

05/08/24

Andee Hasbrook
3215 Canal Drive
Pompano Beach, FL 33062
561-339-0849

Follow up for Variance Meeting

Project Address: 3215 Canal Drive, Pompano Beach, FL 33062

Parcel Number:

Dear Commission Members

Thank you for allowing me to present my request before you at the last commission meeting. I am submitting the following documents to the Commission regarding the variance for the project address located at 3215 Canal Drive, Pompano Beach. This is a follow up to our presentation regarding a variance for a pool in front of the house within the front set back area instead of the rear.

For your review, we are providing the site plan and site drainage plan to show that the proposed plan meets all requirements regarding the pervious and impervious calculations required by the City of Pompano.

We tried many variations of plans before we came up with this concept and worked with the city on input along the way before we came up with our proposed scope.

Our proposed project scope of a primary residence for a two-family duplex will be a beautiful new addition to the City of Pompano. We are proposing to keep the existing mature trees since this is in line with the wishes of the landscaping department and to avoid the costly mitigation of these trees. As per our Arborist, the tree roots would be compromised with the pool in the rear, therefore, the front location, behind our six-foot privacy fence, would be the best solution.

We hope that the attached documents will help with making your determination of this variance.

We thank you for considering the request.

Sincerely,

Andee Hasbrook

Andee Hasbrook
561-339-0849

PROPOSED 2 FAMILY DWELLING FOR THE HASBROOK RESIDENCE(S)
3215 CANAL DRIVE POMPANO BEACH, FL.
DESCRIPTION OF PROJECT:
 THE WORK UNDER THIS CONTRACT COMPRISES THE FURNISHING OF ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE NEW TWO STORY TWO-FAMILY RESIDENCE. A NEW DRIVEWAY WILL BE INSTALLED AS SHOWN ON THE PLANS. HURRICANE RATED DOORS AND WINDOWS SHALL BE INSTALLED THROUGHOUT. ELECTRICAL TO BE PLACED UNDERGROUND.
 *THE EXISTING RESIDENCE(S) SHALL BE DEMOLISHED.

BUILDING DATA AND NOTES

LAND AREA:	+/- 8,206 SQUARE FEET
EXIST. ONE STORY UNIT 1:	+/- 1,219 SQUARE FEET
EXIST. FLORIDA ROOM:	+/- 88 SQUARE FEET
EXIST. ONE STORY UNIT 2:	+/- 374 SQUARE FEET
EXIST. PORCH:	+/- 55 SQUARE FEET
EXIST. DETACHED GARAGE:	+/- 900 SQUARE FEET
EXISTING LOT COVERAGE:	+/- 2,338 SQ.FT. 29%
EXISTING ASPHALT:	+/- 1,342 SQ.FT. 16%
PROPOSED UNIT 1, LEVEL ONE:	+/- 753 SQ.FT.
PROPOSED UNIT 2, LEVEL TWO:	+/- 1,959 SQ.FT.
UNIT 2, LEVEL ONE STAIRBATH:	+/- 78 SQ.FT.
UNIT 2 TOTAL:	+/- 2,037 SQ.FT.
PROPOSED STORAGE, LEVEL ONE:	+/- 622 SQ.FT.
PROPOSED COVERED CONC. AREA, LEVEL ONE:	+/- 646 SQ.FT.
PROPOSED OPEN TERRACE LEVEL TWO:	+/- 322 SQ.FT.
PROPOSED ACTIVE ROOF DECK:	+/- 806 SQ.FT.
PROPOSED TOTAL LOT COVERAGE:	+/- 2,360 SQ.FT. 29% (BUILDINGS FOOTPRINT UNDER ROOF)
PROPOSED DRIVEWAY:	+/- 1,085 SQUARE FEET
PROPOSED CONC. WALKWAY(S):	+/- 468 SQUARE FEET
PROPOSED CONC. EQUIP. PAD(S):	+/- 8 SQUARE FEET
PROPOSED POOL/ POOL DECK:	+/- 956 SQUARE FEET
PROPOSED IMPERVIOUS:	+/- 4,839 SQUARE FEET, 59%
PROPOSED PERVIOUS/GREEN:	+/- 3,367 SQUARE FEET, 41%

01-ALL NEW WORK SHALL BE DONE WITHIN THE BOUNDARIES ESTABLISHED BY THE CITY OF POMPANO BEACH.
 02- TWO FAMILY DWELLING PROPOSED, TYPE OF CONSTRUCTION SHALL BE VB.



LEGAL DESCRIPTION
 WAHOO NO 2 7-49 B LOT 19 LESS S 2 FOR ST.20 LESS E 31.96 & LESS S 2 FOR ST & STRIP OF LAND BOUNDED ON S BY WAHOO CANAL, ON N BY S/L OF CANAL DR RELOCATED, ON E BY THE EXT S OF E/L OF LOT 20 LESS E 31.96 & ON W BY THE EXT S OF W/L LOT 19

CONSTRUCTION & OCCUPANCY TYPE
 TYPE VB UNPROTECTED CONSTRUCTION
 NEW TWO FAMILY DWELLING
 OCCUPANCY TYPE: GROUP R

FLORIDA BUILDING CODE 2020 7TH ED.
ZONING CATEGORY/LAND USE
 ZONE: RM-20, LAND USE: MH-MEDIUM-HIGH 16-25 DU/AC
 FRONT SETBACK: 25'
 SIDE SETBACK: 10'
 REAR SETBACK: 10'

FLOOD ZONE
 2014
 FLOOD ZONE: AE
 NAVD 88 ELEVATION: 5 FEET
 FLOOD PANEL: 12011C0189H

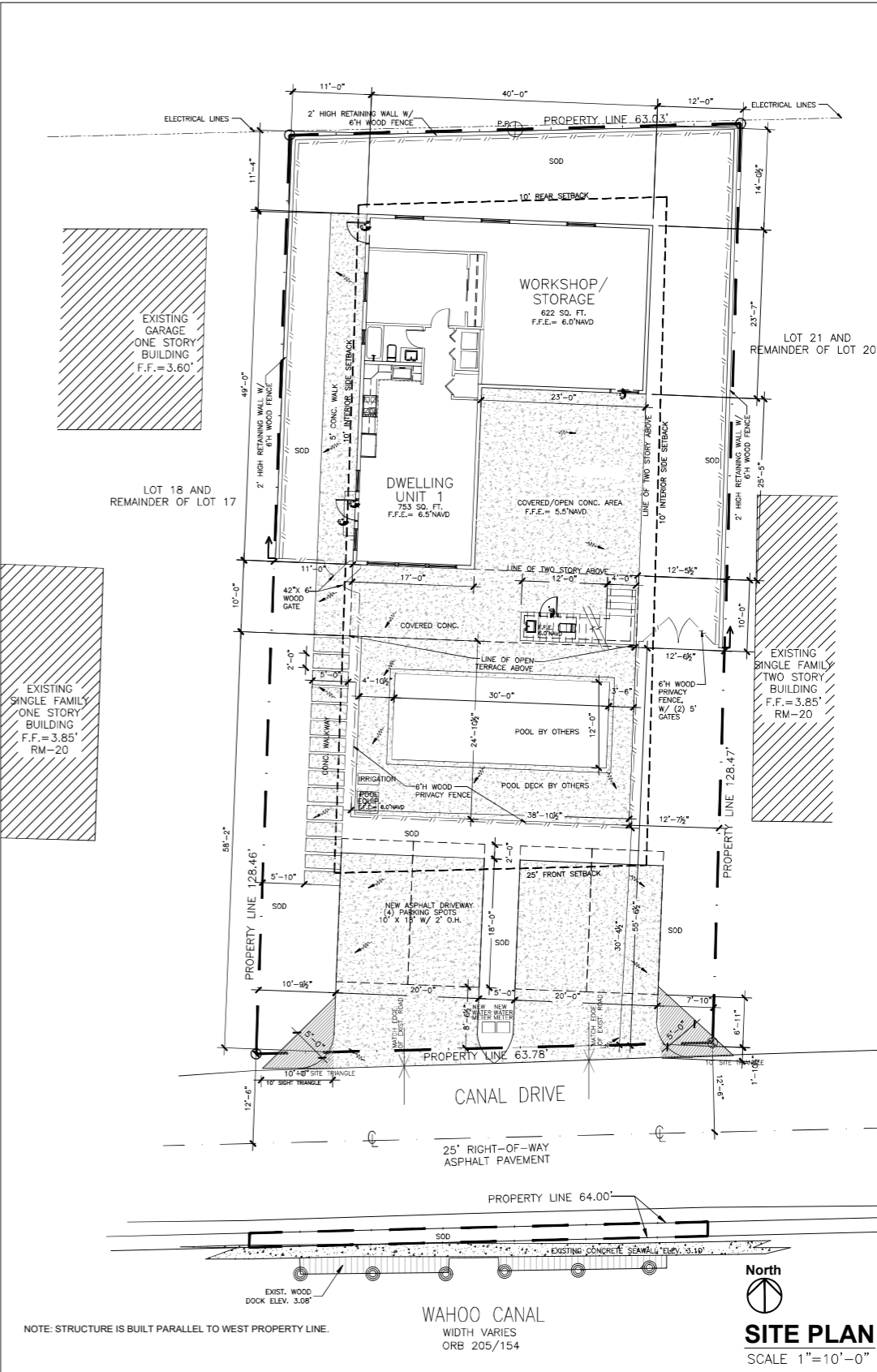
EXISTING F.F.E: 4.27' NAVD
 PROPOSED F.F.E: 6.5' NAVD
 C.O.R. ELEVATION: 2.67' NAVD

- LIST OF DRAWINGS:**
- SP1 TITLE SHEET/ SITE PLAN
 - SP2 PAVING, GRADING AND DRAINAGE PLAN/NOTES
 - SP3 SITE PLAN DETAILS/ CITY OF POMPANO BEACH DETAILS
 - SP4 DEMOLITION/ EXISTING PLAN/EROSION AND SEDIMENT CONTROL

SITE DATA ZONING RM-20 REQUIREMENTS

	REQUIRED TWO FAMILY DWELLING	PROPOSED TWO FAMILY DWELLING
LOT AREA MINIMUM SQ.FT.	2F: 8,000 SQ.FT.	2F: 8,206 SQ. FT.
LOT WIDTH MINIMUM FT.	2F: 70	2F: 63.78 FT.(9% BELOW REQUIREMENT). (6)
DENSITY, MAXIMUM DU/AC	20 (2,3)	
FLOOR AREA PER DWELLING UNIT MINIMUM SQ.FT.	2F: 750 SQ.FT. (EACH)	UNIT 1 SQ.FT.: 753 SF, LEVEL ONE UNIT 2 SQ.FT.: 1959 SF LEVEL TWO, 78 SF LEVEL ONE TOTAL SQ.FT.: 2790 SF (UNITS ONE AND TWO)
LOT COVERAGE MAX.(%OF LOT AREA)	MAX. 60%(2)	2360 SF, 29%
PERVIOUS AREA MIN.(%OF LOT AREA)	MIN. 25%(2)	3667 SF, 41%
HEIGHT, MAX. FT.	35' MAX.	23'-3"
FRONT YARD SETBACK, MIN FT.	25' MIN.	55'-6 1/2" TO BUILDING, 30'-4 1/2" TO 6' FENCE @ POOL
INTERIOR SIDE SETBACK, MIN. FT.	10' MIN.(2,4,5), 11'-0" REQUIRED	11'-0", 12'-6 1/2"
REAR YARD SETBACK, MIN. FT.	10' MIN.(4), 11' REQUIRED	11'-0", 14'-0"
REQ. FRONT YARD PERVIOUS(%)	50% (FOR SINGLE FAMILY DWELLING ONLY)	NA
REQUIRED PARKING	2 PER DWELLING UNIT, 4 TOTAL	4

1- SEE MEASUREMENT RULES AND ALLOWED EXEMPTIONS/ VARIATIONS IN ARTICLE 9, PART 4.
 2- FOR TOWNHOUSE DEVELOPMENT, APPLIES ONLY TO THE DEVELOPMENT SITE AS A WHOLE, PROVIDED INDIVIDUAL TOWNHOUSE LOTS HAVE A MINIMUM AREA OF 1,800 SQ. FT. AND A MINIMUM WIDTH OF 18 FT.
 3- ON LAND CLASSIFIED RESIDENTIAL BY THE LAND USE PLAN, MAXIMUM GROSS RESIDENTIAL DENSITY MAY NOT EXCEED THAT ESTABLISHED FOR THE PARTICULAR LAND USE CLASSIFICATION.
 4- THOSE PORTIONS OF A STRUCTURE EXTENDING ABOVE A HEIGHT OF 20' FEET SHALL SETBACK AND ADDITIONAL 1 FT. FOR EACH 4FT. (OR MAJOR FRACTION THEREOF) THE HEIGHT OF THE PORTION OF THE STRUCTURE EXCEEDS 20FT.
 5- FOR DEVELOPMENTS WITH ZERO-LOT-LINE SINGLE-FAMILY DWELLINGS, 0FT ALONG THE ZERO LOT LINE AND 15' FOR THE OPPOSITE INTERIOR LOT LINE.
 6- IF THE AVERAGE AREA OR WIDTH OF EXISTING LOTS LOCATED ON THE SAME BLOCK FACE AND IN THE SAME ZONING DISTRICT IS LESS THAN APPLICABLE MINIMUM LOT AREA OR MINIMUM LOT WIDTH (AS APPROPRIATE) ESTABLISHED IN ARTICLE 3: ZONING DISTRICTS, THE MINIMUM LOT AREA OR MINIMUM LOT WIDTH (AS APPROPRIATE) REQUIRED OF A LOT SHALL BE REDUCED TO THAT AVERAGE LOT AREA OR AVERAGE LOT WIDTH (AS APPROPRIATE). COPB ZONING CODE 155.9402(A)(1).



NOTE: STRUCTURE IS BUILT PARALLEL TO WEST PROPERTY LINE.

WAHOO CANAL
 WIDTH VARIES
 ORB 205/154

ENGINEERING DEPARTMENT:
 ** REFER TO SP2 FOR PAVING, DRAINAGE, DRIVEWAY.

** CALL 811 BEFORE YOU DIG
 **PLEASE SEE SURVEY PROVIDED BY PHILLIPS SURVEYING & MAPPING, INC. FOR ADDITIONAL INFORMATION.
 ** FENCE ACCESS GATES SHALL BE EQUIPPED WITH A SELF CLOSING AND SELF LATCHING LOCKING DEVICE LOCATED NO LESS THAN 54" FROM THE BOTTOM OF THE GATE.
 ** NOTE: ALL MECHANICAL EQUIPMENT MOUNTED ON OR NEAR GROUND LEVEL AND VISIBLE FROM THE ROAD, SHALL BE SCREENED BY ADJACENT BUILDINGS, DENSE CONTINUOUS HEDGES/SHRUBS INSTALLED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES OR DECORATIVE WALLS OR FENCES INCORPORATING AT LEAST ONE OF THE PRIMARY MATERIALS OR COLORS OF THE NEAREST WALL OF THE PRIMARY STRUCTURE ON THE LOT. EQUIPMENT TO BE SCREENED A MIN. OF 6" ABOVE THE HEIGHT OF THE EQUIPMENT BEING SCREENED.
 ** NOTE: MECHANICAL EQUIPMENT SHALL BE A MINIMUM OF 3' FROM SIDE OR REAR LOT LINES.

James Bushouse, INC.
 CONSULTING ENGINEERS
 C.A. #27565
 3140 WEDDWOOD BLVD.
 DELRAY BEACH, FL 33445
 (954) 956-2200

NOT VALID UNLESS UNLESS SEALED WITH THE ELECTRONIC OR THE EMBOSSED SEAL

James Bushouse, P.E.
 Professional Engineer #20311
 State of Florida

Revisions

James D Bushouse, State of Florida, Professional Engineer, License No. 20311
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James D Bushouse

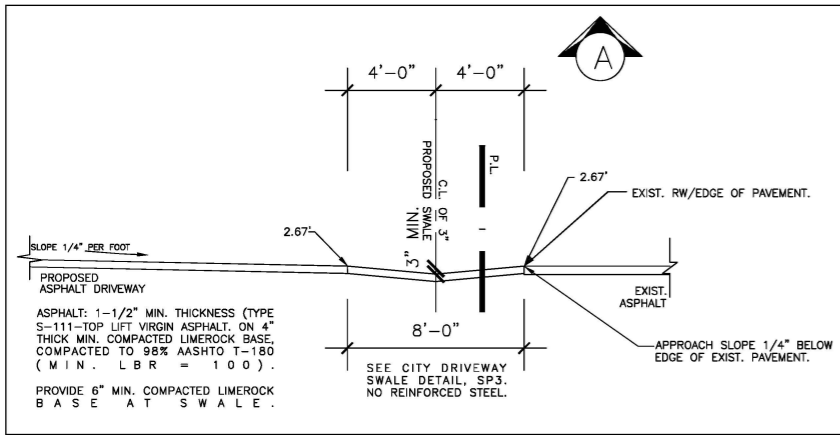
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 Date: 2023.06.28 10:14:36 -0400'

HASBROOK RESIDENCE(S)
 3215 CANAL DRIVE
 POMPANO BEACH, FL

Job No: HAS2023
 Date: 01-11-2023
 Drawn by: TA, JG, WA
 Checked: JB

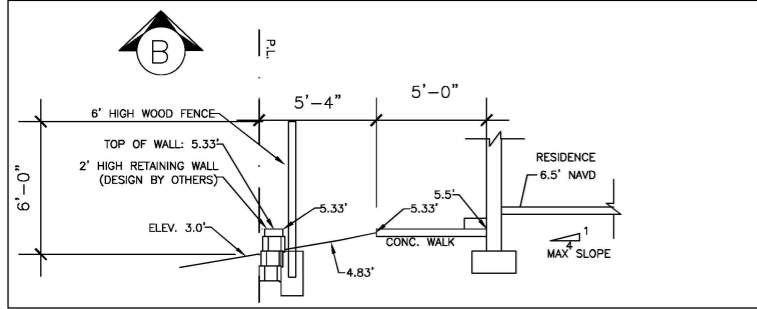
Drawing No.

SP1
 TITLE PAGE
 SITE PLAN



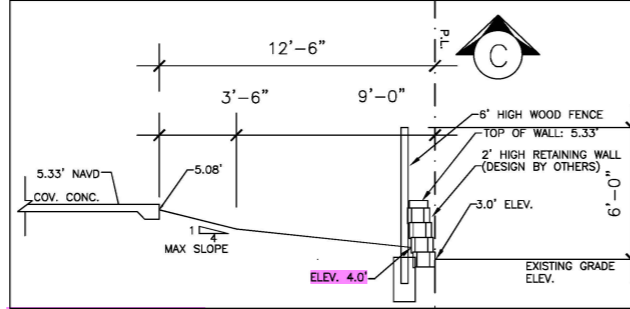
SECTION A-A

TYP. AT DRIVEWAY, SEE CITY DRIVE/SWALE DETAIL SP3.



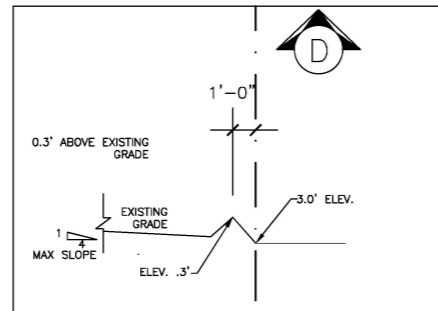
SECTION B-B

TYP. AT WEST SIDE



SECTION C-C

TYP. AT EAST SIDE



SECTION D

TYP. AT FRONT SIDES WITHOUT RETAINING WALL

SITE BREAKDOWN

BUILDING, PORCHES=	= 2,360 SF, 29%
DRIVEWAY, CONCRETE, POOL/DECK, SIDEWALKS	= 2,166 SF, 26%
GREEN	= 3,699 SF, 45%
TOTAL IMPERVIOUS PROPOSED	= 4,507 SF, 55%

TOTAL LAND AREA: = 8,206 SF, 100%

DRAINAGE CALCULATIONS

PROVIDE FOR "1" RAIN FALL' OVER SITE IN SWALE RETENTION AREAS.
 $8,206 \text{ SF} \times 1" / 12" = 684 \text{ CF}$, OR $2.5" \text{ RAINFALL OVER IMPERVIOUS AREA} = 2.5" / 12 \times 4507 \text{ SF} = 939 > 684$

THEREFORE STORE 939 CF IN ON SITE RETENTION SWALES

SWALE 1 = $4.67' \times (5.33 - 3.0) / 2 = 5.44 \text{ SF} \times 22' = 120 \text{ CF}$
SWALE 2 = $12' \text{ AVG.} \times (5.5 - 3.0) / 2 = 15 \text{ SF} \times 63' = 945 \text{ CF}$
SWALE 3 = $10' \times (5.0 - 4') / 2 = 5 \text{ SF} \times 24' = 120 \text{ CF}$

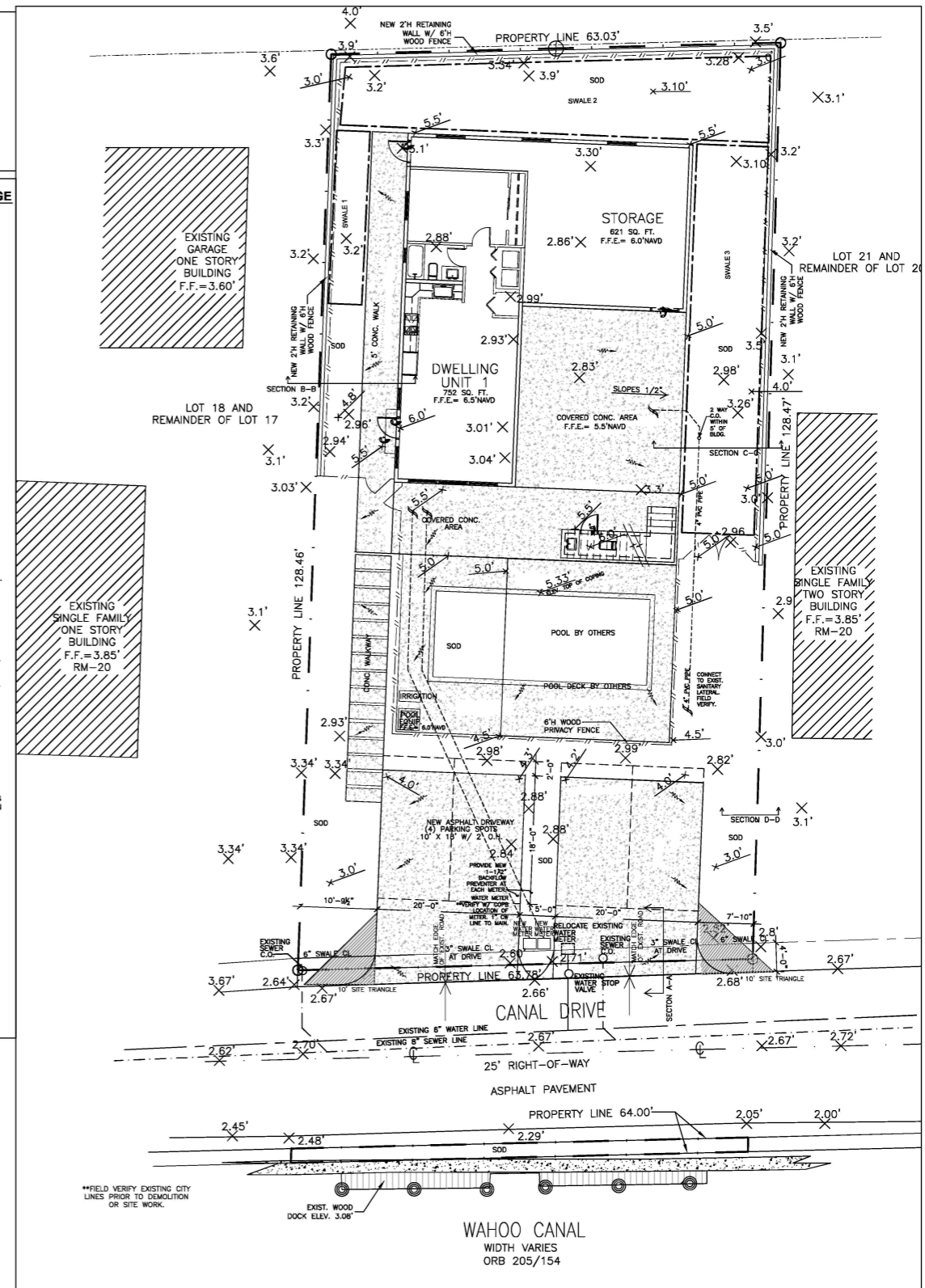
TOTAL: 1185 CF > 939 CF REQUIRED

DRAINAGE PLAN LEGEND

- 3.2' X = EXISTING ELEVATION MARK.
- 6.7' X = PROPOSED ELEVATION
- = DIRECTION OF DRAINAGE FLOW
- = SWALE

GENERAL SITE PAVING/DRAINAGE NOTES:

- 01- ALL CONSTRUCTION SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF POMPANO BEACH ENGINEERING, CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
- 02- ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- 03- SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ENGINEER IMMEDIATELY OF ANY DISCREPANCY TO THE CONSTRUCTION DOCUMENTS.
- 04- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL GIVE TIMELY NOTIFICATION TO ALL UTILITY COMPANIES WITH FACILITIES IN THE AREA.
- 05- THE LOCATION OF EXISTING FACILITIES WERE PLOTTED FROM AVAILABLE RECORDS, THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- 06- THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO SAFEGUARD ALL EXISTING STRUCTURES, UTILITIES AND SURVEY MARKERS.
- 07- CONTRACTORS AND SUB-CONTRACTORS SHALL PERFORM ALL CONSTRUCTION IN ACCORDANCE WITH ALL CODES, REGULATIONS HAVING JURISDICTION AND RESTRICTIONS AND SHALL BE RESPONSIBLE FOR THE SAME.
- 08- ALL DIMENSIONS SHALL BE VERIFIED PRIOR TO ANY CONSTRUCTION BY THE CONTRACTOR AND/OR SUB-CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO STARTING CONSTRUCTION.
- 09- SURVEYORS SHALL VERIFY ALL SITE DIMENSIONS PRIOR TO CONSTRUCTION AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES.
- 10- ALL UTILITIES AND DRAINAGE INSTALLATIONS UNDER PROPOSED PAVEMENT/CONC. SHALL BE COMPLETED PRIOR TO COMMENCING PAVEMENT/SUBGRADE CONSTRUCTION.
- 11- ALL SIDEWALKS AND PATIOS SHALL BE SLOPED AWAY FROM HOUSE.
- 12- MAXIMUM GRASS SLOPES SHALL NOT EXCEED 4:1 RATIO.
- 13- REMOVE ALL ORGANIC AND DELETERIOUS MATERIAL BETWEEN THE EDGE OF THE PAVEMENT AND THE RIGHT AWAY LINE (10' SODDED SWALE) AND WITHIN 10' OF ANY EDGE OF PAVEMENT OR BUILDING. NO MATERIAL OF F.O.D.T. CLASS A-4, A-7 OR A-8 SHALL BE ALLOWED IN THE RIGHT OF WAY. BACKFILL TO REQUIRED ELEV. WITH CLEAN GRANULAR MATERIAL IN MAX. 12" LIFTS, COMPACTED TO 98% MAX. DENSITY AS PER AASHTO-T-190.
- 14- STABILIZED SUB-GRADE (MIN. L.B.R. 40) SHALL BE COMPACTED TO 98% MAX. DENSITY AS DETERMINED BY AASHTO-T-190.
- 15- LIMEROCK BASE SHALL MEET FLORIDA D.O.T. STANDARD SPECIFICATIONS, SECTION 911, AND INSTALLED PER SECTION 200, DENSITY TESTS SHALL BE TAKEN AT A MIN. OF EVERY 500 SF WITH EACH LIFT. PROVIDE ENGINEER WITH COPIES FOR APPROVAL. LIME ROCK BASE TO BE PRIMED IN ACCORDANCE WITH SECTION 500. BASE SHALL HAVE A COMPACTED THICKNESS AS SPECIFIED ON THE PLAN EXCEPT IN NO CASE SHALL BE LESS THAN 4".
- 16- FINISHED GRADE OF TURF/SOD SHALL BE 2" BELOW EDGE OF PAVEMENT.
- 17- DRAINAGE PIPE SHALL BE ONE OF THE FOLLOWING:
 A. CORRUGATED POLYETHYLENE PIPE (P.E.) FABRICATED TO ASTM 406 AND AASHTO-M254. PIPE SHALL BE ADS N-12, OR APPROVED EQUAL.
 B. HELICAL CORRUGATED ALUMINUM (C.A.P.) FABRICATED TO ASTM B209 AND HAVE A MIN. THICKNESS OF: 18 GAUGE FOR 24" AND SMALLER, OR 14 GAUGE FOR OVER 24".
- PIPE COUPLING BANDS SHALL BE SPLIT BANDS OF THE SAME ALLOY AS THE PIPE. POLYURETHANE OR OTHER MANUFACTURED SUPPLIED SEALANT SHALL BE USED WITH THE COUPLINGS. THE BANDS SHALL BE A MIN. OF 12" WIDE.
- 18- ALL CONCRETE USED SHALL DEVELOP A MIN. OF 2500 P.S.I. COMPRESSIVE STRENGTH AT 28 DAYS.



PAVING, GRADING AND DRAINAGE PLAN

SCALE 1"=10'-0"

**PLEASE SEE SURVEY PROVIDED BY PHILLIPS SURVEYING & MAPPING, INC. FOR ADDITIONAL INFORMATION.

** CALL 811 BEFORE YOU DIG.

** STORM LATERALS DO NOT RUN THROUGH THIS PROPERTY.

** DRIVEWAY NOTES: A 3" SWALE MUST BE CONSTRUCTED BELOW THE EDGE OF CITY ROADWAY. NO WELDED WIRE FABRIC OR REBAR PERMITTED AT CITY RIGHT OF WAY. 6" CONCRETE SPECIFIED.

** NOTE: PER FBC 1804.4, SITE GRADING. THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT A SLOPE OF NOT LESS THAN ONE UNIT VERTICAL IN 20 UNITS HORIZONTAL (5% SLOPE) FOR A MINIMUM DISTANCE OF 10 FEET MEASURED PERPENDICULAR TO THE FACE OF THE WALL.

ENGINEERING DEPARTMENT:

** NO STORM GRAVITY MAINS LOCATED ON STREET.

** CITY OF POMPANO BEACH WATER LATERALS ARE SHOWN ON PLAN. SHALL BE FIELD VERIFIED. SEWER LINES RUN ON OPPOSITE SIDE OF STREET.

DRIVEWAY NOTES:

- 1- A 3" SWALE MUST BE CONSTRUCTED BELOW THE EDGE OF CITY ROADWAY.
- 2- NO WELDED WIRE FABRIC OR REBAR PERMITTED AT CITY RIGHT OF WAY.
- 4- A MAX OF 50% OF CITY ROW/SWALE SHALL BE PAVED. SEE CALCULATIONS BELOW.
- 5- DRIVEWAY APRONS CANNOT CROSS OVER EXTENDED PROPERTY LINES.

** ENGINEERING: EXISTING DRIVEWAY WILL BE REMOVED AT PHASE TWO OF PROJECT AND REPLACED. PLEASE SEE PAVING AND DRAINAGE PLAN, SP2, FOR CONCRETE DRIVE DETAILS.

-EXISTING R.O.W. IS 2' WIDE ON EACH SIDE. THE SWALE FOR THE DRIVEWAY IS SHOWN AT 4' BEYOND EDGE OF ROAD. REFER TO SP2 FOR PAVING AND DRAINAGE & SP3 FOR CITY DETAILS.

-IMPERVIOUS CALCULATION FOR R.O.W.: NORTH SIDE 132 SF + SOUTH SIDE 128 SF = 260 SF TOTAL R.O.W.
 TOTAL IMPERVIOUS OF R.O.W. = 102 SF, 39% (MAX ALLOWED = 50%).

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 DELRAY BEACH, FL 33445
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 (863) 956-2203

James D Bushouse, P.E.
 Professional Engineer #20311
 State of Florida

Revisions

James D Bushouse, State of Florida, Professional Engineer, License No. 20311
 This item has been electronically signed & sealed by James D Bushouse, P.E. using a Digital Signature.
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James D Bushouse

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 Date: 2023.06.28 10:14:14 -0400

HASBROOK RESIDENCE
 3215 CANAL DRIVE
 POMPANO BEACH, FL

Job No: HASB2023
 Date: 01-11-2023
 Drawn by: TA, JG, WA
 Checked: JB

Drawing No.

SP2
 PAVING GRADING AND DRAINAGE PLAN