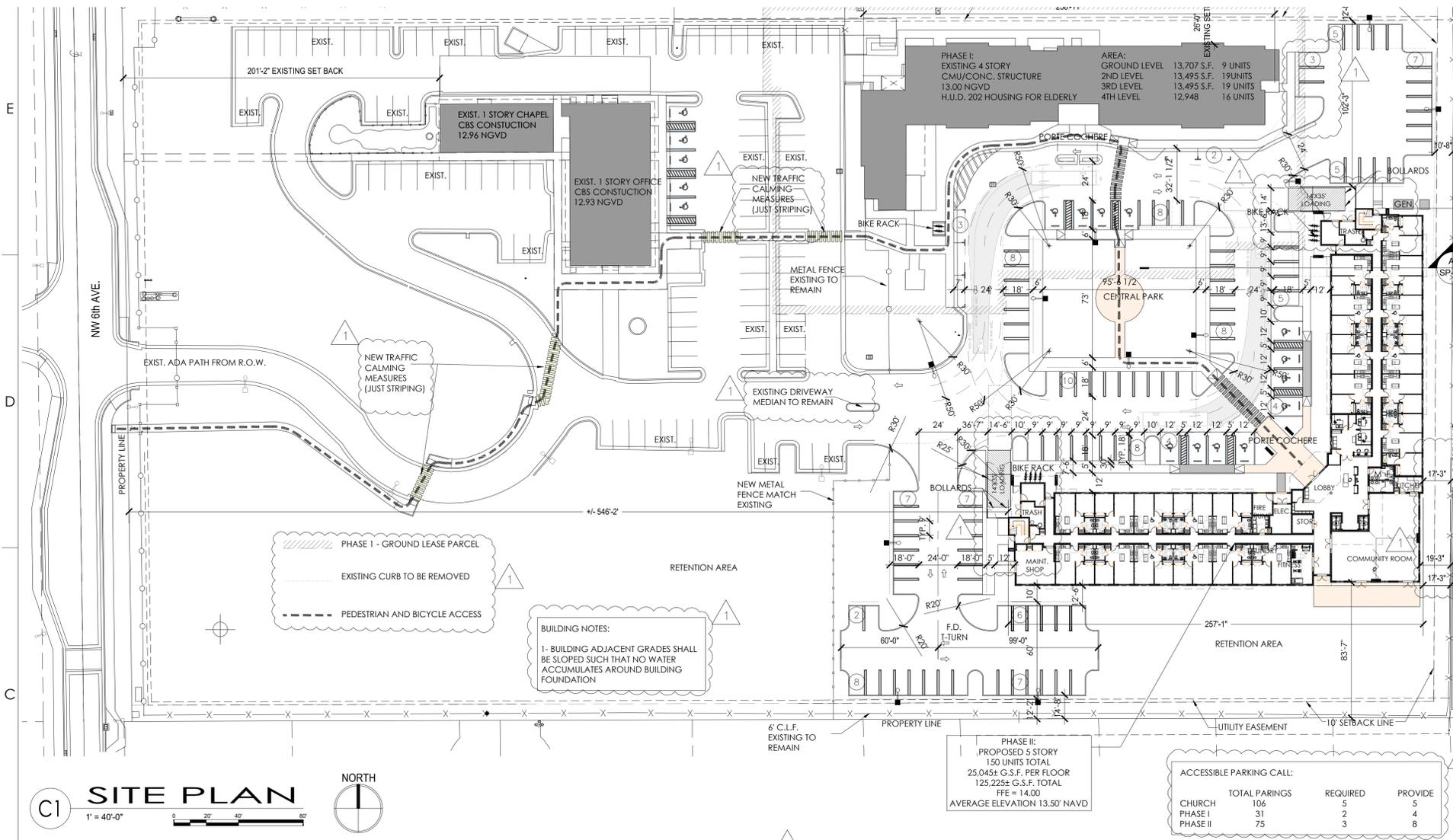


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 THIS DOCUMENT CONTAINS PROPERTY INFORMATION AND SHALL NOT BE USED OR REPRODUCED OR ITS CONTENTS DISCLOSED, IN WHOLE OR IN PART, WITHOUT THE PRIOR WRITTEN CONSENT OF GALLO HERBERT ARCHITECTS
 CONTRACTOR(S) SHALL VERIFY EXISTING CONDITIONS AND CORRELATE DIMENSIONS PRIOR TO PROVIDING THE WORK DETAILED IN THESE DRAWINGS, AND SHALL PROMPTLY NOTIFY THE DESIGNER OF ANY DISCREPANCIES
 IT IS A VIOLATION OF THE LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF A LICENSED ARCHITECT TO ALTER THESE PLANS AND SPECIFICATIONS.



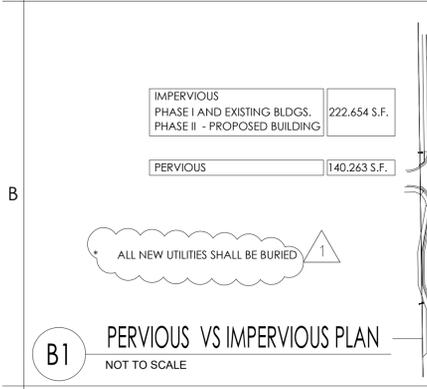
	PLAN AMENDMENT P&Z # 12-1300002 LUPA P&Z # 12-300001 ZONING	PHASE I + 1 STORY CBS	PHASE II PHASE II	PHASE I + PHASE II
1. PROPERTY ZONING DESIGNATION:	RM-30	RM-30	RM-30	RM-30
2. SUBJECT PROPERTY SIZE (GROSS):	376,190 SQ. FT. 8.636 ACRES	376,190 SQ. FT. 8.636 ACRES	376,190 SQ. FT. 8.636 ACRES	376,190 SQ. FT. 8.636 ACRES
3. NET LAND SQUARE FOOTAGE: (GROSS MINUS RIGHT OF WAYS-NET) N.W. 6TH AVE: 25 FT ROW AND ADDITIONAL 5 FT DEDICATION 376,190 SQ. FT. - 13,273 SQ. FT. = 362,917 SQ. FT.	362,917 SQ. FT. 8,331 ACRES	362,917 SQ. FT. 8,331 ACRES	362,917 SQ. FT. 8,331 ACRES	362,917 SQ. FT. 8,331 ACRES
4. LAND USE:	IRREGULAR RESIDENTIAL	I. RES	I. RES	I. RES
5. TOTAL DWELING UNITS PROPOSED:	251 (1-BR / 2-BR UNITS)	62 1-BR 1 2-BR 63 UNITS	149 1-BR 1 2-BR 150 UNITS	211 1-BR 2 2-BR 213 UNITS
6. DENSITY: RESIDENTIAL HIGH - 251 UNITS / 8.63 ACRES = 29 UNITS / ACRE PHASE ONE + PHASE TWO - 213 UNITS / 8.63 ACRES = 24.7 UNITS / ACRE	251 UNITS	63 UNITS	150 UNITS	213 UNITS
7. SETBACKS: FRONT SIDE REAR	25 FT. 10 FT. 10 FT.	201'-2" 26 FT. 111'-11" FT.	4'-546'-3" 81'-6" 128'-3" 16'-8"	201'-2" 81'-6" 26'-0" 16'-8"
8. BUILDING HEIGHT: APARTMENTS	105 FT.	49 FT. 4 STORY	49 FT. 5 STORY	49 FT. 5 STORY
9. MINIMUM FLOOR AREA: ONE BEDROOM UNITS TWO BEDROOM UNITS * UNIT SIZE VARIANCE APPROVED UNDER APPEAL #12-21 (S25 S.F.)	625 SQ. FT. * 750 SQ. FT.	625 SQ. FT. * 900 SQ. FT.	578 SQ. FT. * 865 SQ. FT.	578 SQ. FT. * 865 SQ. FT.
10. BUILDING MAXIMUM LOT COVERAGE: BUILDING AND COVERED GROUND AREA = 60% MAX. OF SITE AREA (362,917 SQ. FT. X 60% = 217,750 SQ. FT. - 4.99 ACRES) EXISTING 20,852 SQ. FT. PROPOSED PHASE II 22,230 SQ. FT. TOTAL (EXISTING + PROPOSED PHASE II) 43,082 SQ. FT.	217,750 SQ. FT. 4.99 ACRES 60%	20,852 SQ. FT. 0.48 ACRES 5.76%	24,514 SQ. FT. 0.57 ACRES 6.90%	45,366 SQ. FT. 1.05 ACRES 12.64%
11. UTILITIES: 1) EXISTING OVERHEAD WIRES 2) ALL NEW UTILITIES SHALL BE INSTALLED UNDERGROUND OR SCREENED WITH VEGETATION				
12. PREVIOUS OPEN SPACE REQUIREMENTS: RM-30 OPEN SPACE REQD = 25% OF SITE AREA (362,917 SQ. FT. X 25% = 90,726 SQ. FT.)	90,726 SQ. FT. 2.08 ACRES 25%	241,078 SQ. FT. 5.53 ACRES 66%	289,339 SQ. FT. 6.64 ACRES 79.72%	140,263 SQ. FT. 3.22 ACRES 38.65%
13. INTERNAL CIRCULATION: ALL PEDESTRIAN SIDEWALKS	8,220 SQ. FT. 0.19 ACRES	8,326 SQ. FT. 0.19 ACRES	16,546 SQ. FT. 0.38 ACRES	
14. PRIVATE ROAD AND PARKING AREA:	90,920 SQ. FT. 2.1 ACRES	28,949 SQ. FT. 0.66 ACRES	119,869 SQ. FT. 2.76 ACRES	
15. PUBLIC ROADS: DEDICATED R/W - NW 6TH AVE	2,212 SQ. FT. 0.05 ACRES	0 SQ. FT. 0 ACRES	0 SQ. FT. 0 ACRES	0 SQ. FT. 0 ACRES
16. IMPERVIOUS AREA: BUILDING + SIDEWALKS + PRIVATE ROAD + PARKING AREA	122,204 SQ. FT. 2.8 ACRES 33%	62,025 SQ. FT. 1.42 ACRES 17.76%	232,654 SQ. FT. 5.11 ACRES 61.35%	
17. TABLE OF PARKING REQUIREMENTS AND PROVIDED:				
CHURCH	106	5	5	
REGULAR ACCESSIBLE	5	31	75	
RESIDENTIAL BLDG.				
1 BR UNIT / 0.5 PARKING SPACE	31 SPACES	74.5 SPACES	105.5 SPACES	
2 BR UNITS / 0.75 PARKING SPACE	0.75 SPACES	0.75 SPACES	1.5 SPACES	
TOTAL PARKING REQUIRED FOR RESIDENTIAL BUILDINGS	31	75.25	107	
RESIDENTIAL BLDG.				
PARKING EASEMENT	21 SPACES	71 SPACES	105 SPACES	
TOTAL REGULAR	34 SPACES	9 SPACES	12 SPACES	
TOTAL ACCESSIBLE	3 SPACES	80 SPACES	117 SPACES	
TOTAL RESIDENTIAL BLDG. PARKING PROVIDED	37 SPACES	80 SPACES	117 SPACES	
TOTAL SITE PARKING (CHURCH + PHASE I + PHASE II)	139 SPACES	156 SPACES	182 SPACES	
BIKESPACE SPACES	4 BICYCLE SPACES / 10 VEHICLE PARKING	20 SPACES	20 SPACES	
MAX. 20 BICYCLES PARKING				

C1 SITE PLAN
1" = 40'-0"

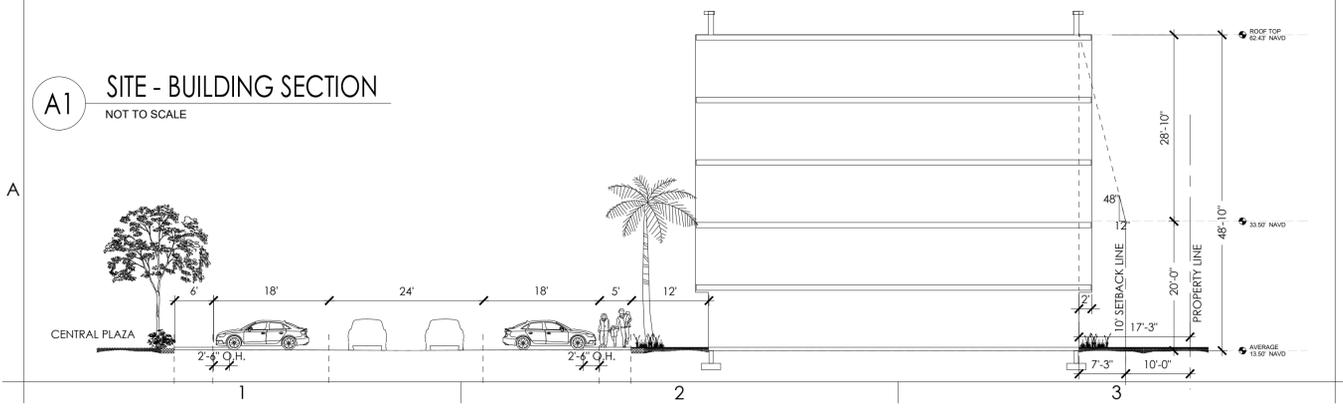
BUILDING NOTES:
1- BUILDING ADJACENT GRADES SHALL BE SLOPED SUCH THAT NO WATER ACCUMULATES AROUND BUILDING FOUNDATION

ACCESSIBLE PARKING CALL:

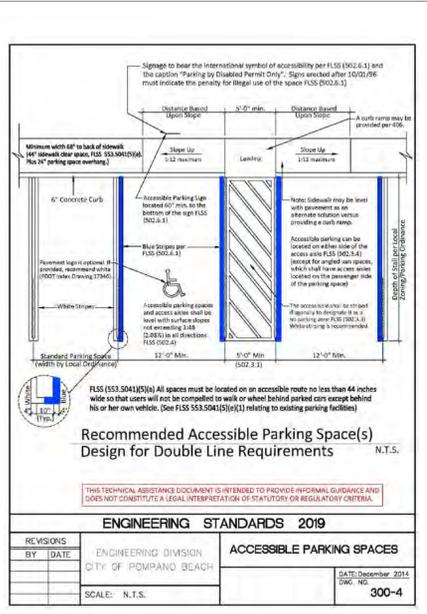
	TOTAL PARINGS	REQUIRED	PROVIDE
CHURCH	106	5	5
PHASE I	31	2	4
PHASE II	75	3	8



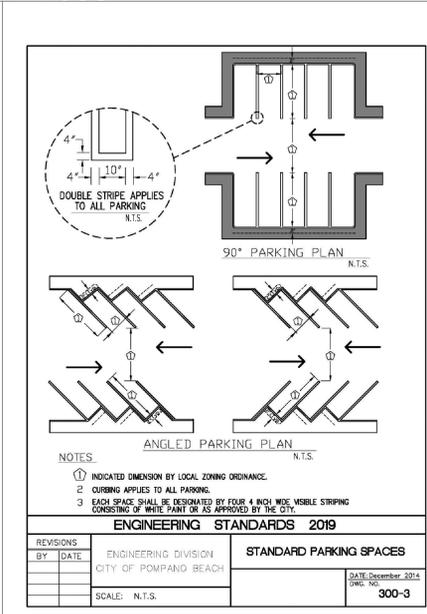
B1 PERVIOUS VS IMPERVIOUS PLAN
NOT TO SCALE



A1 SITE - BUILDING SECTION
NOT TO SCALE



A4 TYPICAL ACCESSIBLE PARKING STALL
NOT TO SCALE



A5 STANDARD PARKING STALL
NOT TO SCALE

LIFE SAFETY NOTES:

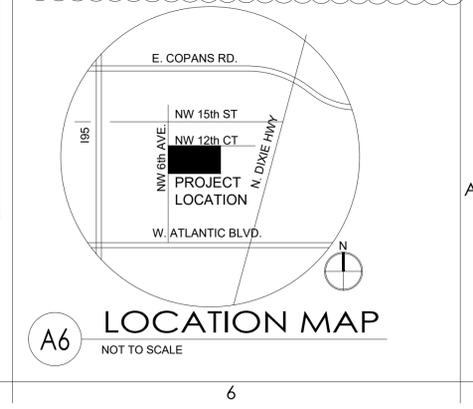
PROPOSED FIRE FLOW CALCULATION PER NFPA 18
GPM = 2517 GPM
AVAILABLE 3649 GPM - 3110 @ 20 PSI RES.

FIRE DEPARTMENT ACCES AND WATER SUPPLY (SEE CIVIL PLANS)

LOCATION OF ALL EXISTING AND PROPOSED WATER UTILITIES, FIRE HYDRANT AND MAIN SIZES (SEE CIVIL PLANS)

SUSTAINABILITY POINTS:

DESCRIPTION	POINTS
PROPOSED SUSTAINABLE DEVELOPMENT OPTION AND POINTS	
-ALL AIR CONDITIONING ARE ENERGY STAR QUALIFIED	2
-HURRICANE RESISTANT STRUCTURE (150 MPH LOAD MIN.)	4
-INFILL OR MIXED USE DEVELOPMENT (RESIDENTIAL / CHURCH)	4
-WHITE ROOF	2
OTHER	
-ALL WATER SENSE PLUMBING FIXTURES	1
-ALL LOW VOC PAINT AND COATING	1
-ENERGY EFFICIENT WINDOWS	1
-LIFE SAFETY AND COMMON AREA GENERATOR	1
SUSTAINABILITY BONUS	
OFF STREET PARKING	2
-REDUCTION OF REQUIRED PA	
TOTAL	18 POINTS



A6 LOCATION MAP
NOT TO SCALE

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AA26001731
WILLIAM J. GALLO FL AR0008440
BRIAN P. HERBERT FL AR0015474

St. Joseph Manor II
1210 NW 6 Avenue
POMPANO BEACH, FLORIDA

OWNER

REVISIONS

No.	Description	Date
1	REVISION FOR DRC	07-07-2022

PROJECT STATUS

SCHEMATIC DESIGN

DATE: 05-02-2022
PROJECT NUMBER: 19-2022

SCALE: AS SHOWN

DRAWN BY: CMR CHECKED BY: BPH
DRAWING TITLE: SITE PLAN & LIFE SAFETY PLAN PHASE II
DRAWING NUMBER: SP-101