	18" WIDE	10
3	P3	PLANTING MATERIAL	24" WIDE	10
4	P4	PLANTING MATERIAL	30" WIDE	10
5	P5	PLANTING MATERIAL	36" WIDE	10
6	P6	PLANTING MATERIAL	42" WIDE	10
7	P7	PLANTING MATERIAL	48" WIDE	10
8	P8	PLANTING MATERIAL	54" WIDE	10
9	P9	PLANTING MATERIAL	60" WIDE	10
10	P10	PLANTING MATERIAL	66" WIDE	10
11	P11	PLANTING MATERIAL	72" WIDE	10
12	P12	PLANTING MATERIAL	78" WIDE	10
13	P13	PLANTING MATERIAL	84" WIDE	10
14	P14	PLANTING MATERIAL	90" WIDE	10
15	P15	PLANTING MATERIAL	96" WIDE	10
16	P16	PLANTING MATERIAL	102" WIDE	10
17	P17	PLANTING MATERIAL	108" WIDE	10
18	P18	PLANTING MATERIAL	114" WIDE	10
19	P19	PLANTING MATERIAL	120" WIDE	10
20	P20	PLANTING MATERIAL	126" WIDE	10
21	P21	PLANTING MATERIAL	132" WIDE	10
22	P22	PLANTING MATERIAL	138" WIDE	10
23	P23	PLANTING MATERIAL	144" WIDE	10
24	P24	PLANTING MATERIAL	150" WIDE	10
25	P25	PLANTING MATERIAL	156" WIDE	10
26	P26	PLANTING MATERIAL	162" WIDE	10
27	P27	PLANTING MATERIAL	168" WIDE	10
28	P28	PLANTING MATERIAL	174" WIDE	10
29	P29	PLANTING MATERIAL	180" WIDE	10
30	P30	PLANTING MATERIAL	186" WIDE	10
31	P31	PLANTING MATERIAL	192" WIDE	10
32	P32	PLANTING MATERIAL	198" WIDE	10
33	P33	PLANTING MATERIAL	204" WIDE	10
34	P34	PLANTING MATERIAL	210" WIDE	10
35	P35	PLANTING MATERIAL	216" WIDE	10
36	P36	PLANTING MATERIAL	222" WIDE	10
37	P37	PLANTING MATERIAL	228" WIDE	10
38	P38	PLANTING MATERIAL	234" WIDE	10
39	P39	PLANTING MATERIAL	240" WIDE	10
40	P40	PLANTING MATERIAL	246" WIDE	10
41	P41	PLANTING MATERIAL	252" WIDE	10
42	P42	PLANTING MATERIAL	258" WIDE	10
43	P43	PLANTING MATERIAL	264" WIDE	10
44	P44	PLANTING MATERIAL	270" WIDE	10
45	P45	PLANTING MATERIAL	276" WIDE	10
46	P46	PLANTING MATERIAL	282" WIDE	10
47	P47	PLANTING MATERIAL	288" WIDE	10
48	P48	PLANTING MATERIAL	294" WIDE	10
49	P49	PLANTING MATERIAL	300" WIDE	10
50	P50	PLANTING MATERIAL	306" WIDE	10
51	P51	PLANTING MATERIAL	312" WIDE	10
52	P52	PLANTING MATERIAL	318" WIDE	10
53	P53	PLANTING MATERIAL	324" WIDE	10
54	P54	PLANTING MATERIAL	330" WIDE	10
55	P55	PLANTING MATERIAL	336" WIDE	10
56	P56	PLANTING MATERIAL	342" WIDE	10
57	P57	PLANTING MATERIAL	348" WIDE	10
58	P58	PLANTING MATERIAL	354" WIDE	10
59	P59	PLANTING MATERIAL	360" WIDE	10
60	P60	PLANTING MATERIAL	366" WIDE	10
61	P61	PLANTING MATERIAL	372" WIDE	10
62	P62	PLANTING MATERIAL	378" WIDE	10
63	P63	PLANTING MATERIAL	384" WIDE	10
64	P64	PLANTING MATERIAL	390" WIDE	10
65	P65	PLANTING MATERIAL	396" WIDE	10
66	P66	PLANTING MATERIAL	402" WIDE	10
67	P67	PLANTING MATERIAL	408" WIDE	10
68	P68	PLANTING MATERIAL	414" WIDE	10
69	P69	PLANTING MATERIAL	420" WIDE	10
70	P70	PLANTING MATERIAL	426" WIDE	10
71	P71	PLANTING MATERIAL	432" WIDE	10
72	P72	PLANTING MATERIAL	438" WIDE	10
73	P73	PLANTING MATERIAL	444" WIDE	10
74	P74	PLANTING MATERIAL	450" WIDE	10
75	P75	PLANTING MATERIAL	456" WIDE	10
76	P76	PLANTING MATERIAL	462" WIDE	10
77	P77	PLANTING MATERIAL	468" WIDE	10
78	P78	PLANTING MATERIAL	474" WIDE	10
79	P79	PLANTING MATERIAL	480" WIDE	10
80	P80	PLANTING MATERIAL	486" WIDE	10
81	P81	PLANTING MATERIAL	492" WIDE	10
82	P82	PLANTING MATERIAL	498" WIDE	10
83	P83	PLANTING MATERIAL	504" WIDE	10
84	P84	PLANTING MATERIAL	510" WIDE	10
85	P85	PLANTING MATERIAL	516" WIDE	10
86	P86	PLANTING MATERIAL	522" WIDE	10
87	P87	PLANTING MATERIAL	528" WIDE	10
88	P88	PLANTING MATERIAL	534" WIDE	10
89	P89	PLANTING MATERIAL	540" WIDE	10
90	P90	PLANTING MATERIAL	546" WIDE	10
91	P91	PLANTING MATERIAL	552" WIDE	10
92	P92	PLANTING MATERIAL	558" WIDE	10
93	P93	PLANTING MATERIAL	564" WIDE	10
94	P94	PLANTING MATERIAL	570" WIDE	10
95	P95	PLANTING MATERIAL	576" WIDE	10
96	P96	PLANTING MATERIAL	582" WIDE	10
97	P97	PLANTING MATERIAL	588" WIDE	10
98	P98	PLANTING MATERIAL	594" WIDE	10
99	P99	PLANTING MATERIAL	600" WIDE	10
100	P100	PLANTING MATERIAL	606" WIDE	10

NOTES:

1. CALL US AT THE END OF THE DAY TO DISCUSS ANY CHANGES TO THE PLANTING PLAN.

2. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

3. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

4. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

5. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

6. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

7. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

8. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

9. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

10. ALL PLANTING MATERIALS SHALL BE INSTALLED WITH PROPER SPACING AND MAINTENANCE IN MIND.

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Exhibit C

RESOLUTION NO. 2019- 149

CITY OF POMPANO BEACH
Broward County, Florida

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE FDOT DISTRICT FOUR (4) AMENDMENTS NUMBER SEVENTEEN (17) TO LANDSCAPE INCLUSIVE MAINTENANCE MEMORANDUM OF AGREEMENT BETWEEN THE CITY OF POMPANO BEACH AND THE STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION FOR ADDITIONAL LANDSCAPE IMPROVEMENTS ON STATE ROAD 5 (US 1) FROM MILE POST 9.153 TO MILE POST 9.207, RESPECTIVELY; PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA:

SECTION 1. That Amendment Number Seventeen (17) between the City of Pompano Beach and the State of Florida Department of Transportation, a copy of which Agreement is attached hereto and incorporated by reference as if set forth in full, is hereby approved.

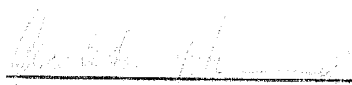
SECTION 2. That the proper City officials are hereby authorized to execute said Agreement between the City of Pompano Beach and the State of Florida Department of Transportation.

SECTION 3. This Resolution shall become effective upon passage.

PASSED AND ADOPTED this 23rd day of April, 2019.



REX HARDIN, MAYOR

ATTEST:


ASCELETA HAMMOND, CITY CLERK

MEB/jmm
4/9/19
I:reso/2019-160

Level 0

MATERIALS SCHEDULE

NOTE: REFER TO L-047 FOR REPRESENTATIVE IMAGERY

KEY	DESCRIPTION / MODEL	COLOR	FINISH	CONTACT	REMARKS
(C1)	CONCRETE	NATURAL	MEDIUM BROOM	LOCAL SOURCE	- PROVIDE 1/4" x 1/4" x 1/4" MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(C2)	CONCRETE (VERTICAL)	NATURAL BEIGE (889)	MEDIUM SANDBLAST	SANFANA LANDSCAPE'S CONTACT: ROB VARTAGLIA PHONE: (861) 402-8397	- PROVIDE 1/4" x 1/4" x 1/4" MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(C3)	CONCRETE (VERTICAL)	NO COLOR	RUBBED AND SEALED	LOCAL SOURCE	- PROVIDE SHOP DRAWINGS AND SAMPLE OF CONCRETE FINISH FOR REVIEW
(C4)	CONCRETE (VERTICAL)	NATURAL CONCRETE	POLISHED	LOCAL SOURCE	- PROVIDE SHOP DRAWINGS AND SAMPLE OF CONCRETE FINISH FOR REVIEW
(P1)	PAVERS				
(P1)	PAVER (TABLE MARKING) - SIZE: 12"x12"	CHARCOAL	STANDARD	COMPANY: TILE TECH PAVERS PHONE: (861) 380-5975	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW
(P2)	CONCRETE PAVER (PEDESTRIAN) - COMB. 4X12, 4X18 - 2.38" THICK	CHARCOAL	STANDARD	COMPANY: TREKON PHONE: (861) 354-9900	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW & MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(P3)	CONCRETE PAVER (PEDESTRIAN) - COMB. 4X12, 4X18 - 2.38" THICK	LIGHT HUNTINGTON	STANDARD	COMPANY: TREKON PHONE: (861) 354-9900	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW & MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(P4)	CONCRETE PAVER (PLANK PAVEMENT) - COMB. 4X12, 4X18 - 2.38" THICK	NATURAL GREY	STANDARD	COMPANY: TREKON PHONE: (861) 354-9900	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW & MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(P5)	CONCRETE PAVER (BRICK PATTERN) - HERRINGBONE PATTERN - 3-1/8" THICK, 7.5" FINNING SAND PATTERN	NATURAL GREY	STANDARD	COMPANY: TREKON PHONE: (861) 354-9900	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW & MOCUP FOR LANDSCAPE ARCHITECT REVIEW
(P6)	CONCRETE PAVER (BRICK PATTERN) - HERRINGBONE PATTERN - 3-1/8" THICK, 7.5" FINNING SAND PATTERN	SANDSTONE	STANDARD	COMPANY: TREKON PHONE: (861) 354-9900	- SUBMIT SAMPLE AND PRODUCT DATA FOR REVIEW & MOCUP FOR LANDSCAPE ARCHITECT REVIEW

GRAPHIC SCALE
 SCALE: 1"=30'
 NOTE: PRINTED DRAWING SIZE MAY VARY FROM ACTUAL SIZE. USE GRAPHIC SCALE ABOVE.

KEITH
 301 East Atlantic Boulevard
 Pompano Beach, Florida 33060-6643
 PH: (954) 784-3400
 Florida Certificate of
 Authorization # 7929
 PERMIT SET: 171212018

FAIRFIELD
 RESIDENTIAL
 FAIRFIELD AT
 POMPANO BEACH
 601 N. Federal Hwy
 POMPANO BEACH FL
 33060

SCALE: AS NOTED
 DATE ISSUED: MAY 3, 2019
 DRAWN BY: KS
 DESIGNED BY: PVI
 CHECKED BY: PVI

SHEET TITLE
SITEWORK PLAN

SHEET NUMBER
LS-101

100% CONSTRUCTION DOCUMENTS
 PROJECT NO. 09650.01

DocuSign Envelope ID: 7BBF50C8-3AC8-493B-AC89-DC411990A5C7

Exhibit E



CERTIFICATE OF LIABILITY INSURANCE

3/1/2021

DATE (MM/DD/YYYY)
2/28/2020

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Lockton Insurance Brokers, LLC 19800 MacArthur Blvd., Suite 1250 CA License #0F15767 Irvine 92612 949-252-4400	CONTACT NAME: PHONE (A/C, No. Ext): FAX (A/C, No): E-MAIL ADDRESS:													
	<table border="1"> <thead> <tr> <th>INSURER(S) AFFORDING COVERAGE</th> <th>NAIC #</th> </tr> </thead> <tbody> <tr> <td>INSURER A: Tokio Marine Specialty Insurance Company</td> <td>23850</td> </tr> <tr> <td>INSURER B: Allied World Assurance Company (U.S.) Inc.</td> <td>19489</td> </tr> <tr> <td>INSURER C: Philadelphia Indemnity Insurance Co.</td> <td>18058</td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </tbody> </table>	INSURER(S) AFFORDING COVERAGE	NAIC #	INSURER A: Tokio Marine Specialty Insurance Company	23850	INSURER B: Allied World Assurance Company (U.S.) Inc.	19489	INSURER C: Philadelphia Indemnity Insurance Co.	18058	INSURER D:		INSURER E:		INSURER F:
INSURER(S) AFFORDING COVERAGE	NAIC #													
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INSURER C: Philadelphia Indemnity Insurance Co.	18058													
INSURER D:														
INSURER E:														
INSURER F:														
INSURED 1374825 Fairfield Residential Company, LLC 5510 Morehouse Dr., Ste. 200 San Diego CA 92121														

COVERAGES FAIRE01 **CERTIFICATE NUMBER:** 15646257 **REVISION NUMBER:** XXXXXXXX

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR <input checked="" type="checkbox"/> SIR: \$25,000 <input checked="" type="checkbox"/> Host Liq. Liab. Incl GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input checked="" type="checkbox"/> PRO-JECT <input checked="" type="checkbox"/> LOC OTHER:	Y	Y	PPK1949390	3/1/2020	3/1/2021	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ Not Applicable PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ See Below PRODUCTS - COMP/OP AGG \$ 2,000,000 \$
C	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	Y	N	PHPK2102937	3/1/2020	3/1/2021	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ XXXXXXXX BODILY INJURY (Per accident) \$ XXXXXXXX PROPERTY DAMAGE (Per accident) \$ XXXXXXXX \$ XXXXXXXX
B	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> DED <input checked="" type="checkbox"/> RETENTIONS \$ 10,000	Y	N	0310-5813	3/1/2020	3/1/2021	EACH OCCURRENCE \$ 10,000,000 AGGREGATE \$ 10,000,000 \$ XXXXXXXX
	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	NOT APPLICABLE			PER STATUTE OTH-ER E.L. EACH ACCIDENT \$ XXXXXXXX E.L. DISEASE - EA EMPLOYEE \$ XXXXXXXX E.L. DISEASE - POLICY LIMIT \$ XXXXXXXX
D	Excess Liability (2nd Layer)	N	N	CX00FQY20	3/1/2020	3/1/2021	\$15,000,000 XS \$10,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)
 The Named Insured is continued to read: Fairfield Development L.P.; FF Properties L.P.; FF Realty III LLC; Fairfield Pompano LP. Re: Pompano Beach, 601 N. Federal Hwy., Pompano Beach, FL 33062. Certificate Holder is an Additional Insured to the extent provided by the policy language or endorsement issued or approved by the insurance carrier. Waiver of Subrogation applies per attached endorsement(s) or policy language. Referenced Excess or Umbrella Liability policy is follow form to all underlying policies as provided on the policy or endorsements.

APPROVED *C. Lawrence*
 By Cindy Lawrence at 4:52 pm, Nov 04, 2020

CERTIFICATE HOLDER 15646257 City of Pompano Beach P.O. Drawer 1300 Pompano Beach FL 33061	CANCELLATION See Attachments SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE <i>[Signature]</i>
--	---

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ACORD 25 (2016/03)

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RESOLUTION NO. 2021- 21

**CITY OF POMPANO BEACH
Broward County, Florida**

A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A REVOCABLE LICENSE AGREEMENT BETWEEN THE CITY OF POMPANO BEACH AND FAIRFIELD POMPANO LP, TO CONSTRUCT AND MAINTAIN CERTAIN IMPROVEMENTS INCLUDING PAVERS, LANDSCAPING AND IRRIGATION WITHIN THE RIGHT-OF-WAY OF NE 6TH STREET AND FEDERAL HIGHWAY; PROVIDING AN EFFECTIVE DATE.

BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA:

SECTION 1. That a Revocable License Agreement between the City of Pompano Beach and Fairfield pompano LP, a copy of which agreement is attached hereto and incorporated by reference as if set forth in full, is hereby approved.

SECTION 2. That the proper City officials are hereby authorized to execute said Revocable License Agreement thereto between the City of Pompano Beach and Fairfield Pompano LP.

SECTION 3. That this resolution shall become effective upon passage.

PASSED AND ADOPTED this 10th day of November, 2020.

DocuSigned by:
Rex Hardin
502CB780EB3F480...

REX HARDIN, MAYOR

ATTEST:

DocuSigned by:
Asceleta Hammond
775D4290316A490...

ASCELETA HAMMOND, CITY CLERK

MEB/jrm
10/21/2020
l:reso/2021-35

DocuSigned by:

