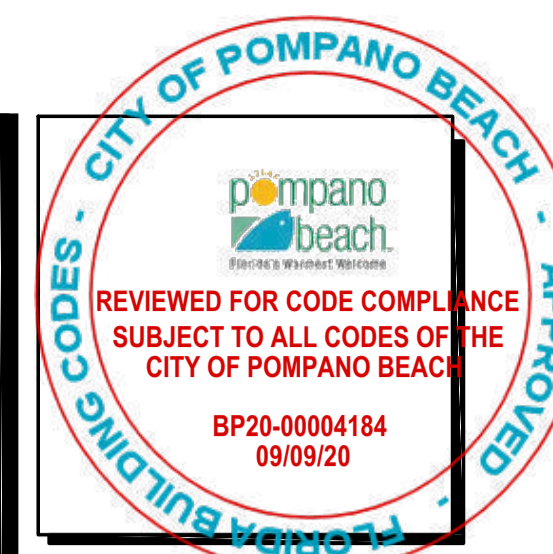


ISSUED FOR PERMIT
05 JUNE 2020



Pompano Beach
Fire Plan Review
BP20-00004184
9/9/2020



Abbas H. Zackria
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DN: c=US, o=WALTERS ZACKRIA ASSOCIATES PLLC, ou=A01427E00000167A29D31730000583A, cn=Abbas H. Zackria
Date: 2020.06.05 12:38:43 -04'00'

WALTERS ZACKRIA ARCHITECTS
5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
PHONE: (954) 522-4123 FAX: (954) 522-4128
www.wza-architects.com

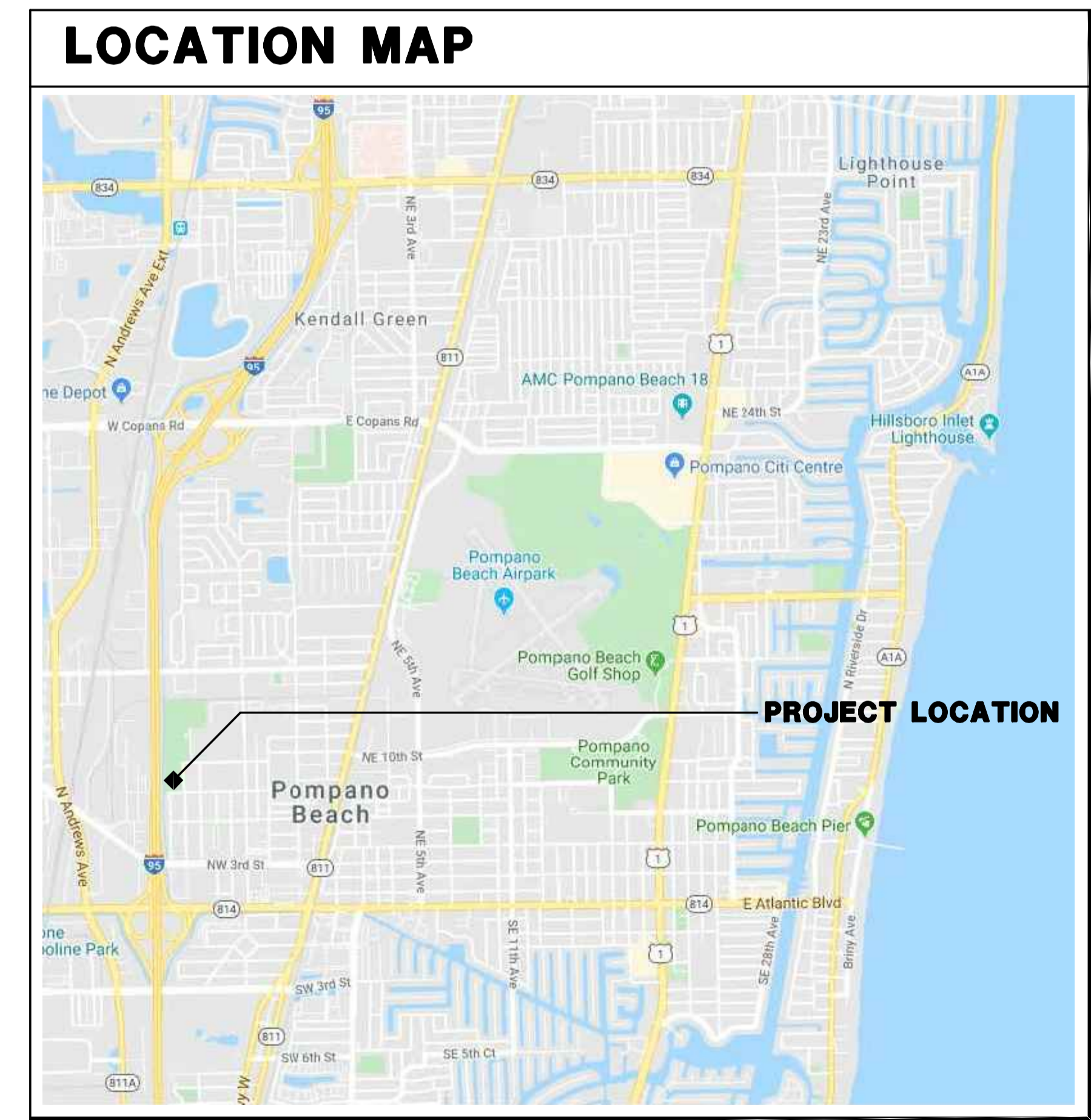
Abbas H. Zackria, FL AR 91520
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MITCHELL MOORE PARK IMPROVEMENTS

901 NW 10th STREET
POMPANO BEACH, FL 33060

POMPANO BEACH PROJECT NO. 19367
WZA PROJECT NO. 1907



POMPANO BEACH CITY COMMISSION

Mayor REX HARDIN	Mayor at Large
Vice Mayor BARRY MOSS	District 5
Commissioner ANDREA McGEE	District 1
Commissioner RHONDA EATON	District 2
Commissioner TOM McMAHON	District 3
Commissioner BEVERLY PERKINS	District 4
GREG HARRISON	City Manager

DESIGN TEAM

ARCHITECT	WALTERS-ZACKRIA ASSOCIATES 5813 N. ANDREWS WAY FORT LAUDERDALE, FLORIDA 33309 Ph: (954) 522-4123 Fax: (954) 522-4128
CIVIL ENGINEERING:	IBI GROUP 1100 PARK CENTRAL BLVD S, SUITE 3500 POMPANO BEACH, FLORIDA 33064 Ph: (954) 974-2200
MEP ENGINEERING:	DELTA G CONSULTING ENGINEERS INC. 707 NE 3 AVENUE #200 FORT LAUDERDALE, FL 33304 Ph: (954) 527-1112 Fax: (954) 524-7505

**CITY OF POMPANO BEACH
MITCHELL MOORE PARK
IMPROVEMENTS
861 NW 9TH AVENUE
POMPANO BEACH, FL, 33060**

DRAWN BY: JA
CHECKED BY: GD
DATE: 06/05/2020
REVISIONS:

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PROJECT INFORMATION

PARCEL IDENTIFICATION NO. 4842 34 12 0090
 SITE ADDRESS: 861 NW 9 AVENUE, POMPANO BEACH FL 33060
 PROPERTY OWNER: CITY OF POMPANO BEACH
 LEGAL DESCRIPTION: REFER TO SURVEY
 YEAR BUILT: 1991
 ENTIRE PARK SITE AREA: 703,704 SQUARE FEET OR 16.2 ACRES
 AREA OF PROPOSED IMPROVEMENTS: 150,000 SQUARE FEET
 LAND USE: OR / RECREATIONAL OPEN SPACE
 ZONING: CF / COMMUNITY FACILITIES
 FLOOD ZONE: FEMA FLOOD ZONE X

CODE INFORMATION

CLASSIFICATION OF WORK: ALTERATION - LEVEL 1 COMPLYING W/ CHAPTER 7 FBC - EXISTING BUILDINGS 2017 (SIXTH EDITION)
 BUILDING CODE: TO THE BEST OF OUR KNOWLEDGE, ALL EXISTING CONDITIONS COMPLY WITH CODES IN EFFECT AT THE TIME OF CONSTRUCTION. THE PROPOSED SCOPE OF NEW WORK IS LIMITED TO EXTERIOR IMPROVEMENTS OF THE EXISTING FIELDS AND ALL WORK SHALL COMPLY WITH FLORIDA BUILDING CODE 2017 (SIXTH EDITION) AND THE FLORIDA FIRE PREVENTION CODE 2015 (SIXTH EDITION), INCLUDING NFPA 101 LIFE SAFETY CODE.
 TYPE OF CONSTRUCTION: NOT APPLICABLE FOR THIS PROJECT
 OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-5

GENERAL NOTES

- GENERAL CONTRACTOR SHALL BE FAMILIAR WITH THE SITE & VERIFY ALL EXISTING UTILITY SERVICE LOCATIONS IN ALL AREAS INCLUDED IN THE SCOPE OF WORK PRIOR TO COMMENCING CONSTRUCTION.
- ANY EXISTING ITEMS THAT ARE DISTURBED, DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE REPLACED WITH NEW OR REPAIRED TO THE OWNERS SATISFACTION AND LIKE NEW CONDITION.
- DO NOT DISTURB ANY STRUCTURAL COMPONENTS OF EXISTING BUILDINGS, UNLESS OTHERWISE DIRECTED IN THE DOCUMENTS WITHOUT PRIOR WRITTEN APPROVAL BY ARCHITECT.
- PROTECT ALL EXISTING UTILITIES FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION. ANY UTILITIES ACCIDENTALLY DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AT CONTRACTOR'S EXPENSE
- EACH CONTRACTOR SHALL USE ALL POSSIBLE CARE TO PROTECT ALL EXISTING MATERIALS, SURFACES, AND FURNISHINGS FROM DAMAGE DURING ALL PHASES OF CONSTRUCTION.
- ALL UNANTICIPATED AND UNFORESEEN DEMOLITION AND OR NEW CONSTRUCTION CONDITIONS WHICH REQUIRE DEVIATION FROM THE PLANS AND NOTES HEREIN SHALL BE REPORTED TO THE ARCHITECT, IN WRITING, AND APPROVAL SOUGHT PRIOR TO COMMENCING SAID WORK PER CONTRACT.
- ARCHITECT SHALL NOT BE LIABLE FOR PROBLEMS RELATING TO EXISTING CONDITIONS. NOTIFY ARCHITECT, IN WRITING, IMMEDIATELY IF PROBLEMS ARISE.
- ALL NEW MATERIAL AND/OR PATCHWORK SHALL BE PROVIDED TO MATCH EXISTING MATERIALS AND/OR ADJOINING WORK WHERE PRACTICAL, EXCEPT AS SPECIFICALLY NOTED HEREIN.
- UNLESS NOTED OTHERWISE, THE CONTRACTOR SHALL FURNISH WRITTEN GUARANTEES FOR ALL TRADES FOR A MINIMUM OF ONE YEAR FROM DATE OF SUBSTANTIAL COMPLETION. DEFECTIVE MATERIALS OR WORKMANSHIP SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- GENERAL CONTRACTOR IS TO THOROUGHLY REVIEW ALL DRAWINGS AND PROVIDE OVERVIEW TO ALL TRADES. ALL SUBCONTRACTORS ARE TO REVIEW ALL DRAWING SHEETS - GENERAL CONTRACTOR TO PROVIDE COMPLETE SETS OF PLANS TO ALL SUBCONTRACTORS FOR REVIEW. ITEMS SHOWN ON ARCHITECTURAL DRAWINGS ARE REQUIRED TO BE COMPLETELY INSTALLED REGARDLESS IF THEY ARE NOT SPECIFICALLY DESIGNATED ON ELECTRICAL, MECHANICAL, PLUMBING, CIVIL OR STRUCTURAL ENGINEERING DRAWINGS. GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL REQUIRED ITEMS WITH ALL SUBCONTRACTORS AND THROUGHOUT ALL PHASES OF CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE W/ ALL APPLICABLE NATIONAL, STATE, COUNTY & LOCAL CODES AND ORDINANCES. WORK SHALL BE DONE IN A WORKMANLIKE MANNER AS PER STANDARD BUILDING TECHNIQUES AND PRACTICES.
- GENERAL CONTRACTOR IS RESPONSIBLE TO FILE AND OBTAIN THE BUILDING DEPARTMENT PERMIT. OWNER SHALL REIMBURSE THE PERMIT FEES.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR ALL SAFETY CONDITIONS PER OSHA AND ALL STATE AND LOCAL REGULATIONS RELATING TO JOB CONSTRUCTION.
- GENERAL CONTRACTOR TO BE RESPONSIBLE FOR ALL HOISTING RELATED TO WORK IN THIS CONTRACT.
- GENERAL CONTRACTOR IS TO VISIT THE SITE AND CAREFULLY INSPECT THE EXISTING CONDITIONS AFFECTING THE WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS MUST BE REPORTED TO ARCHITECT IN WRITING.
- GENERAL CONTRACTOR IS TO MAINTAIN A CLEAN JOBSITE AND SHALL CONTAIN DIRT, DEBRIS AND DUST WITHIN THE IMMEDIATE AREA OF WORK.
- GENERAL CONTRACTOR SHALL PROTECT THE WORK AREA AGAINST ENTRY BY UNAUTHORIZED PERSONNEL AND THE PUBLIC, IN GENERAL. PROVIDE TEMPORARY ENCLOSURE TO SECURE THE AREA AFTER WORK HOURS.

SCOPE OF WORK

THE SCOPE OF WORK FOR THE PROJECT INCLUDES THE FOLLOWING IMPROVEMENTS TO THE SPORTS FIELDS AT THE SOUTH END OF THE EXISTING PARK:

- PROVIDE A NEW SYNTHETIC TURF AND INFILL SYSTEM AT SAME AREA AS THE NATURAL GRASS PLAYING FIELDS; PREPARE SUB-GRADE AS NECESSARY AND PROVIDE NEW COMPACTED STONE BASE. THIS AREA IS WITHIN THE EXISTING CHAIN LINK BACKSTOPS AND FENCE ENCLOSURE AND CONSISTS OF ONE MULTIPURPOSE FOOTBALL / SOCCER FIELD AND TWO BASEBALL FIELDS WHERE THE OUTFIELD OVERLAPS THE MULTIPURPOSE FIELD. PROVIDE AN 8'-0" WIDE WARNING TRACK BETWEEN THE SYNTHETIC TURF AND EXISTING CHAIN LINK ENCLOSURE AT THE PERIMETER OF THE FIELDS.
- PROVIDE NEW REMOVABLE GOALS / UPRIGHTS AT BOTH ENDS OF MULTIPURPOSE FIELD; MUST BE REMOVABLE TO ELIMINATE HAZARD IN THE BASEBALL OUTFIELDS.
- PROVIDE NEW LED SPORTS LIGHTING HEADS ON EXISTING CONCRETE POLES.
- REPLACE EXISTING MULTIPURPOSE SCOREBOARD W/ NEW DIGITAL SCOREBOARD WITH NEW GALVANIZED STEEL PIPE SUPPORTS AND CONCRETE FOUNDATIONS. PROVIDE ALL HARDWARE TO ATTACH SCOREBOARD TO SUPPORTS AND ALL WIRING TO ELECTRIFY. NEW SCOREBOARD TO BE AT APPROXIMATELY SAME LOCATION AS EXISTING.
- RESTORE EXISTING ALUMINUM BLEACHES ON THE EXISTING CONCRETE PADS PROVIDED AT THE SOUTH BASEBALL FIELD.
- PROVIDE NEW 6'-0" HIGH POWDER COATED STEEL FENCE WITH GATES AT EDGE OF PARK TO CONTROL ACCESS AND CLOSE PARK AS NECESSARY. FENCE SHALL HAVE REINFORCED MASONRY COLUMNS W/ STUCCO FINISH AND SHALL BE SIMILAR IN DESIGN TO THE PERIMETER FENCE AT THE CITY OF POMPANO BEACH COMMUNITY PARK, WHICH IS CONSIDERED "CITY STANDARD".
- VERY LIMITED SECTIONS OF NEW CONCRETE SIDEWALK SHALL BE PROVIDED TO IMPROVE ACCESS AND CIRCULATION AROUND THE SITE.

OTHER MISCELLANEOUS IMPROVEMENTS AS BUDGET PERMITS

- TRANSPORTABLE BLEACHERS; SEE GENERAL NOTE 6 ON SHEET NO. A1.00
- SHADING AT PERMANENT BLEACHERS AT BASEBALL FIELDS; SEE GENERAL NOTE 4 ON SHEET NO. A1.00
- REMOVABLE FENCE AT EAST END OF FOOTBALL FIELD IF SPECTATORS ARE PERMITTED ON THE TURF FIELD; SEE GENERAL NOTE 7 ON SHEET NO. A1.00
- REMOVABLE FENCE FOR BASEBALL OUTFIELD; REFER TO GENERAL NOTE 5 ON SHEET NO. A1.00 IF THE CITY IS INTERESTED, AND FUNDING IS AVAILABLE.
- OUTDOOR FITNESS EQUIPMENT; THIS SCOPE SHALL BE DEVELOPED WITH THE CITY IF FUNDING IS AVAILABLE.

DRAWING INDEX

GENERAL INFORMATION

A0.00 COVER SHEET
 A0.01 DRAWING INDEX AND NOTES
 A0.02 CONSTRUCTION SCOPE PLAN
 A0.05 CPTED CONCEPTUAL PLAN
 SHEET 1 OF 3 SURVEY NOTES, LEGAL DESCRIPTION AND GENERAL INFORMATION
 SHEET 2 OF 3 SURVEY SOUTHERN PORTION
 SHEET 3 OF 3 SURVEY NORTHERN PORTION

CIVIL ENGINEERING

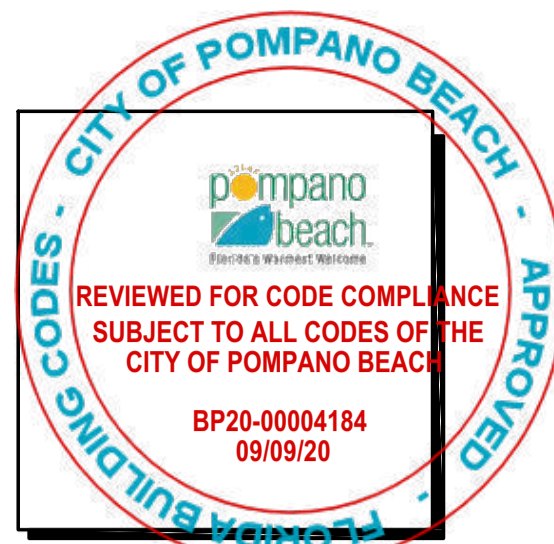
C1.0 PAVING, GRADING & DRAINAGE PLAN
 C1.1 PAVING, GRADING & DRAINAGE TYPICAL SECTIONS AND DETAILS
 C1.2 PAVING, GRADING & DRAINAGE DETAILS
 C2.0 EROSION CONTROL PLAN

ARCHITECTURAL

A0.10 SITE PLAN - DEMOLITION
 A1.00 SITE PLAN - PROPOSED
 A1.10 FIELD LAYOUT PLAN
 A1.11 TURF DRAINAGE INFORMATION
 A2.10 MISCELLANEOUS DETAILS

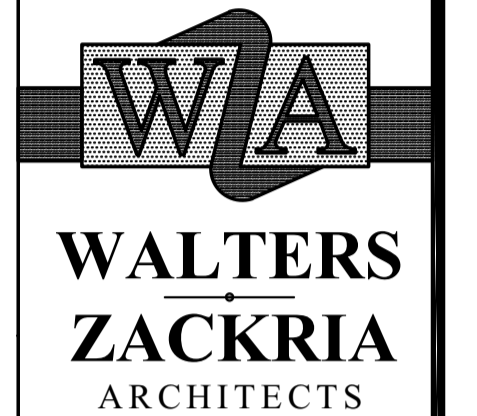
ELECTRICAL ENGINEERING

E1.00 INDEX, SYMBOL, LEGEND AND NOTES
 E2.00 PROPOSED SITE PLAN - ELECTRICAL
 E3.00 PROPOSED SITE PLAN - PHOTOMETRICS
 E4.00 ELECTRICAL DETAILS



Abbas H
Zackria

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 ou=A01427E00000167A29D317300
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5813 N. ANDREW'S WAY,
 FORT LAUDERDALE, FL 33309
 PHONE: (954) 522-4123
 FAX: (954) 522-4128
 www.wza-architects.com

Abbas H. Zackria, FL AR 91520
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CITY OF POMPANO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPANO BEACH, FL, 33060

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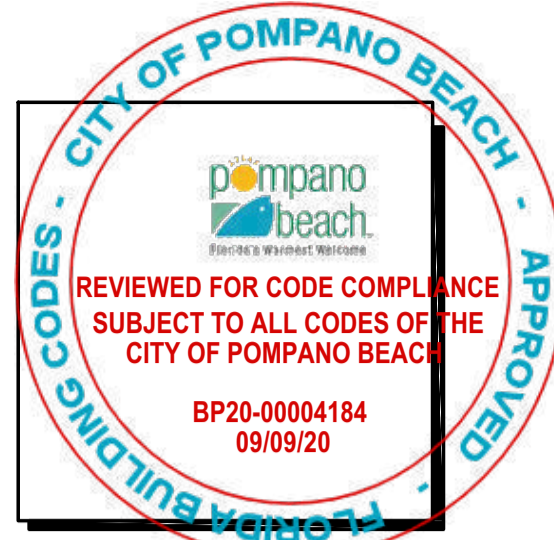
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DRAWING INDEX AND NOTES



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**CITY OF POMPAÑO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPAÑO BEACH, FL, 33060**

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CONSTRUCTION SCOPE PLAN

GENERAL NOTES:

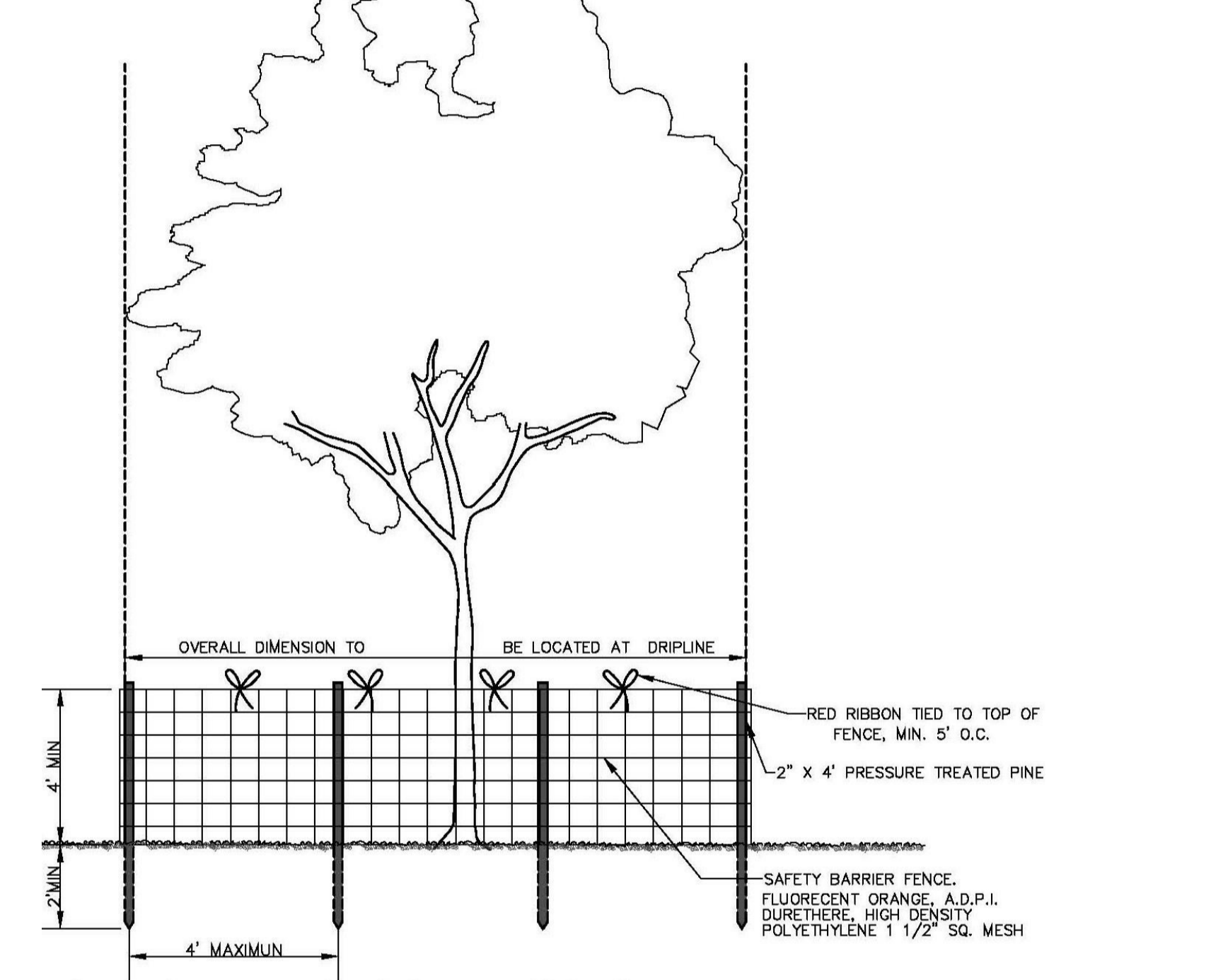
1. THE NEW 6 FEET HIGH STEEL FENCE WITH CONCRETE COLUMN TO SECURE THE SITE IS PROPOSED BETWEEN THE PROPERTY LINE AND THE EXISTING SIDEWALK AT THE EAST AND SOUTH SIDES OF THE SITE. THIS LOCATION IS PROPOSED IN AN EFFORT TO AVOID CONFLICTS WITH EXISTING TREES AND OTHER EXISTING CONDITIONS AROUND THE PERIMETER OF THE PARK. THE SOLUTION HAS BEEN DISCUSSED WITH CITY OF POMPAÑO BEACH PROJECT REPRESENTATIVES AND WE WILL ASSIST THE CITY TO PROCURE PERMISSION FROM CITY AGENCIES FOR THE ENCRoACHMENT INTO THE RIGHT-OF-WAY.
2. THE INTENT IS THAT THE PROPOSED 6 FEET HIGH FENCE AT THE NORTH, EAST AND SOUTH SIDES IS CONSTRUCTED FIRST, AND TOGETHER WITH THE EXISTING 6 FEET HIGH CHAIN LINK FENCE ALONG THE WEST SIDE WILL PROVIDE A SECURE CONSTRUCTION SITE. NO TURF FIBER SHALL BE DELIVERED OR INSTALLED UNTIL THE FENCE IS IN PLACE.
3. THE STAGING AREA FOR THE PROJECT SHALL BE ON THE SAME FOOTPRINT AS THE PROPOSED WORK AREA. CONSTRUCTION MANAGER SHALL ARRANGE OTHER SPACE, IF REQUIRED WITH THE CITY'S PROJECT MANAGER.
4. THE PROJECT AREA DEALS WITH REPLACEMENT OF THE NATURAL TURF WITH A NEW SYNTHETIC TURF FIELD AND THERE ARE NO TREES IN THIS AREA. THERE IS ALSO A CLEAR PATHS THAT LEAD TO THE FIELD. THE CONTRACTOR SHALL USE CARE TO PROTECT ALL EXISTING TREES OUTSIDE THE PERIMETER OF THE WORK ZONE AND DURING THE INSTALLATION OF THE NEW PERIMETER FENCE.
5. CONTRACTOR SHALL COORDINATE THE LOCATION OF TEMPORARY TOILET FACILITIES WITH THE PARKS AND RECREATION DEPARTMENT STAFF ON THE PREMISES.

TEMPORARY SIGNAGE COPY: CONTRACTOR SHALL PROVIDE ALL NECESSARY SIGNAGE TO PROTECT THE PUBLIC AND WORKERS

1. SIDEWALK CLOSED USE OPPOSITE SIDE OF STREET
2. CONSTRUCTION ACCESS ONLY
3. NO TRESPASSING CONSTRUCTION AREA VIOLATORS WILL BE PROSECUTED

TREE PROTECTION DETAIL

NOT TO SCALE



NOTE: BARRIER TO FORM CONTINUOUS FROM AROUND THE TREE OR GROUP OF TREES.

NOTE:
 CONTRACTOR SHALL DETERMINE TREES TO BE PROTECTED WHILE INSTALLING NEW PERIMETER FENCE AND TO PROTECT TREES IN CLOSE PROXIMITY TO CONSTRUCTION ACCESS POINT.
 BARRIER TO FORM A CONTINUOUS BARRIER AROUND THE TREE OR GROUP OF TREES TO BE PROTECTED.

PROPOSED SITE PLAN LEGEND:

- PROJECT AREA
- CONSTRUCTION STAGING AREA
- EXISTING OCCUPIED BUILDINGS SURROUNDING THE PROJECT AREA
- LINE OF PROPOSED 6 FEET HIGH PERMANENT FENCE AT PERIMETER OF FIELDS
- NEW SPORTS LIGHTING HEADS ON EXISTING CONCRETE POLES
- TEMPORARY SIGNAGE LOCATION
- SITE ACCESS POINTS

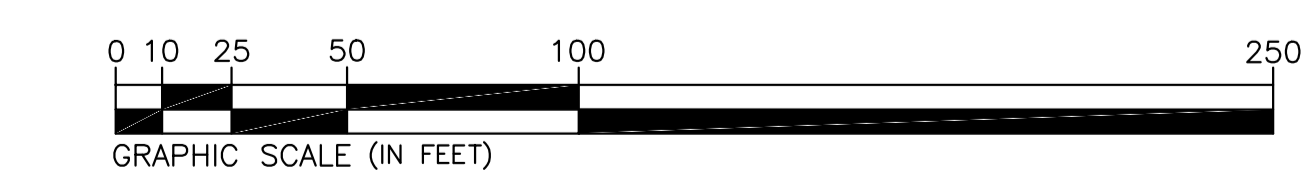
EXISTING COMMUNITY CENTER, AQUATICS COMPLEX, PLAYGROUND AND COURTS SHALL REMAIN OPEN AND ACCESSIBLE TO THE PUBLIC DURING THE ENTIRE CONSTRUCTION PERIOD

PARKING AREA FOR CONSTRUCTION PERSONNEL

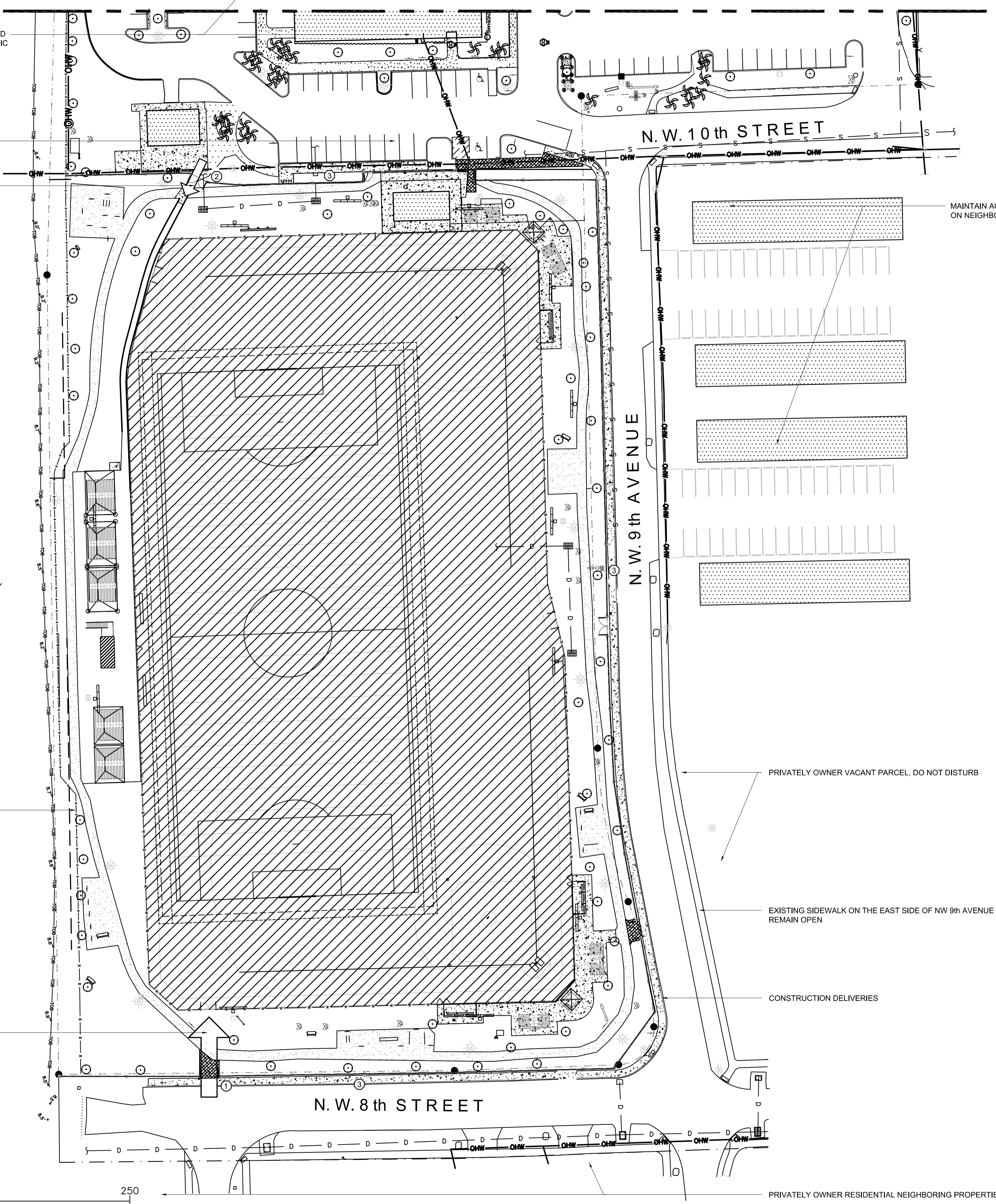
CONSTRUCTION PERSONNEL PEDESTRIAN ENTRANCE TO SITE

LINE OF EXISTING 6 FEET HIGH CHAIN LINK FENCE AT PROPERTY LINE BETWEEN PARK AND I-95 RIGHT-OF-WAY

EQUIPMENT AND HEAVY MACHINERY ACCESS TO PROJECT AREA, RESTORE ALL PATHWAYS, SIDEWALKS, GROUND SURFACES, ETC. UPON COMPLETION OF PROPOSED WORK



1 CONSTRUCTION SCOPE PLAN
 SCALE: 1" = 40'-0"



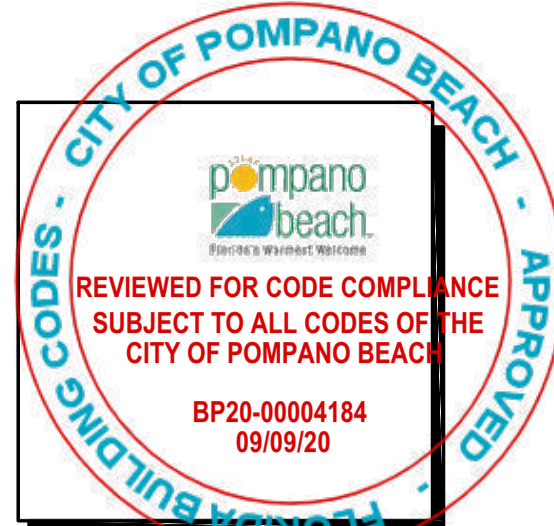
MAINTAIN ACCESS TO EXISTING OCCUPIED APARTMENT BUILDINGS ON NEIGHBORING PROPERTY

PRIVATELY OWNER VACANT PARCEL, DO NOT DISTURB

EXISTING SIDEWALK ON THE EAST SIDE OF NW 9th AVENUE TO REMAIN OPEN

CONSTRUCTION DELIVERIES

PRIVATELY OWNER RESIDENTIAL NEIGHBORING PROPERTIES



Abbas H
Zackria

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DN: c=US, o=WALTERS ZACKRIA ASSOCIATES PLLC,
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WZA
**WALTERS
ZACKRIA
ARCHITECTS**
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**CITY OF POMPANO BEACH
MITCHELL MOORE PARK
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POMPANO BEACH, FL, 33060**

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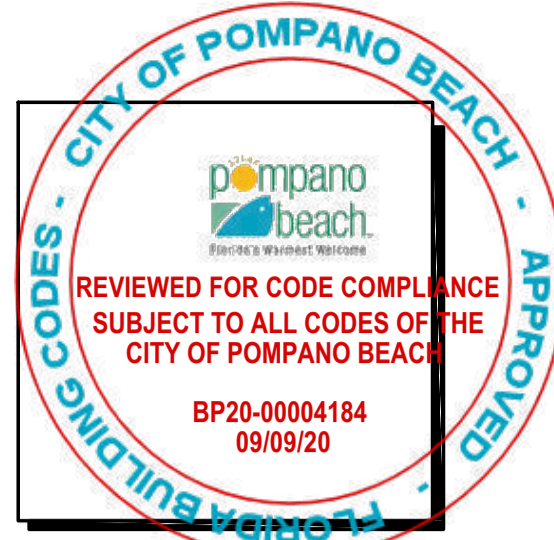
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CPTD CONCEPT PLAN



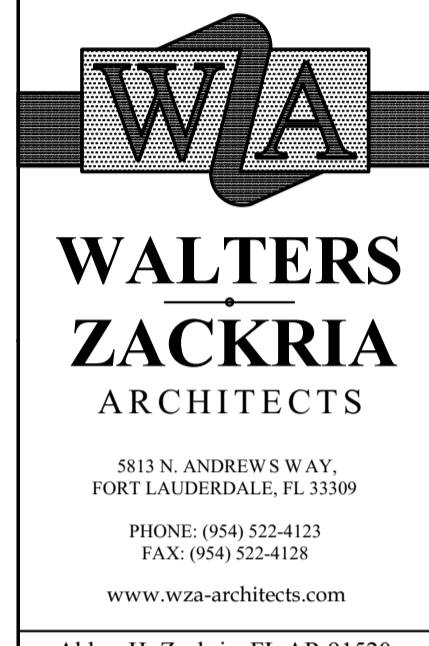
MITCHELL MOORE PARK
CPTD NARRATIVE
THE SCOPE OF WORK IS LIMITED TO PORTION OF THE EXISTING PARK AND PRIMARILY INVOLVES REPLACEMENT OF EXISTING TURF SURFACE AND REPLACEMENT OF EXISTING SPORTS LIGHTING FIXTURES TO IMPROVE THE ILLUMINATION LEVELS ON THOSE FIELDS TO CREATE A SAFER ENVIRONMENT FOR THE ATHLETES.
EXISTING SIDEWALKS, PATHWAYS AND SITE LIGHTING TO REMAIN AROUND THESE SPORTS FIELDS AND A NEW FENCE ENCLOSURE IS PROPOSED AROUND THE PERIMETER OF THE RENOVATED AREA TO LIMIT ACCESS AND SECURE THE AREA AFTER THE PARK HAS CLOSED.
THE FOLLOWING TEXT ATTEMPTS TO DESCRIBE HOW EACH OF THE 5 CPTD PRINCIPLES WILL BE ADDRESSED.

- 1. NATURAL SURVEILLANCE**
THE SITE WILL REMAIN FLAT, NO ADDITIONAL LANDSCAPE WILL BE PART OF THIS SCOPE. THE AREA IS ADJACENT TO EXISTING ROADWAYS, AND THE EXISTING PATHWAYS ARE CURRENTLY ILLUMINATED BY EXISTING SITE LIGHTING FIXTURES ON POLES. NATURAL SURVEILLANCE INTO THE SITE REMAINS UNCHANGED COMPARED TO THE EXISTING CONDITION; A LARGE PART OF THE ADJACENT NEIGHBORING PROPERTY REMAINS UNDEVELOPED AND CAN IMPROVE SURVEILLANCE AS THOSE PARCELS BECOME OCCUPIED.
WE UNDERSTAND THE CITY OF POMPANO BEACH IS WORKING ON PROCUREMENT OF VIDEO SURVEILLANCE IN THE PARKS WHICH WILL ALSO COMPLEMENT THIS PRINCIPLE.
- 2. NATURAL ACCESS CONTROL**
THE FIELD IS CURRENTLY ENCLOSED BY A CHAIN LINK BACKSTOP AROUND THE BASEBALL FIELDS AT THE TWO CORNERS AND A 48" HIGH CHAIN LINK FENCE AROUND THE REMAINDER OF THE FIELD. THE FIELD IS EASILY ACCESSIBLE FROM ALL SIDES, EXCEPT THE WEST WHERE IT IS BORDERED BY THE I-95 RIGHT-OF-WAY AND SEPARATED BY A 72" HIGH CHAIN LINK FENCE.
WE ARE PROPOSING A NEW 72" HIGH POWDER COATED STEEL FENCE INSIDE THE SIDEWALK AT THE NORTH, EAST AND SOUTH SIDES OF THE SITE. ENTRANCE GATES WILL BE PLACED AT A COUPLE LOCATIONS AROUND THE PERIMETER TO CONTROL ACCESS INTO THE SITE, AND THE ENCLOSURE HELPS TO SECURE THE SITE AFTER PARK HOURS.
- 3. TERRITORIAL REINFORCEMENT**
THE SITE IS A PUBLIC PARK AND USE IS ENCOURAGED BY THE CITIZENS AND GUESTS TO POMPANO BEACH. THE EXISTING SIDEWALKS AND PROPOSED FENCE ENCLOSURE WILL CLEARLY DEFINE THE LIMITS OF THESE SPORTS FIELDS. A STAFFED PARKS MANAGEMENT OFFICE IS LOCATED ON THE PREMISES AND MAINTENANCE OF THE PROPERTY IS AN ONGOING OPERATION.
- 4. MAINTENANCE**
THE PARK HAS BEEN IN USE AND HAS BEEN WELL MAINTAINED FOR SEVERAL YEARS. THE NATURAL TURF HAS ITS LIMITS WHICH AFFECT THE FREQUENCY OF EVENTS IT CAN HOST AND REQUIRES A GREAT LEVEL OF CARE AND COSTS TO MAINTAIN. THE SPORTS LIGHTING IS FUNCTIONAL, HOWEVER THE LIGHTING LEVELS ARE WELL BELOW SAFETY STANDARDS. THE PROPOSED IMPROVEMENTS WILL REQUIRE LESS MAINTENANCE FOR THE DEDICATED AND PROFESSIONALLY MANAGED STAFF TO PROPERLY MAINTAIN THE GROUNDS.
- 5. ACTIVITY SUPPORT**
THE NEW ENCLOSURE AROUND THIS AREA OF THE PARK HELPS TO DETER CRIMINAL AND UNDESIRABLE ACTIVITIES. ATHLETES AND SPECTATORS WILL HAVE A HIGHER SENSE OF COMFORT AND SAFETY.



Abbas H Zackria

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Abbas H. Zackria, FL AR 91520
 Florida Registration: AA26009970
 CORPORATE NAME: WALTERS ZACKRIA ASSOCIATES, PLLC, REGISTERED IN THE STATE OF FLORIDA. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THESE DRAWINGS ARE THE PROPERTY OF WALTERS ZACKRIA ASSOCIATES, PLLC, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM A PRINCIPAL OF THE FIRM OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.

**CITY OF POMPANO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPANO BEACH, FL, 33060**

DRAWN BY: JA
 CHECKED BY: GD
 DATE: 06/05/2020

REVISIONS:
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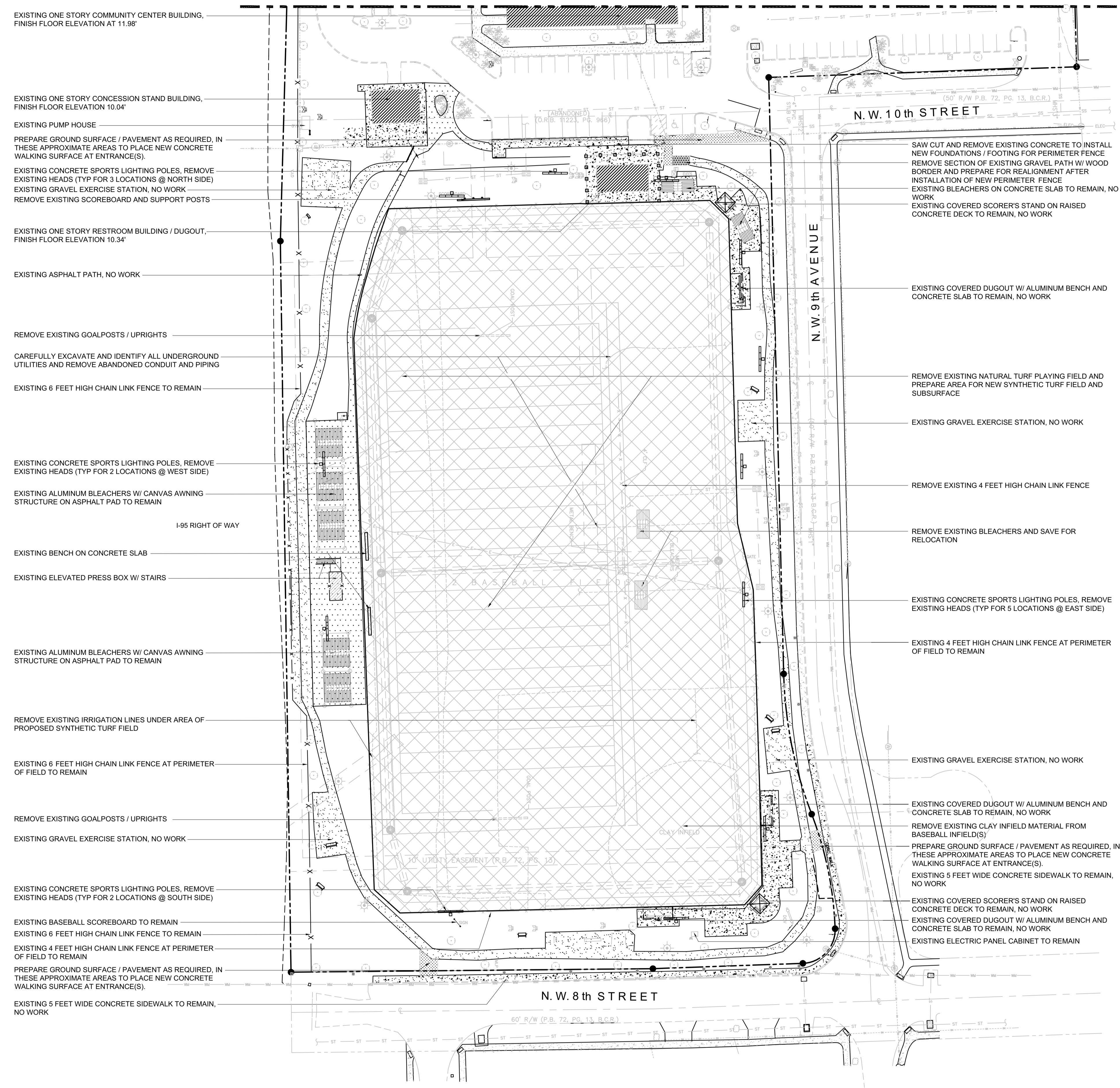
DEMOLITION SITE PLAN

GENERAL DEMOLITION NOTES:

1. CONTRACTOR SHALL OBTAIN AND PAY ALL FEES FOR PERMITS AND INSPECTIONS AS REQUIRED BY CODE, APPLICABLE LAWS OR GOVERNING AGENCIES IN CONNECTION WITH DEMOLITION WORK, REMOVAL AND DISPOSAL OF DEBRIS, ETC.
2. DEMOLISH AND REMOVE ALL SURFACES, MATERIALS, ETC. DESIGNATED FOR REMOVAL ON DEMOLITION PLAN. ADJACENT SURFACES TO BE PROTECTED AND PATCHED AS REQUIRED AND MADE READY TO RECEIVE NEW FINISHES OR TO MATCH EXISTING FINISHES.
3. ALL DEMOLITION TO BE PERFORMED BY MECHANICS SKILLED AND/OR LICENSED, IF REQUIRED, IN TRADES INVOLVED.
4. ELECTRICAL LINES TO BE PROPERLY CAPPED AS REQUIRED BY DEMOLITION.
5. REMOVE ALL LIGHT FIXTURES AS DESCRIBED ON THE DEMOLITION DRAWINGS; REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.
6. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ANY ADDITIONAL DEMOLITION AND REMOVALS AS REQUIRED BY SCOPE OF WORK OF CONTRACT DOCUMENTS.
7. CONTRACTOR TO PROVIDE BRACING AND SHORING IF NECESSARY TO SUPPORT EXISTING STRUCTURE DURING REMOVAL OF MEMBERS AND INSTALLATION OF NEW FRAMING.
8. CONTRACTOR ASSUMES RISK(S) REGARDING DAMAGE OR LOSS, WHETHER BY FIRE, THEFT OR OTHER CASUALTY TO DEMISED PREMISES AFTER CONTRACT IS SIGNED. NO SUCH DAMAGE OR LOSS WILL RELIEVE CONTRACTOR OF OBLIGATION TO COMPLETE WORK.
9. CONTRACTOR IS REQUIRED TO PATCH AND REPAIR ALL ADJACENT SURFACES AT SITE DAMAGED DURING DEMOLITION OR WITHIN THE BUILDING AS A RESULT OF DEBRIS REMOVAL.
10. CONTRACTOR TO TAKE CARE DURING DEMOLITION TO MAINTAIN EXISTING SERVICES. ANY DAMAGE TO ANY BUILDINGS, FURNISHINGS, PAVEMENT AND OTHER ELEMENTS TO BE CONTRACTOR'S RESPONSIBILITY.
11. DISPOSE OF DEMOLITION MATERIAL IN MANNER APPROVED BY GOVERNMENT REGULATIONS IMMEDIATELY FOLLOWING DEMOLITION UNLESS OTHERWISE INSTRUCTED.
12. PROVIDE ENVIRONMENTAL CONTROL FOR ALL DEMOLITION WORK AS REQUIRED.
13. ANY ITEMS NOTED "SAVE" TO BE REMOVED, NUMBERED, CATALOGUED FOR STORAGE AND PROTECTED FOR FUTURE USE / RELOCATION.
14. CONTRACTOR TO PROVIDE TEMPORARY TOILET FACILITIES TO BE USED BY DEMOLITION WORKERS DURING THE DURATION OF DEMOLITION. CONTRACTOR SHALL SUPPLY ALL NECESSARY PRODUCTS AND IS RESPONSIBLE FOR MAINTAINING A SANITARY ENVIRONMENT.
15. REMOVE ALL WIRING AND CONDUITS INTERFERING WITH DEMOLITION WORK. TERMINATE A JUNCTION BOX AT NEAREST WALL OR CEILING TO REMAIN.
16. CONTRACTOR SHALL COORDINATE LOCATION FOR DUMPSTER WITH THE OWNER.
17. CONTRACTOR SHALL PROTECT THE PROJECT SITE FROM ACCESS BY THE PUBLIC DURING WORK OPERATIONS AND AT THE END OF EACH WORK DAY. PROVIDE TEMPORARY BARRIERS AS REQUIRED UNTIL COMPLETION OF ALL WORK.
18. CONTRACTOR SHALL REMOVE ALL EXCESS EARTH MATERIALS FROM THE PREMISES TO PREPARE SUBGRADE FOR NEW SYNTHETIC TURF FIELD AND DRAINAGE SYSTEM.
19. SEE CIVIL AND MEP ENGINEERING DRAWINGS FOR ADDITIONAL INFORMATION.

DEMOLITION PLAN LEGEND:

- AREA OF EXISTING CONCRETE PAVEMENT TO REMAIN
- AREA OF EXISTING ASPHALT PAVEMENT
- AREA OF EXISTING GRAVEL GROUND SURFACE TO REMAIN
- AREA OF NATURAL TURF TO BE REMOVE AND PREPARE FOR NEW SYNTHETIC FIELDS
- EXISTING SPORTS LIGHTING ON CONCRETE POLES, REMOVE HEADS AND EXISTING POLES TO REMAIN
- EXISTING DRINKING FOUNTAIN
- AREA TO BE PREPARED TO PLACE NEW CONCRETE WALKING SURFACE



EXISTING ONE STORY COMMUNITY CENTER BUILDING, FINISH FLOOR ELEVATION AT 11.98'

EXISTING ONE STORY CONCESSION STAND BUILDING, FINISH FLOOR ELEVATION 10.04'

EXISTING PUMP HOUSE

PREPARE GROUND SURFACE / PAVEMENT AS REQUIRED, IN THESE APPROXIMATE AREAS TO PLACE NEW CONCRETE WALKING SURFACE AT ENTRANCE(S).

EXISTING CONCRETE SPORTS LIGHTING POLES, REMOVE EXISTING HEADS (TYP FOR 3 LOCATIONS @ NORTH SIDE)

EXISTING GRAVEL EXERCISE STATION, NO WORK

REMOVE EXISTING SCOREBOARD AND SUPPORT POSTS

EXISTING ONE STORY RESTROOM BUILDING / DUGOUT, FINISH FLOOR ELEVATION 10.34'

EXISTING ASPHALT PATH, NO WORK

REMOVE EXISTING GOALPOSTS / UPRIGHTS

CAREFULLY EXCAVATE AND IDENTIFY ALL UNDERGROUND UTILITIES AND REMOVE ABANDONED CONDUIT AND PIPING

EXISTING 6 FEET HIGH CHAIN LINK FENCE TO REMAIN

EXISTING CONCRETE SPORTS LIGHTING POLES, REMOVE EXISTING HEADS (TYP FOR 2 LOCATIONS @ WEST SIDE)

EXISTING ALUMINUM BLEACHERS W/ CANVAS AWNING STRUCTURE ON ASPHALT PAD TO REMAIN

I-95 RIGHT OF WAY

EXISTING BENCH ON CONCRETE SLAB

EXISTING ELEVATED PRESS BOX W/ STAIRS

EXISTING ALUMINUM BLEACHERS W/ CANVAS AWNING STRUCTURE ON ASPHALT PAD TO REMAIN

REMOVE EXISTING IRRIGATION LINES UNDER AREA OF PROPOSED SYNTHETIC TURF FIELD

EXISTING 6 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

REMOVE EXISTING GOALPOSTS / UPRIGHTS

EXISTING GRAVEL EXERCISE STATION, NO WORK

EXISTING CONCRETE SPORTS LIGHTING POLES, REMOVE EXISTING HEADS (TYP FOR 2 LOCATIONS @ SOUTH SIDE)

EXISTING BASEBALL SCOREBOARD TO REMAIN

EXISTING 6 FEET HIGH CHAIN LINK FENCE TO REMAIN

EXISTING 4 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

PREPARE GROUND SURFACE / PAVEMENT AS REQUIRED, IN THESE APPROXIMATE AREAS TO PLACE NEW CONCRETE WALKING SURFACE AT ENTRANCE(S).

EXISTING 5 FEET WIDE CONCRETE SIDEWALK TO REMAIN, NO WORK

SAW CUT AND REMOVE EXISTING CONCRETE TO INSTALL NEW FOUNDATIONS / FOOTING FOR PERIMETER FENCE

REMOVE SECTION OF EXISTING GRAVEL PATH W/ WOOD BORDER AND PREPARE FOR REALIGNMENT AFTER INSTALLATION OF NEW PERIMETER FENCE

EXISTING BLEACHERS ON CONCRETE SLAB TO REMAIN, NO WORK

EXISTING COVERED SCORER'S STAND ON RAISED CONCRETE DECK TO REMAIN, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

REMOVE EXISTING NATURAL TURF PLAYING FIELD AND PREPARE AREA FOR NEW SYNTHETIC TURF FIELD AND SUBSURFACE

EXISTING GRAVEL EXERCISE STATION, NO WORK

REMOVE EXISTING 4 FEET HIGH CHAIN LINK FENCE

REMOVE EXISTING BLEACHERS AND SAVE FOR RELOCATION

EXISTING CONCRETE SPORTS LIGHTING POLES, REMOVE EXISTING HEADS (TYP FOR 5 LOCATIONS @ EAST SIDE)

EXISTING 4 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

EXISTING GRAVEL EXERCISE STATION, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

REMOVE EXISTING CLAY INFILTRATION MATERIAL FROM BASEBALL INFILTRATION(S)

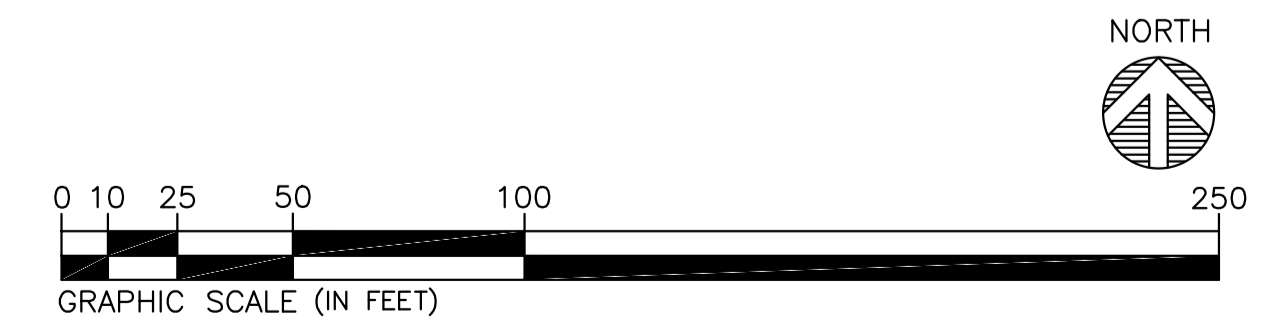
PREPARE GROUND SURFACE / PAVEMENT AS REQUIRED, IN THESE APPROXIMATE AREAS TO PLACE NEW CONCRETE WALKING SURFACE AT ENTRANCE(S).

EXISTING 5 FEET WIDE CONCRETE SIDEWALK TO REMAIN, NO WORK

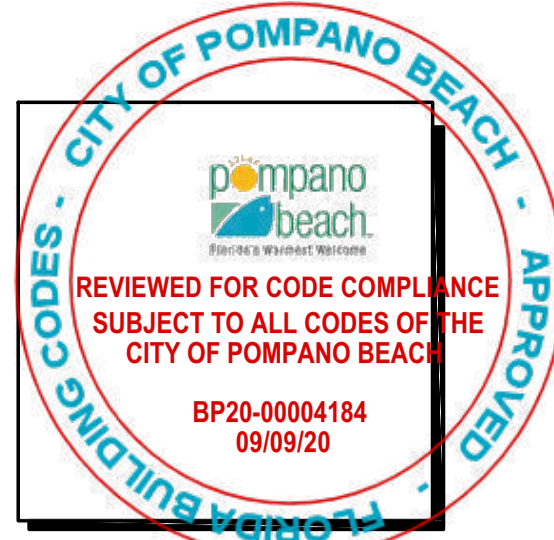
EXISTING COVERED SCORER'S STAND ON RAISED CONCRETE DECK TO REMAIN, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

EXISTING ELECTRIC PANEL CABINET TO REMAIN

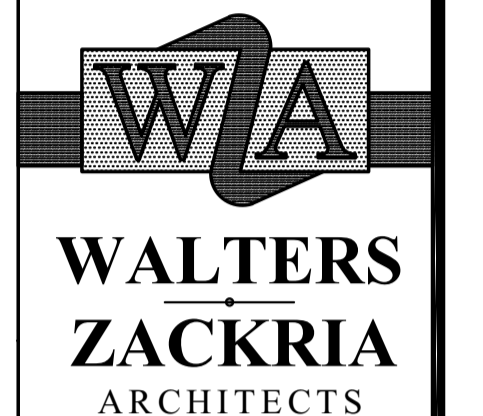


1 DEMOLITION SITE PLAN
 SCALE: 1" = 40'-0"



Abbas H Zackria

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 Date: 2020.06.05 12:43:32 -0400



8113 N. ANDREW'S WAY,
 FORT LAUDERDALE, FL 33309
 PHONE: (954) 522-4123
 FAX: (954) 522-4128
 www.wza-architects.com

Abbas H. Zackria, FL AR 91520
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**CITY OF POMPANO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
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DRAWN BY: JA
 CHECKED BY: GD
 DATE: 06/05/2020

REVISIONS:
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PROPOSED SITE PLAN

GENERAL NOTES:

- THE MAJORITY OF THE WORK SHALL BE PERFORMED WITHIN THE EXISTING 48" HIGH CHAIN LINK FENCE AT THE PERIMETER OF THE PLAYING FIELDS. PROTECT ALL OTHER ADJACENT AREAS AND RESTORE ANY DAMAGED PORTIONS UPON COMPLETION OF WORK.
- PARK FEATURES SURROUNDING THE NEW TURF FIELD AND WITHIN THE BOUNDARY OF THE NEW 6'-0" HIGH POWDER COATED STEEL FENCE, INSIDE THE SIDEWALK SHALL REMAIN CLOSED AND NOT ACCESSIBLE TO THE PUBLIC DURING THE CONSTRUCTION PERIOD.
- THE SOCCER GOAL / FOOTBALL GOALPOSTS ARE WITHIN THE PLAYING SURFACE OF THE BASEBALL OUTFIELDS; THESE SHALL BE REMOVABLE AND THE TOP OF THE SLEEVES EMBEDDED BELOW THE TURF SURFACE SHALL BE CAPPED AND COVERED WITH TURF MATERIAL.
- IDEALLY, THE EXISTING ALUMINUM BLEACHERS AT BOTH SIDES OF EACH BASEBALL FIELD SHALL BE COVERED WITH AN AWNING STRUCTURE SIMILAR TO THE EXISTING STRUCTURES THAT SHADE THE BLEACHER ALONG THE WEST SIDE FOOTBALL FIELD. PROVIDE AN ADD ALTERNATE TO PROVIDE NEW AWNING STRUCTURES, SIMILAR TO THE EXISTING, FOR THE 4 BANKS OF BLEACHERS AT THE BASEBALL FIELDS.
- THE EDGE OF THE BASEBALL OUTFIELD LINE OR "HOME RUN" LINE WILL BE MARKED ON THE TURF SURFACE BUT NO FENCE WILL BE PROVIDED IN THE BASE BID. PROVIDE AN ALTERNATE FOR EITHER OF THE FOLLOWING TO ACCOMMODATE A FUTURE FENCE FOR THE FIELDS:
 - PROVIDE 7 FEET HIGH REMOVABLE OUTFIELD FENCING SYSTEM SIMILAR TO SPECTO SYSTEMS BY GRAND SLAM SAFETY, LLC. ALONG THE LINE. THIS INCLUDES REMOVABLE, SLEEVED FOUL POLES AND A NETWORK OF POSTS W/ CABLE SUSPENDED MESH FENCING BETWEEN THE 2 FOUL POLES. THESE ARE ALL INSTALLED INTO SLEEVES, EMBEDDED INTO CONCRETE BELOW THE TURF SURFACE AND COVERED WITH A TURF COVERED CAP WHEN NOT IN USE.
 - INSTALL ONLY THE PERMANENT SLEEVES THAT ARE SET INTO THE GROUND AND UNDER THE NEW TURF W/ NEW CAPS IN THE FIRST STEP. TO AVOID TEARING UP THE FIELD IN FUTURE, THE REMOVABLE FENCING SYSTEM AND FOUL POLES CAN BE PURCHASED AT A FUTURE DATE AND INSTALLED INTO THE SLEEVES PROVIDED.
- THE TWO EXISTING 5 ROW BANKS OF ALUMINUM BLEACHERS THAT CURRENTLY SIT ALONG THE EAST EDGE OF THE FOOTBALL FIELD ARE BEING PROPOSED TO THEIR ORIGINAL LOCATION OUTSIDE THE BASEBALL FIELD AT THE SOUTHEAST CORNER. PROVIDE AN ALTERNATE TO ADD (2) FIVE ROW 21 FEET LONG TRANSPORTABLE BLEACHER UNITS, SIMILAR TO THOSE SUPPLIED BY THE PARK CATALOG.
- PROVIDE ADD ALTERNATE TO INCLUDE 300 LINEAR FEET OF 48" HIGH BASELINE FENCING ALONG THE EAST SIDE OF THE FOOTBALL FIELD, BETWEEN THE ATHLETES AND SPECTATORS ON THE MOVEABLE BLEACHERS. USE THE BASELINE FENCING SYSTEM SIMILAR TO THAT PROVIDED BY GRAND SLAM SAFETY, LLC.

SITE AREA BREAKDOWN:

	EXISTING CONDITION	POST IMPROVEMENTS
TOTAL SITE AREA	16.15ACRE / 703,703 SQ. FT. (100%)	16.15ACRE / 703,703 SQ. FT. (100%)
BUILDING AREA:	0.49 ACRE / 21,320 SQ. FT. (3%)	0.49 ACRE / 21,320 SQ. FT. (3%)
IMPERVIOUS AREA:	4.70 ACRE / 204,732 SQ. FT. (29%)	7.84 ACRES / 341,630 SQ. FT. (48.6%)
PERVIOUS AREA:	10.96 ACRE / 477,651 SQ. FT. (68%)	7.82 ACRES / 340,753 SQ. FT. (48.4%)

PROJECT AREA: 3.415 ACRES / 148,757 SQ. FT. (136,898 SQ. FT. SYNTHETIC TURF AREA / 11,859 SQ. FT. WARNING TRACK AREA)

PERVIOUS AREA EXCEEDS THE 20% MINIMUM REQUIREMENT FOR COMMUNITY FACILITIES ZONING DISTRICT IN ACCORDANCE WITH THE STANDARDS LISTED IN SECTION 155.3503 OF THE CITY OF POMPANO BEACH ZONING CODE.

PROPOSED SITE PLAN LEGEND:

- AREA OF EXISTING CONCRETE PAVEMENT TO REMAIN
- AREA OF EXISTING ASPHALT PAVEMENT
- AREA OF EXISTING GRAVEL GROUND SURFACE TO REMAIN
- AREA OF NATURAL TURF TO BE REMOVE AND PREPARE FOR NEW SYNTHETIC FIELDS
- AREA OF WARNING TRACK MIX AT PERIMETER OF NEW SYNTHETIC FIELDS
- AREA OF NEW CONCRETE WALKING SURFACE
- AREA OF NEW GRAVEL WALKING SURFACE
- NEW SPORTS LIGHTING HEADS ON EXISTING CONCRETE POLES
- GATE NUMBER
- EXISTING DRINKING FOUNTAIN

**Pompano Beach
 Fire Plan Review
 BP20-00004184
 9/9/2020**

EXISTING ONE STORY COMMUNITY CENTER BUILDING, FINISH FLOOR ELEVATION AT 11.98' (APPROXIMATELY 14,341 SQ. FT.)

EXISTING ONE STORY CONCESSION STAND BUILDING, FINISH FLOOR ELEVATION 10.04' (APPROXIMATELY 862 SQ. FT.)

EXISTING PUMP HOUSE

NEW SECTION OF CONCRETE SIDEWALK AT NEW GATES

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 3 LOCATIONS @ NORTH SIDE)

EXISTING GRAVEL EXERCISE STATION, NO WORK

PROVIDE NEW SCOREBOARD, INCLUDING FOUNDATIONS AND SUPPORTS, CONNECT TO EXISTING ELECTRIC SERVICE

EXISTING ONE STORY RESTROOM BUILDING / DUGOUT, FINISH FLOOR ELEVATION 10.34' (APPROXIMATELY 745 SQ. FT.)

EXISTING ASPHALT PATH, NO WORK

NEW REMOVABLE GOALPOSTS / UPRIGHTS, INCLUDING FOUNDATIONS

EXISTING 6 FEET HIGH CHAIN LINK FENCE TO REMAIN

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 2 LOCATIONS @ WEST SIDE)

EXISTING ALUMINUM BLEACHERS W/ CANVAS AWNING STRUCTURE ON ASPHALT PAD TO REMAIN

EXISTING BENCHES ON CONCRETE SLAB

EXISTING ELEVATED PRESS BOX W/ STAIRS

EXISTING ALUMINUM BLEACHERS W/ CANVAS AWNING STRUCTURE ON ASPHALT PAD TO REMAIN

EXISTING 6 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

NEW REMOVABLE GOALPOSTS / UPRIGHTS, INCLUDING FOUNDATIONS

EXISTING GRAVEL EXERCISE STATION, NO WORK

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 2 LOCATIONS @ SOUTH SIDE)

EXISTING BASEBALL SCOREBOARD TO REMAIN

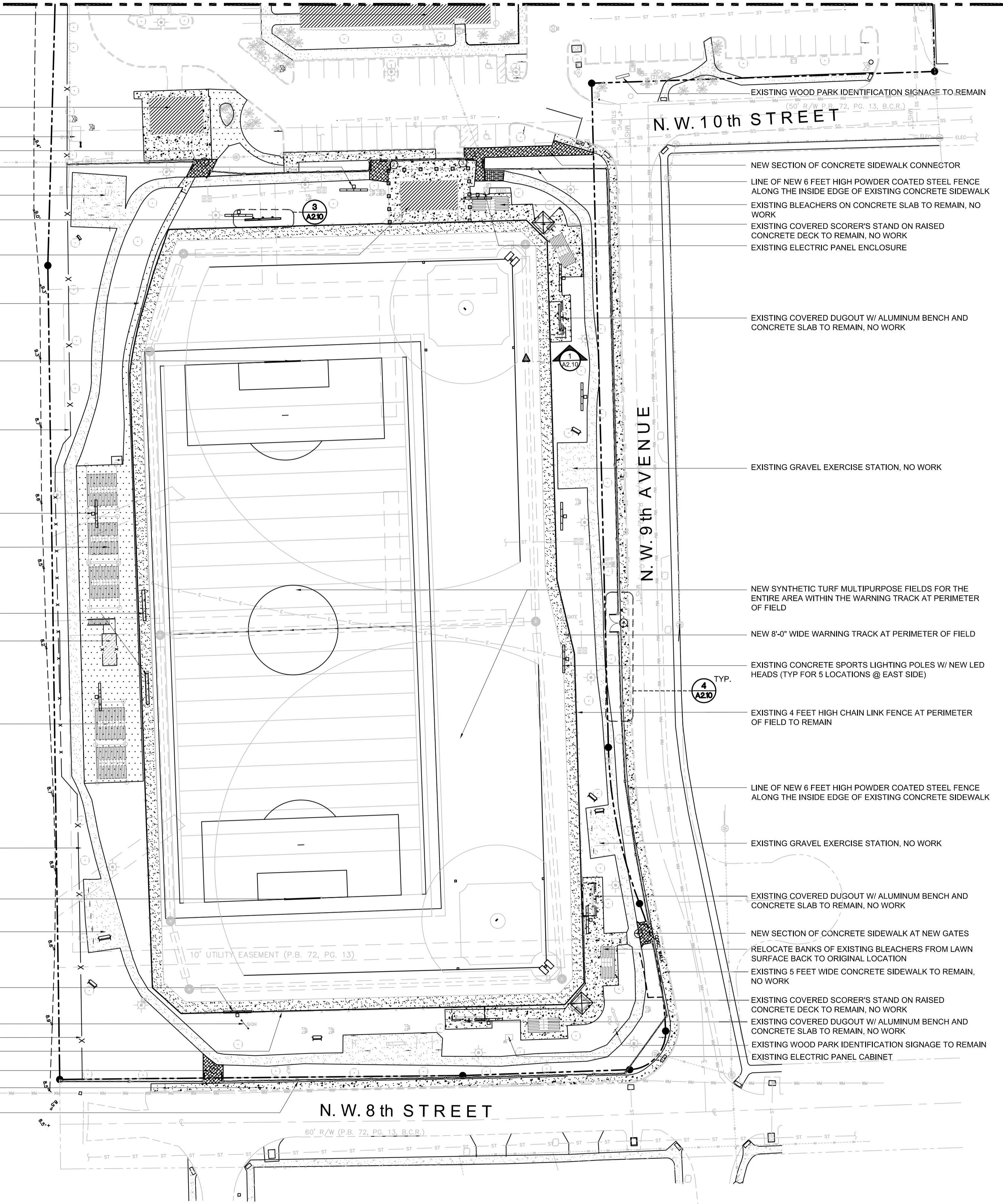
EXISTING 6 FEET HIGH CHAIN LINK FENCE TO REMAIN

EXISTING 4 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

NEW SECTION OF CONCRETE SIDEWALK AT NEW GATES

EXISTING 5 FEET WIDE CONCRETE SIDEWALK TO REMAIN, NO WORK

LINE OF NEW 6 FEET HIGH POWDER COATED STEEL FENCE ALONG THE INSIDE EDGE OF EXISTING CONCRETE SIDEWALK



EXISTING WOOD PARK IDENTIFICATION SIGNAGE TO REMAIN

N. W. 10th STREET

NEW SECTION OF CONCRETE SIDEWALK CONNECTOR

LINE OF NEW 6 FEET HIGH POWDER COATED STEEL FENCE ALONG THE INSIDE EDGE OF EXISTING CONCRETE SIDEWALK

EXISTING BLEACHERS ON CONCRETE SLAB TO REMAIN, NO WORK

EXISTING COVERED SCORER'S STAND ON RAISED CONCRETE DECK TO REMAIN, NO WORK

EXISTING ELECTRIC PANEL ENCLOSURE

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

EXISTING GRAVEL EXERCISE STATION, NO WORK

NEW SYNTHETIC TURF MULTIPURPOSE FIELDS FOR THE ENTIRE AREA WITHIN THE WARNING TRACK AT PERIMETER OF FIELD

NEW 8'-0" WIDE WARNING TRACK AT PERIMETER OF FIELD

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 5 LOCATIONS @ EAST SIDE)

EXISTING 4 FEET HIGH CHAIN LINK FENCE AT PERIMETER OF FIELD TO REMAIN

LINE OF NEW 6 FEET HIGH POWDER COATED STEEL FENCE ALONG THE INSIDE EDGE OF EXISTING CONCRETE SIDEWALK

EXISTING GRAVEL EXERCISE STATION, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

NEW SECTION OF CONCRETE SIDEWALK AT NEW GATES

RELOCATE BANKS OF EXISTING BLEACHERS FROM LAWN SURFACE BACK TO ORIGINAL LOCATION

EXISTING 5 FEET WIDE CONCRETE SIDEWALK TO REMAIN, NO WORK

EXISTING COVERED SCORER'S STAND ON RAISED CONCRETE DECK TO REMAIN, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

EXISTING WOOD PARK IDENTIFICATION SIGNAGE TO REMAIN

EXISTING ELECTRIC PANEL CABINET

N. W. 9th AVENUE

NEW SECTION OF CONCRETE SIDEWALK AT NEW GATES

RELOCATE BANKS OF EXISTING BLEACHERS FROM LAWN SURFACE BACK TO ORIGINAL LOCATION

EXISTING 5 FEET WIDE CONCRETE SIDEWALK TO REMAIN, NO WORK

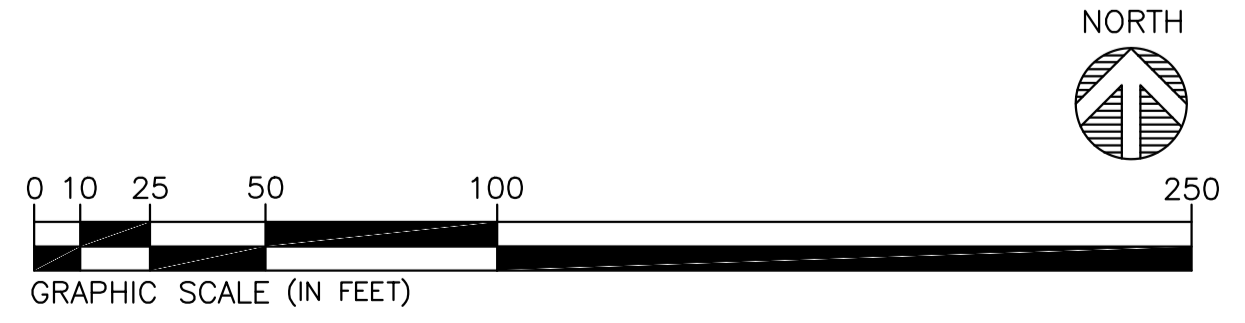
EXISTING COVERED SCORER'S STAND ON RAISED CONCRETE DECK TO REMAIN, NO WORK

EXISTING COVERED DUGOUT W/ ALUMINUM BENCH AND CONCRETE SLAB TO REMAIN, NO WORK

EXISTING WOOD PARK IDENTIFICATION SIGNAGE TO REMAIN

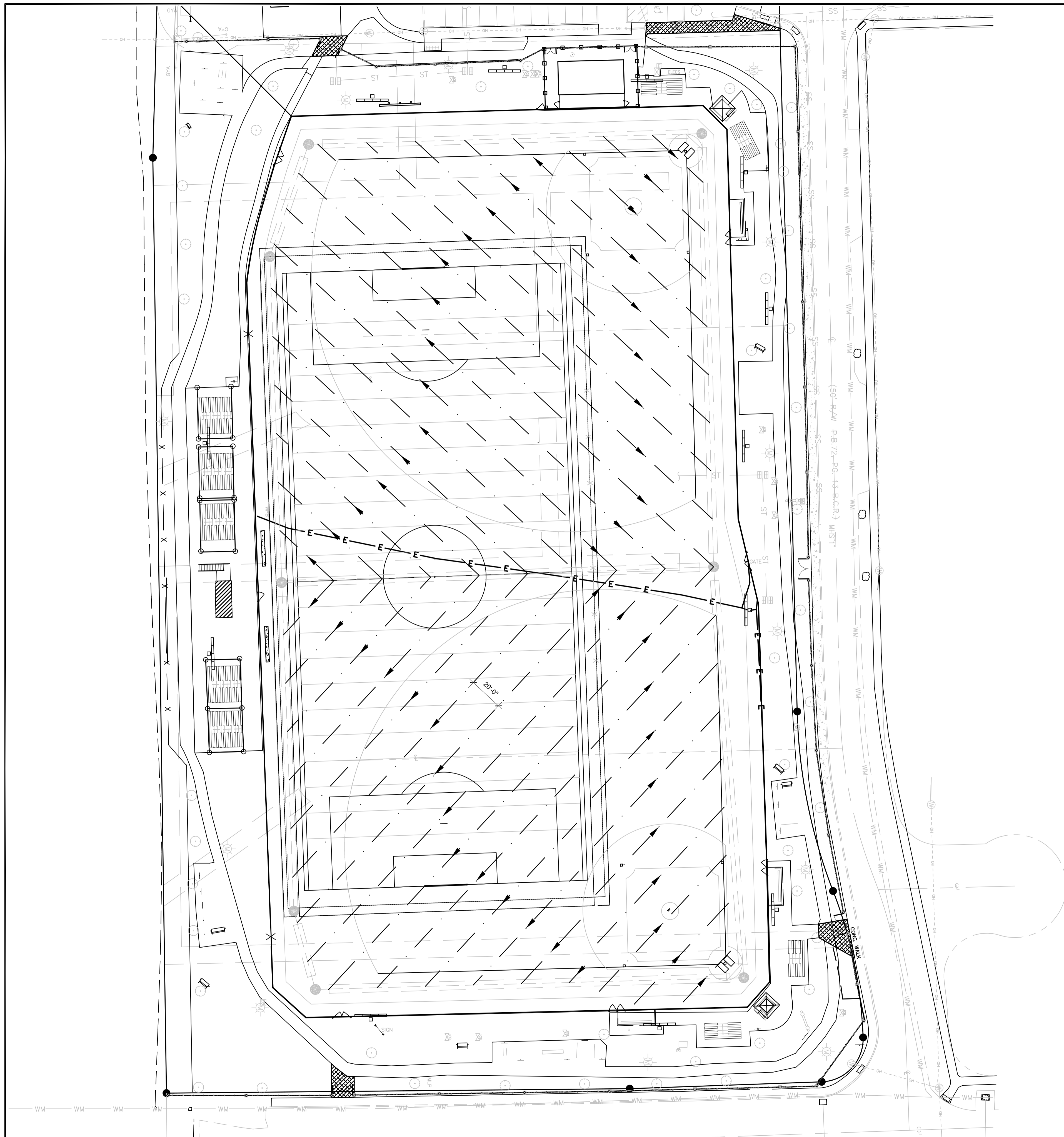
EXISTING ELECTRIC PANEL CABINET

N. W. 8th STREET



1 PROPOSED SITE PLAN

SCALE: 1" = 40'-0"

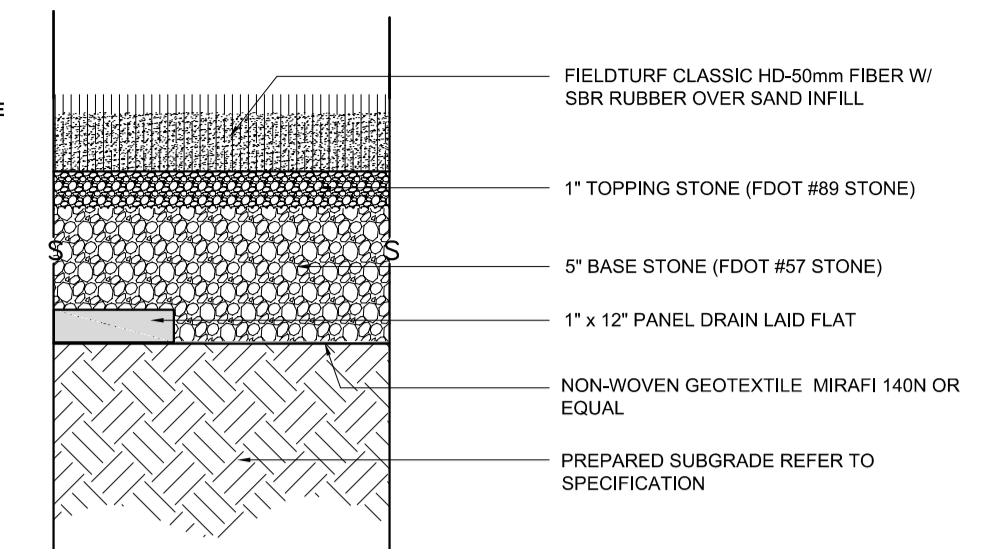


1 FIELD SUBSURFACE DRAINAGE LAYOUT
SCALE: 1" = 30'-0"

TURF DATA
FIELDTURF XT-57mm (2.25"), HIGH PERFORMANCE INFILLED GRASS SURFACE

PRODUCT CHARACTERISTICS

PILE HEIGHT:	2.25 INCHES
PILE WEIGHT:	33 OZ / SQ. YD.
INFILL WEIGHT:	6 LBS / SQ. FT.
TOTAL SYSTEM WEIGHT:	920 OZ / SQ. YD.

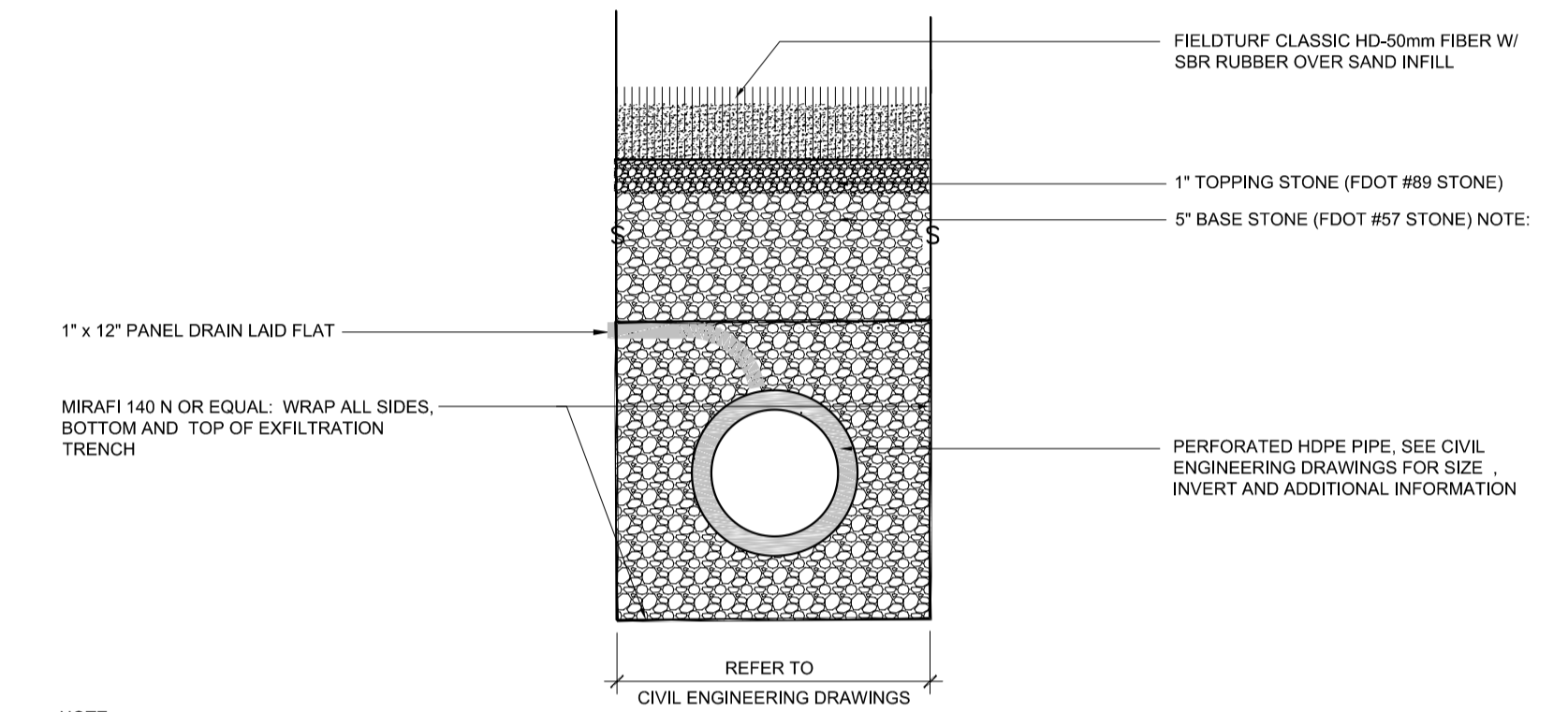


SELECT FILL:

1. SELECT FILL SHALL BE USCS CLASSIFICATION GW, GP, SW, OR SP. THE FINES CONTENT (% PASSING #200 SIEVE) SHALL NOT EXCEED 5%. ADDITIONALLY, THE SELECT FILL MATERIAL SHALL NOT CONTAIN ROCKS GREATER THAN 3" IN SIZE, ORGANIC MATERIAL, OR ANY DELETERIOUS SUBSTANCES.
2. AFTER REMOVAL OF THE EXISTING GRASS AND ORGANIC MATERIAL FROM THE SITE, AND PRIOR TO PLACEMENT OF THE SELECT FILL, THOROUGHLY SCARIFY THE EXISTING GROUND IN ORDER TO BREAK UP ANY OVER-COMPACTED AREAS.
3. SELECT FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8", AND COMPACTED TO 90-92% STANDARD PROCTOR (ASTM D 698), WHERE COMPACTION EXCEEDS 92%, THOSE AREAS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RECOMPACTED TO MEET THE SPECIFIED LIMITS.

2 TYPICAL FIELD SECTION

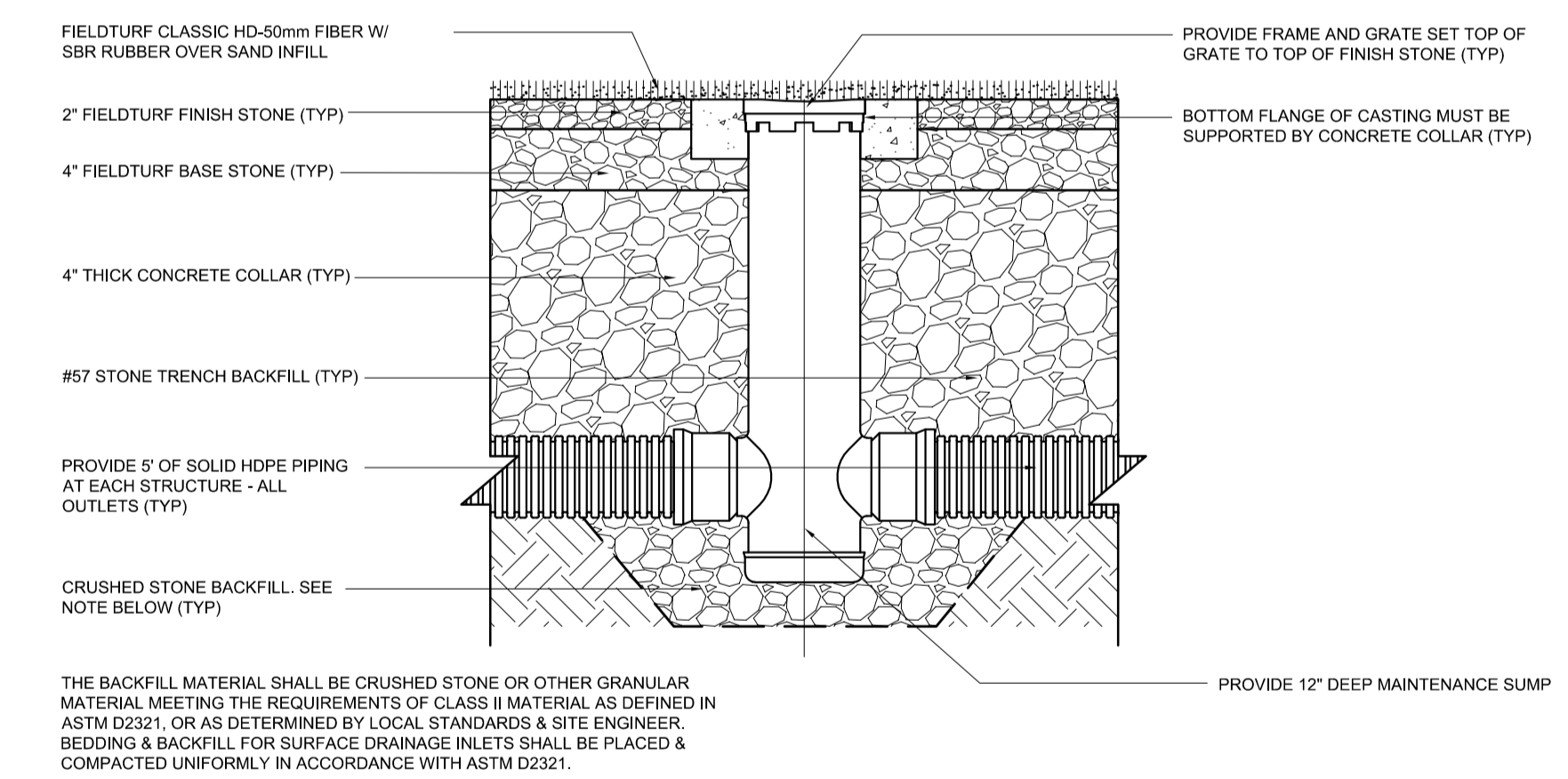
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NOTE:
 SEE PAVING, GRADING AND DRAINAGE DETAILS ON SHEET NO. C1.1 FOR TRENCH SIZE AND ADDITIONAL INFORMATION

3 EXFILTRATION TRENCH SECTION

SCALE: NTS



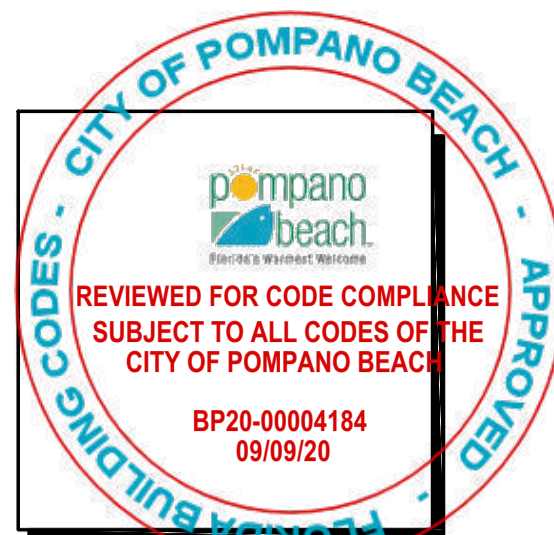
THE BACKFILL MATERIAL SHALL BE CRUSHED STONE OR OTHER GRANULAR MATERIAL MEETING THE REQUIREMENTS OF CLASS II MATERIAL AS DEFINED IN ASTM D2321, OR AS DETERMINED BY LOCAL STANDARDS & SITE ENGINEER. BEDDING & BACKFILL FOR SURFACE DRAINAGE INLETS SHALL BE PLACED & COMPACTED UNIFORMLY IN ACCORDANCE WITH ASTM D2321.

4 NYLOPLAST EXFILTRATION BASIN DETAIL

SCALE: NTS

NOTE:

- TURF CONTRACTOR SHALL PROVIDE SHOP DRAWINGS WITH FINAL SUBSURFACE DRAINAGE DESIGN AND DETAILS FOR REVIEW AND APPROVAL.
- 1" X 12" PANEL DRAIN SHALL BE LAID FLAT AND BE SPACED AT APPROXIMATELY 20'-0" O.C. TYPICAL, AVOID CONFLICT W/ FOUNDATIONS FOR GOAL POSTS OR ANY OTHER CONSTRUCTION BENEATH THE TURF.
- CONTRACTOR SHALL EXERCISE CAUTION WHILE PREPARING THE SUBSURFACE TO AVOID DAMAGE TO EXISTING UTILITY LINES TO REMAIN, ANY SUCH UTILITIES SHALL BE RELOCATED TO AVOID CONFLICTS WITH THE INSTALLATION OF THE BASE STONE, DRAIN PANELS OR EXFILTRATION TRENCHES.
- REFER TO PAVING GRADING AND DRAINAGE PLAN FOR ELEVATION OF FINISH TURF SURFACE. PREPARE SUBGRADE TO A MINIMUM OF 6" TOTAL THICKNESS TO PROVIDE POSITIVE DRAINAGE OF 1" X 12" FLAT PANEL DRAINS INTO EXFILTRATION TRENCH.



Abbas H. Zackria
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 Abbas H. Zackria
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 o=WALTERS
 ZACKRIA
 ASSOCIATES PLLC,
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WALTERS ZACKRIA ARCHITECTS

8813 N. ANDREW'S WAY,
 FORT LAUDERDALE, FL 33309

PHONE: (954) 522-4123
 FAX: (954) 522-4128
 www.wza-architects.com

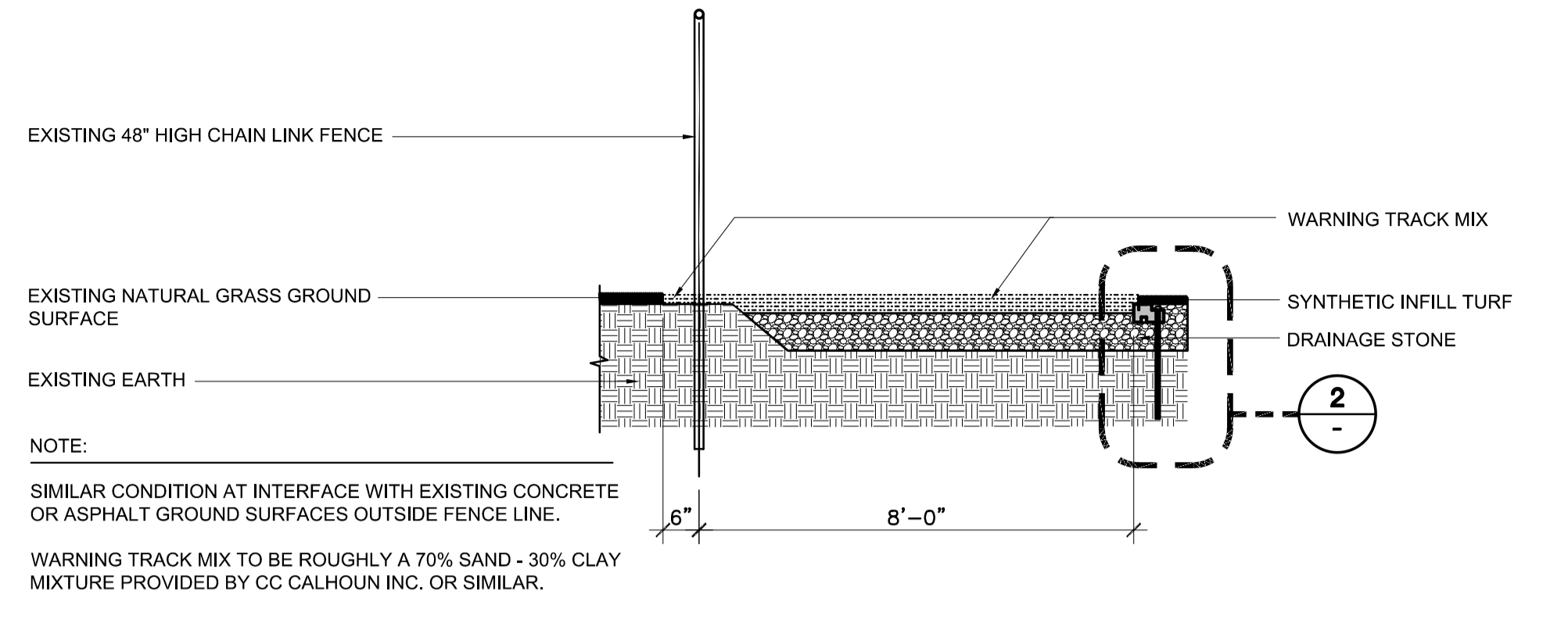
Abbas H. Zackria, FL AR 91520
 Florida Registration: AA26009970

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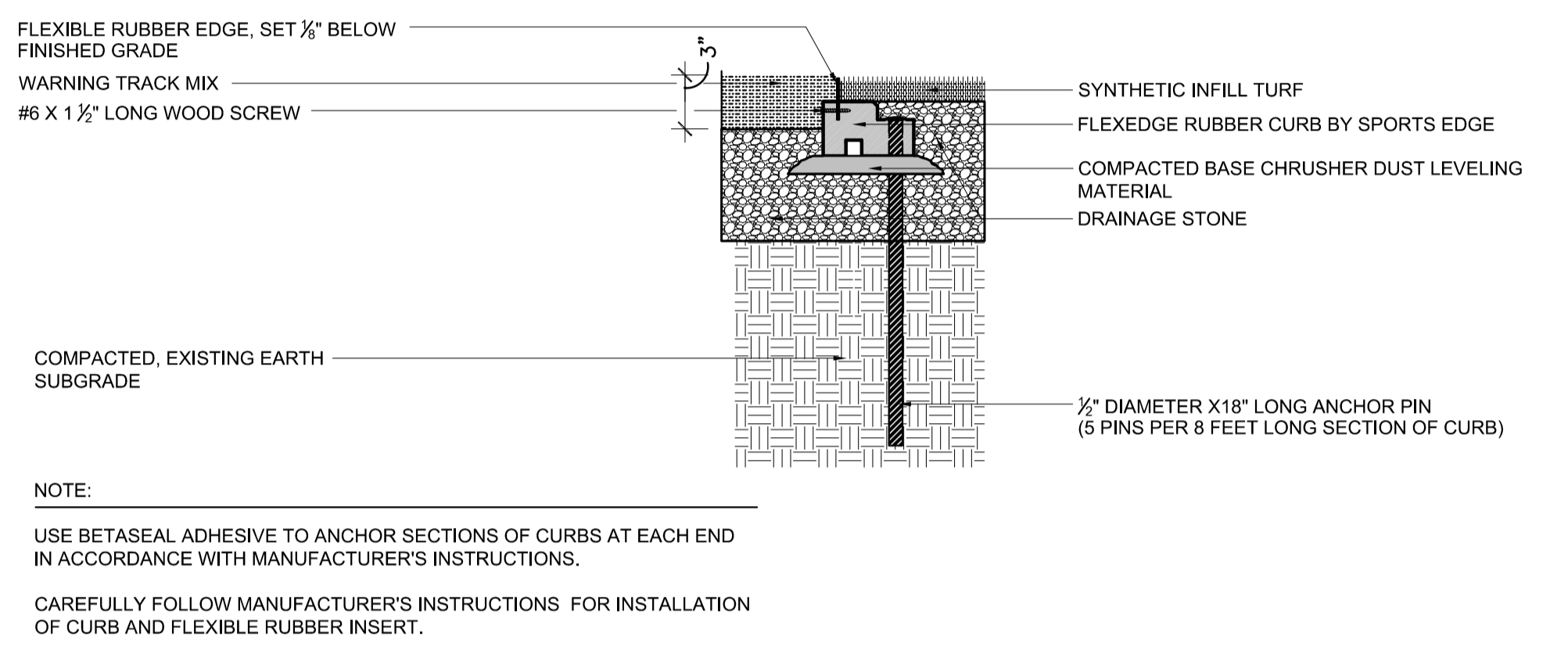
**CITY OF POMPAÑO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPAÑO BEACH, FL, 33060**

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 CHECKED BY: GD
 DATE: 06/05/2020

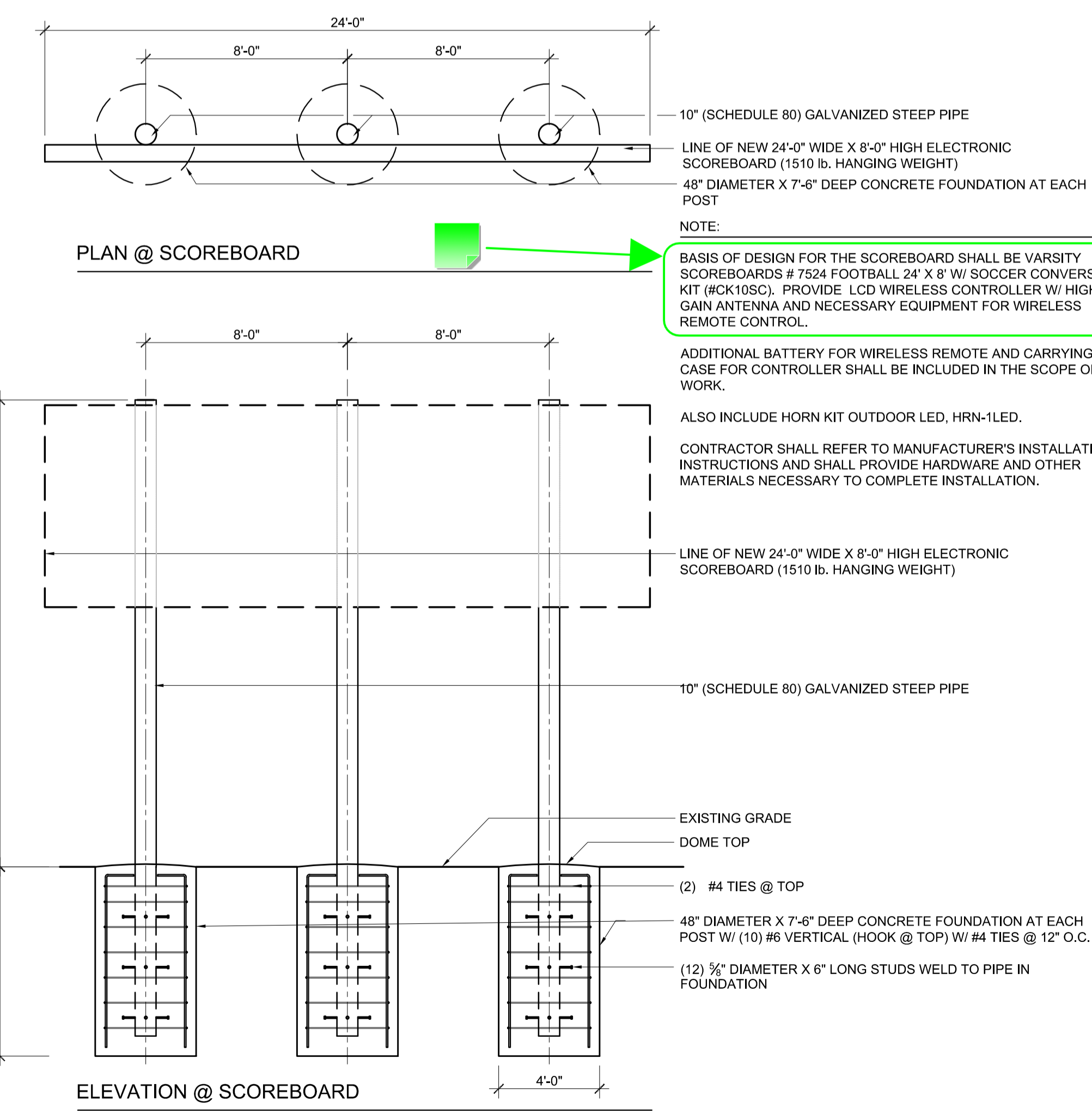
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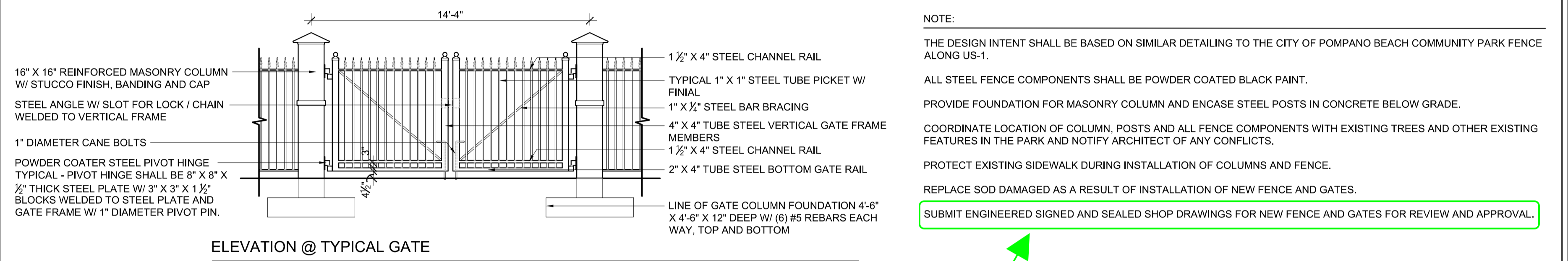
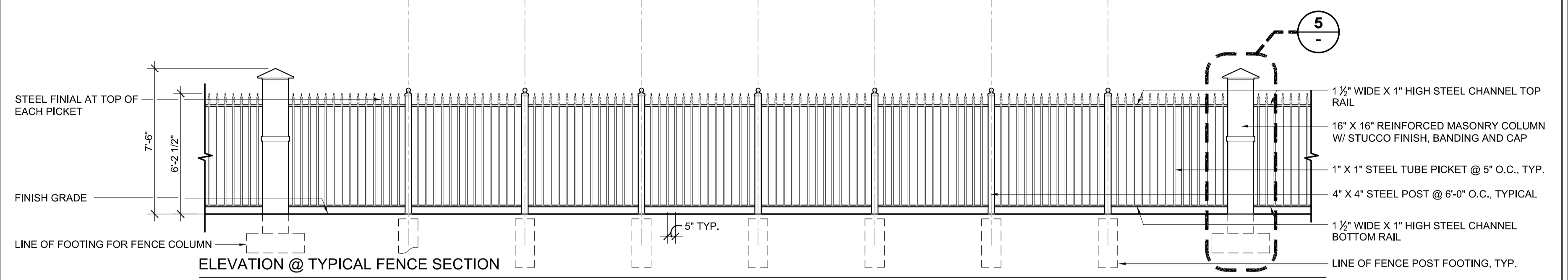
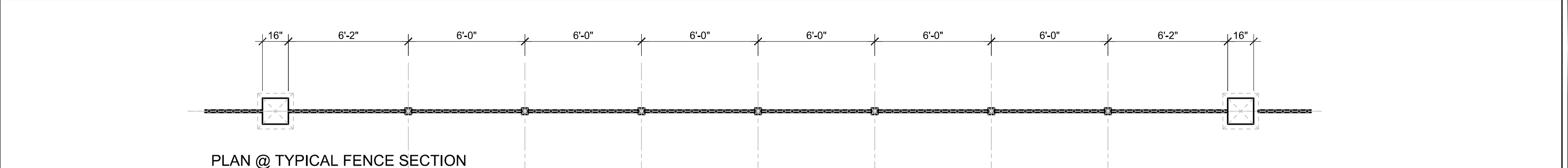
1 TYPICAL DETAIL AT PERIMETER WARNING TRACK
SCALE: 1/2" = 1'-0"



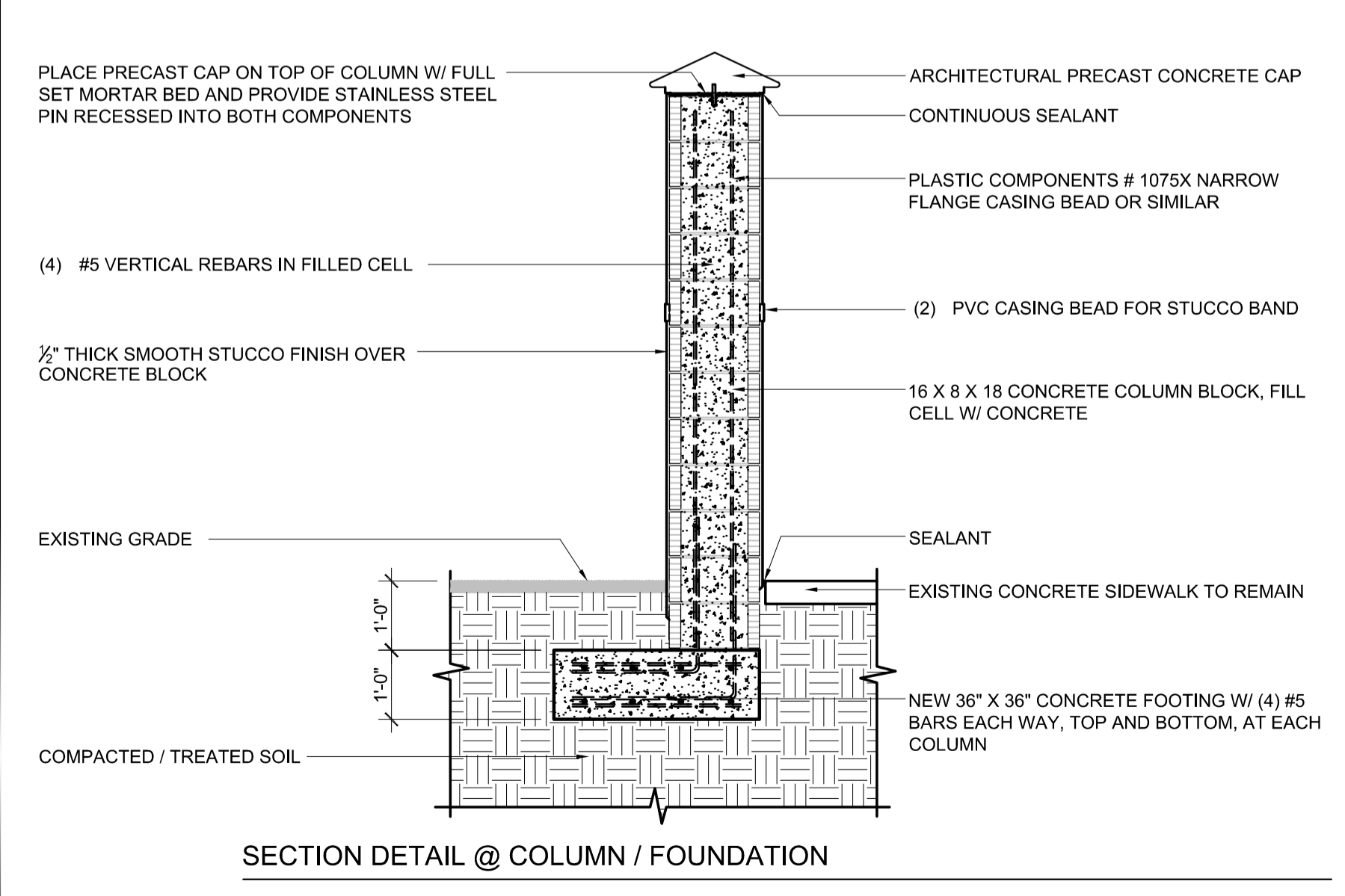
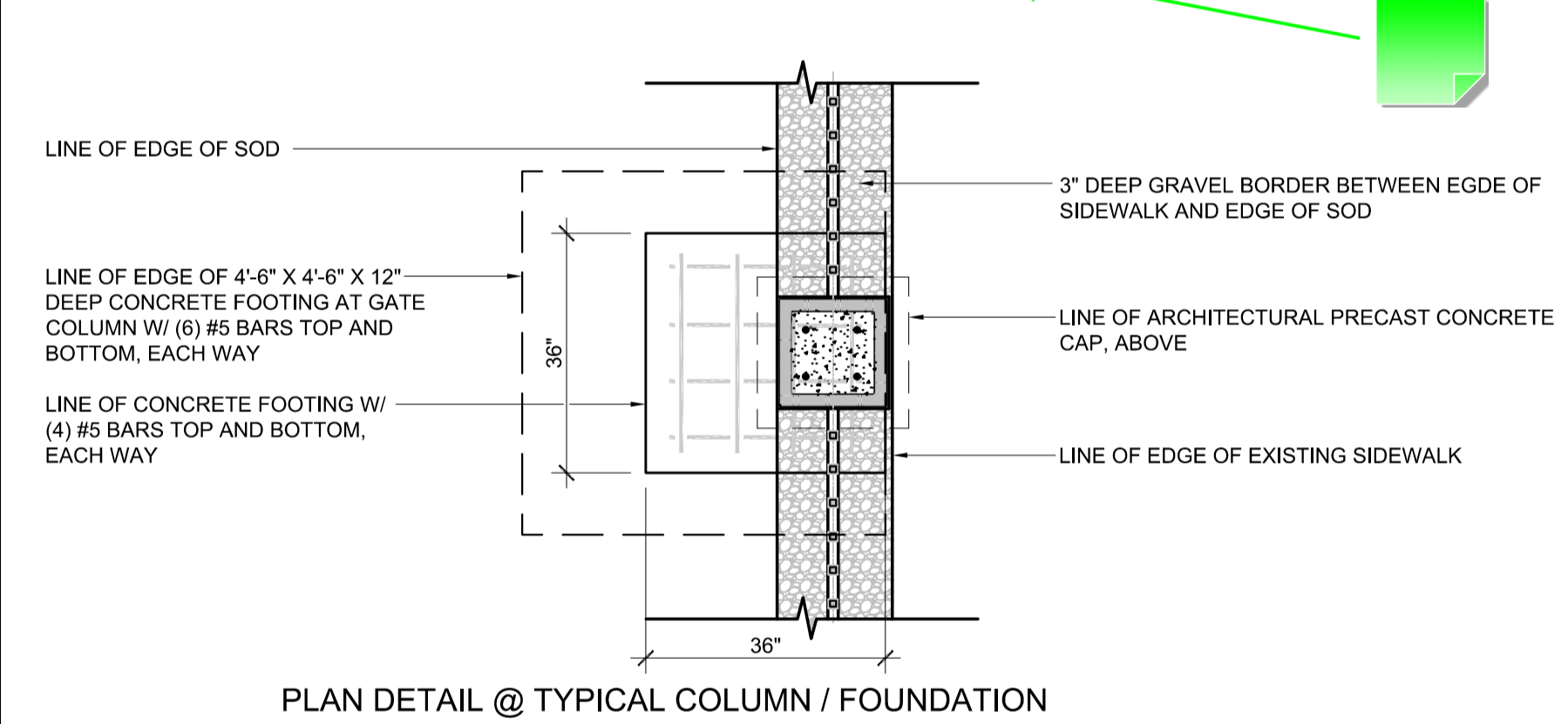
2 TYPICAL DETAIL AT TURF EDGE TO WARNING TRACK
SCALE: 1 1/2" = 1'-0"



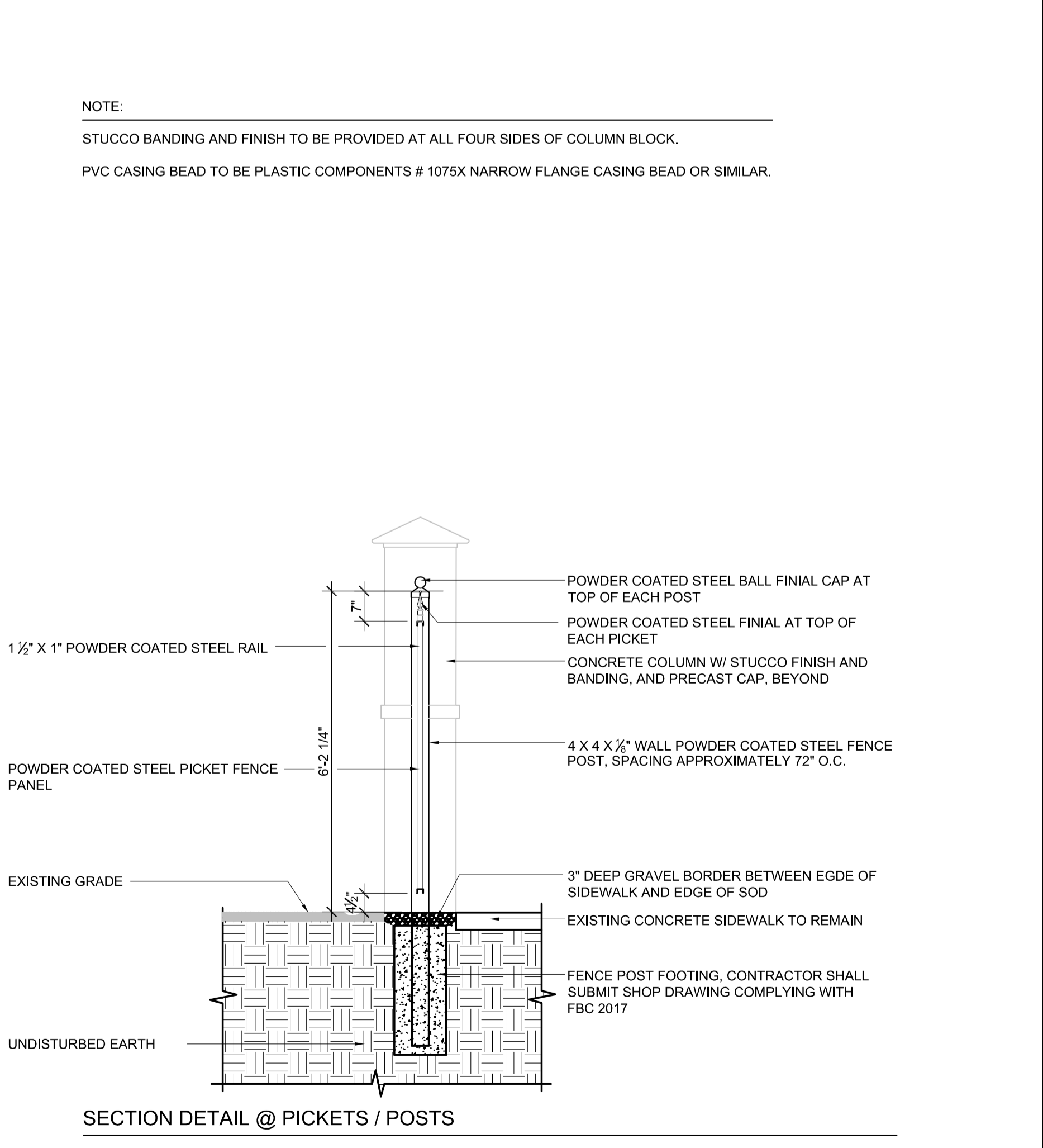
3 SCOREBOARD DETAIL
SCALE: 3/4" = 1'-0"



4 CITY STANDARD PERIMETER FENCE DETAIL
SCALE: 1/4" = 1'-0"

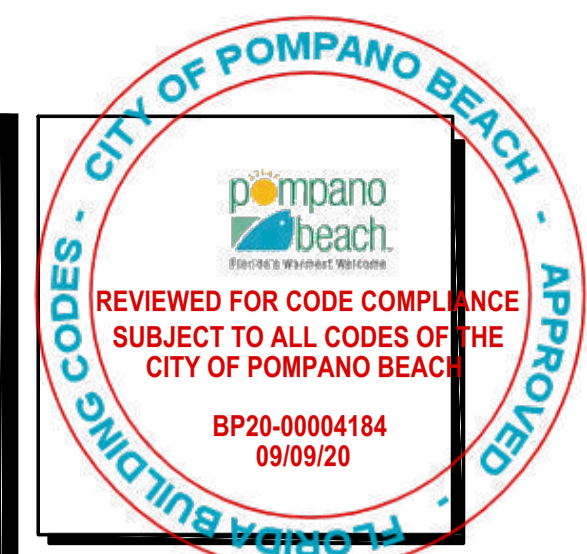


5 TYPICAL FENCE DETAILS
SCALE: 1/2" = 1'-0"



SECTION DETAIL @ PICKETS / POSTS

NOTE:
THE DESIGN INTENT SHALL BE BASED ON SIMILAR DETAILING TO THE CITY OF POMPANO BEACH COMMUNITY PARK FENCE ALONG US-1.
ALL STEEL FENCE COMPONENTS SHALL BE POWDER COATED BLACK PAINT.
PROVIDE FOUNDATION FOR MASONRY COLUMN AND ENCASE STEEL POSTS IN CONCRETE BELOW GRADE.
COORDINATE LOCATION OF COLUMN, POSTS AND ALL FENCE COMPONENTS WITH EXISTING TREES AND OTHER EXISTING FEATURES IN THE PARK AND NOTIFY ARCHITECT OF ANY CONFLICTS.
PROTECT EXISTING SIDEWALK DURING INSTALLATION OF COLUMNS AND FENCE.
REPLACE SOD DAMAGED AS A RESULT OF INSTALLATION OF NEW FENCE AND GATES.
SUBMIT ENGINEERED SIGNED AND SEALED SHOP DRAWINGS FOR NEW FENCE AND GATES FOR REVIEW AND APPROVAL.



Abbas H. Zackria
s H
Zackria
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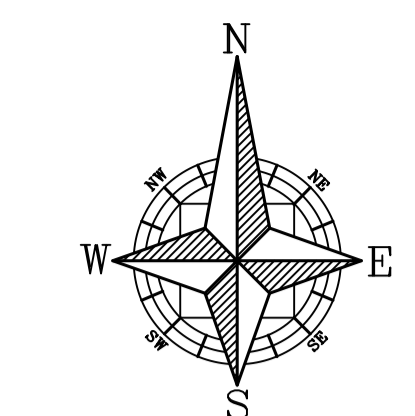
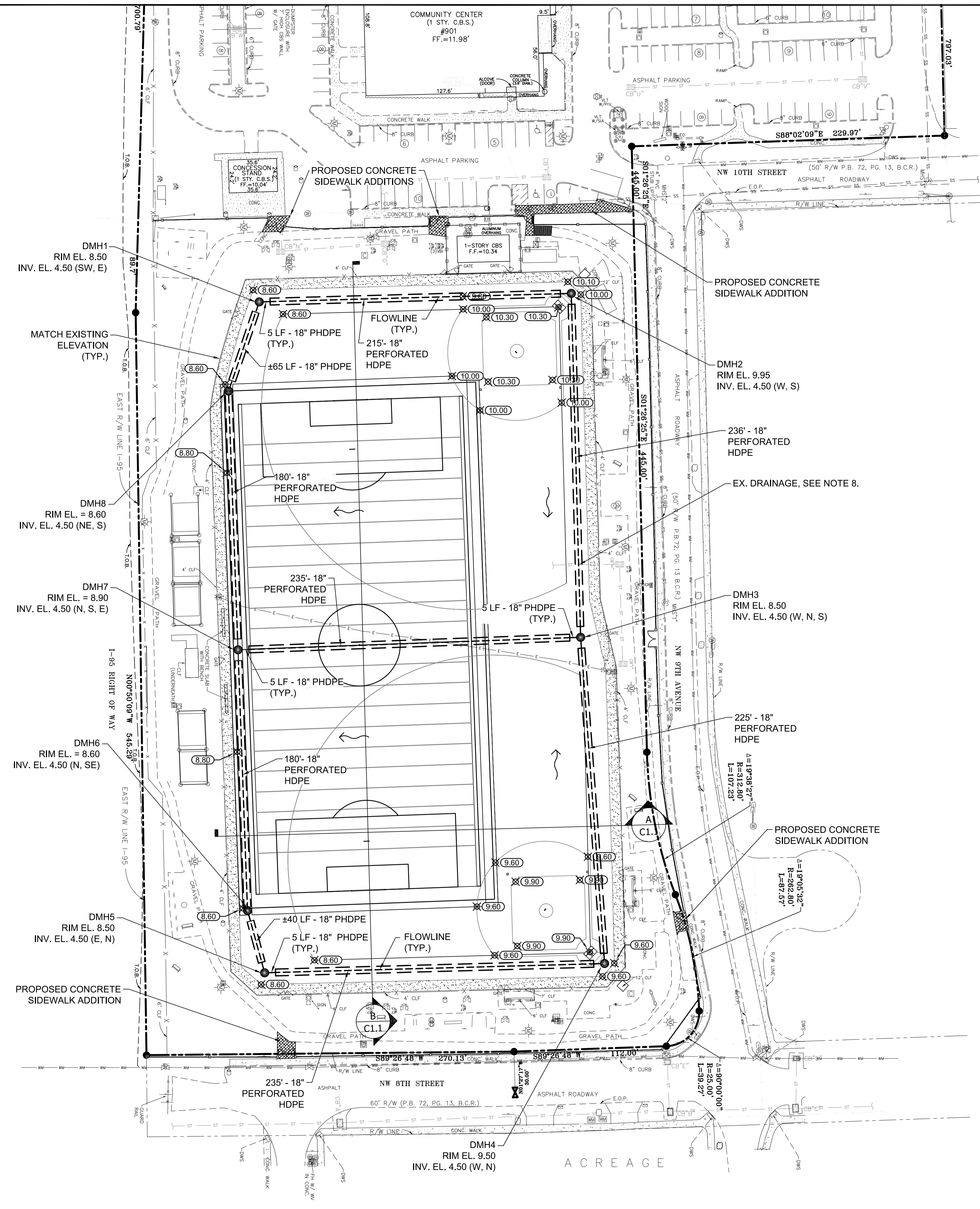
WALTERS ZACKRIA ARCHITECTS
8813 N. ANDREW'S WAY,
FORT LAUDERDALE, FL 33309
PHONE: (954) 522-4123
FAX: (954) 522-4128
www.wza-architects.com
Abbas H. Zackria, FL AR 91520
Florida Registration: AA26009970
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**CITY OF POMPANO BEACH
MITCHELL MOORE PARK
IMPROVEMENTS
861 NW 9TH AVENUE
POMPANO BEACH, FL, 33060**

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CHECKED BY: GD
DATE: 06/05/2020

REVISIONS:
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A2.10
MISCELLANEOUS DETAIL



GRAPHIC SCALE
(IN FEET)
1 inch = 40 ft.

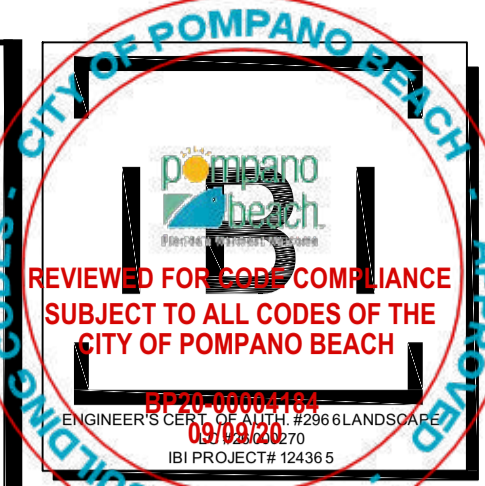
Total Site Summary:

	SWM2006-181-0	SWM2006-181-2	This modification
Site area (ac)	6.400 100%	6.400 100%	6.400 100%
Building area (ac)	0.00 0%	0.00 0%	0.02 0%
Pervious area (ac)	4.11 64%	4.34 68%	0.93 14%
Impervious area (ac)	2.29 36%	2.06 32%	5.50 86%
Avg Site Elevation	11.37 NGVD	11.26 NGVD	11.26 NGVD
Avg Site Elevation	9.795 NAVD	9.69 NAVD	9.69 NAVD
Retention Volume		16.00 AC-in	17.62 AC-in
Retention Volume		1.33 AC-ft	1.47 AC-ft

THIS PROJECT: Athletic Fields

	Impervious (Artificial turf and warning track)	Pervious	Building
	3.415 acres	0.00 acres	0.00 acres
	100.00%	0.00%	0.00%

- GENERAL NOTES:**
- EXISTING SITE SURVEY, PREPARED BY KCI, DATED 06/02/19.
 - REPORT OF GEOTECHNICAL EXPLORATION, PREPARED BY FLORIDA ENGINEERING & TESTING, INC., DATED 06/10/19.
 - HYDRAULIC CONDUCTIVITY USUAL OPEN-HOLE TEST, PREPARED BY FLORIDA ENGINEERING & TESTING, INC., DATED 06/10/19.
 - ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). TO CONVERT FROM NAVD88 TO NGVD29, ADD 1.575 FEET.
 - SEASONAL HIGH WATER ELEVATION PER LATEST BCEPDGM PERMIT MODIFICATION FOR SWM2006-181-3, WCE = 2.50 NAVD
 - BROWARD COUNTY FUTURE CONDITIONS AVERAGE WET SEASON GROUNDWATER ELEVATION = 4.00 NAVD/3.50 NAVD
 - SUBSURFACE DRAINAGE DESIGN IS PROVIDED ON SHEET A1.1L
 - EXISTING UTILITIES SHALL BE LOCATED AND IDENTIFIED BY CONTRACTOR. DISPOSITION SHALL BE DETERMINED BY THE CITY OF POMPANO BEACH PUBLIC WORKS DEPARTMENT.



Digitally signed by Patricia Ramo
Date: 2020.06.05 10:40:06 -0400
NOT TO BE FILED FOR RECORDING UNLESS SHOWN AND DOTTED WITH THE ORIGINAL SEAL OF PATRICIA F. RAMO, FLORIDA P.E. 12068 FOR THE FIRM

WALTERS ZACKRIA ARCHITECTS
5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
PHONE: (954) 522-4123
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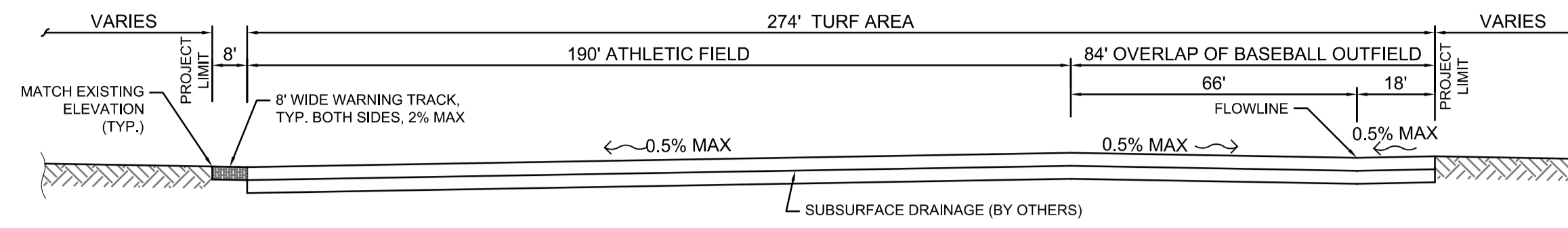
CITY OF POMPANO BEACH
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DRAWN BY: JA
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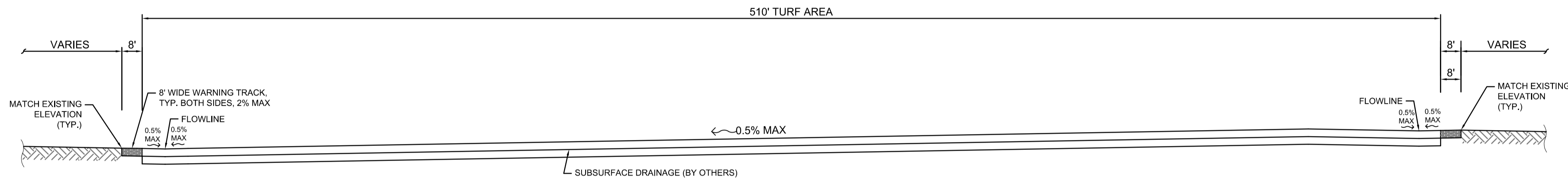


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PAVING, GRADING & DRAINAGE PLAN

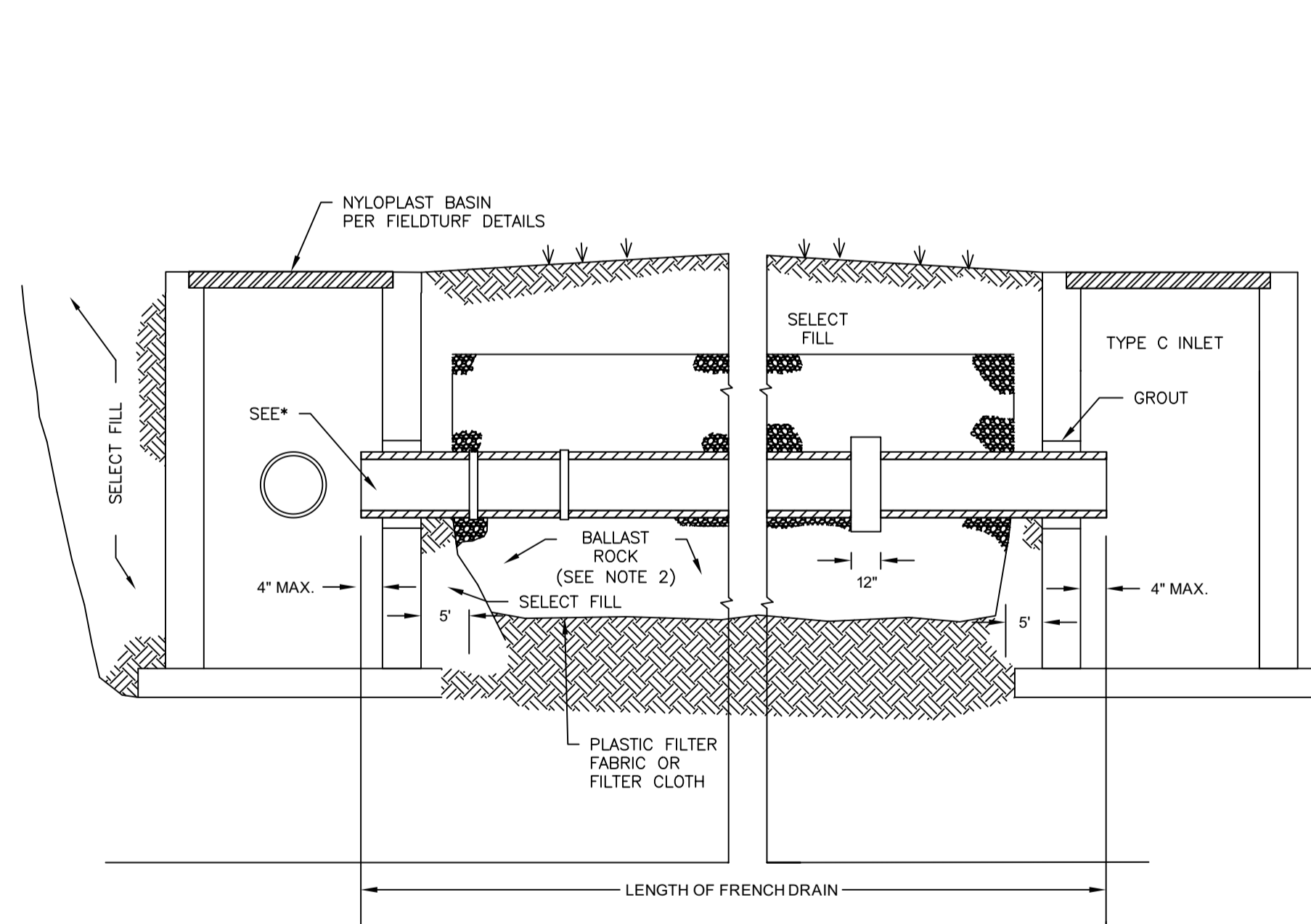


(A) TYPICAL SECTION



(B) TYPICAL SECTION

NOTE: SUBSURFACE DRAINAGE DESIGN AND DETAILS ARE TO BE PROVIDED BY TURF CONTRACTOR.

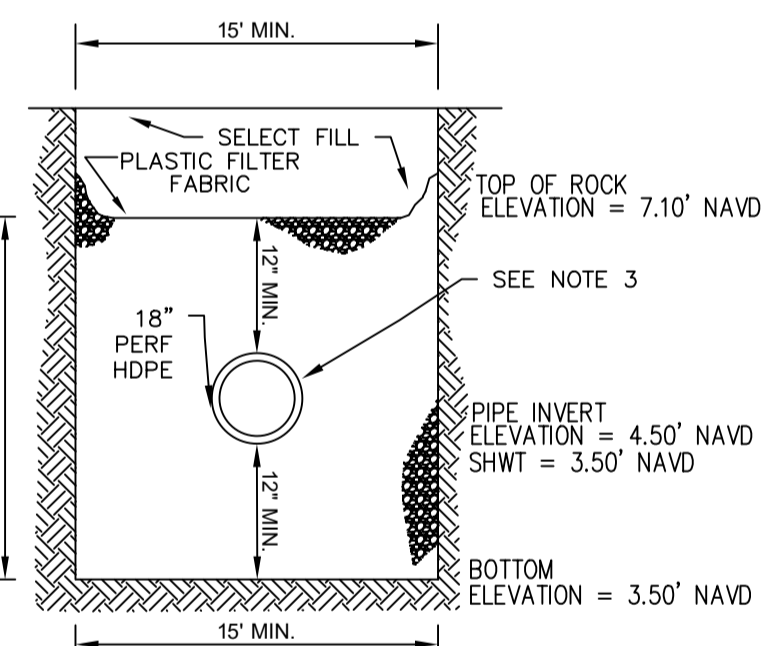


LONGITUDINAL SECTION

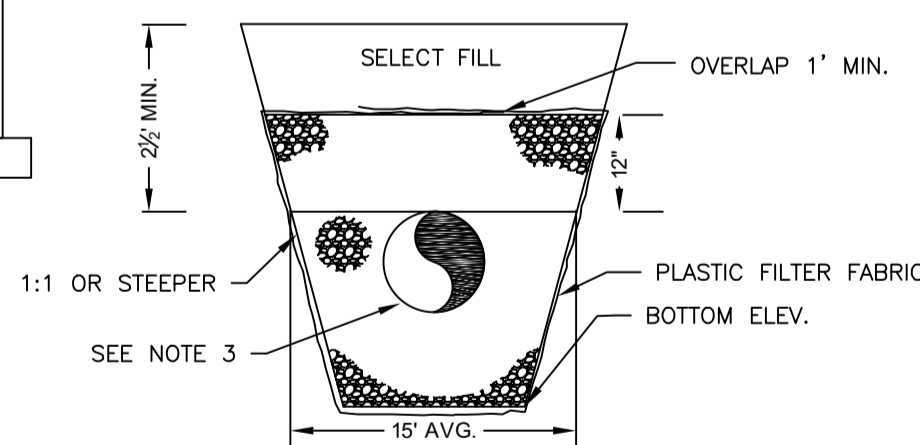
NOTES:

1. PLASTIC FILTER FABRIC OR FILTER CLOTH (AT EA. SIDE, TOP AND BOTTOM) SHALL BE USED IN SANDY AREAS AS NOTED IN PLANS AND/OR AS DIRECTED BY THE ENGINEER.
2. IF BALLAST ROCK IS NOT PRE-WASHED, AFTER IT HAS BEEN PLACED TO THE PROPER ELEVATION, IT SHALL BE CAREFULLY WASHED DOWN WITH CLEAN WATER IN ORDER TO ALLOW FOR INITIAL SETTLEMENT THAT MAY OCCUR. IF IT DOES TAKE PLACE, ADDITIONAL BALLAST ROCK WILL BE ADDED TO RESTORE THE BALLAST ROCK TO THE PROPER ELEVATION, SO THAT THE INFILTRATION TRENCH BE COMPLETED IN ACCORDANCE WITH THE DETAILS.
3. INVERT ELEVATION TO BE AS SHOWN IN PLANS.
4. REFER TO FIELDTURF DETAILS FOR PANEL DRAIN CONNECTIONS.

EXFILTRATION TRENCH DETAIL

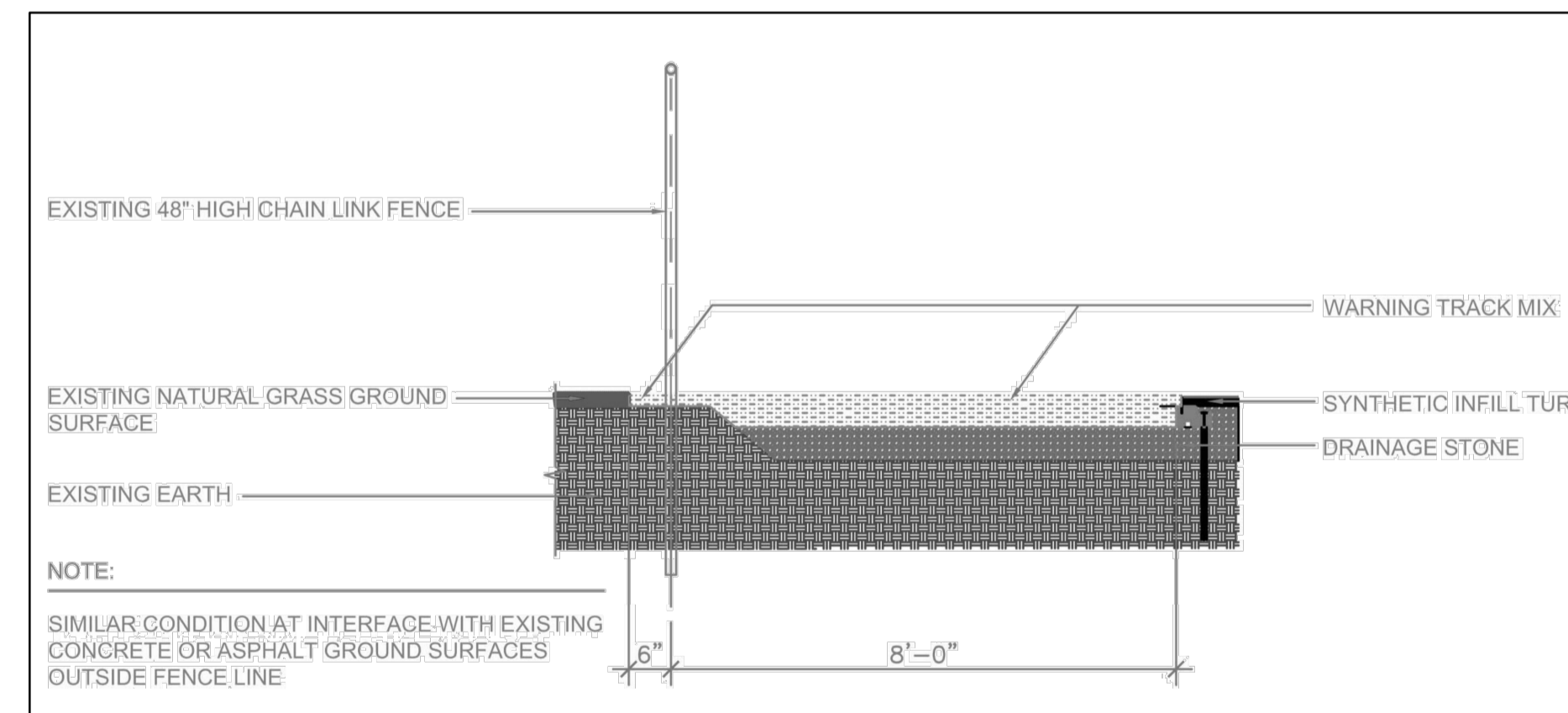


TRANSVERSE SECTION



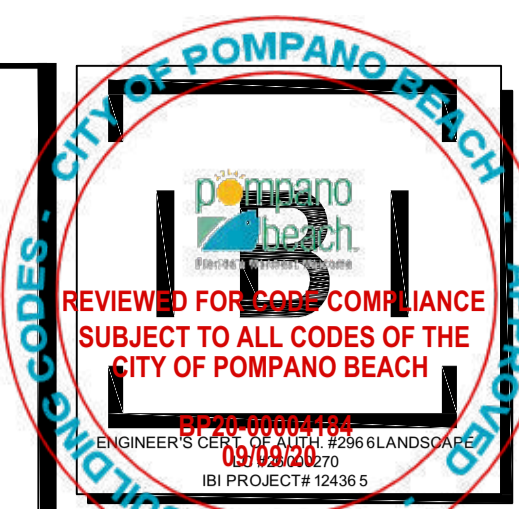
ALT. TRANS. SECTION

MAY BE USED IN AREAS WHERE TRENCH WALLS WILL NOT STAND VERTICAL OR WHERE CAVE IN BELOW THE WATER TABLE IS LIKELY TO OCCUR. TO BE USED AT THE ENGINEER'S DISCRETION.



WARNING TRACK TYPICAL SECTION

N.T.S.



Digitally signed by PATRICIA F. RAMUDO
 Date: 2020.06.05 12:54:14
 UD0

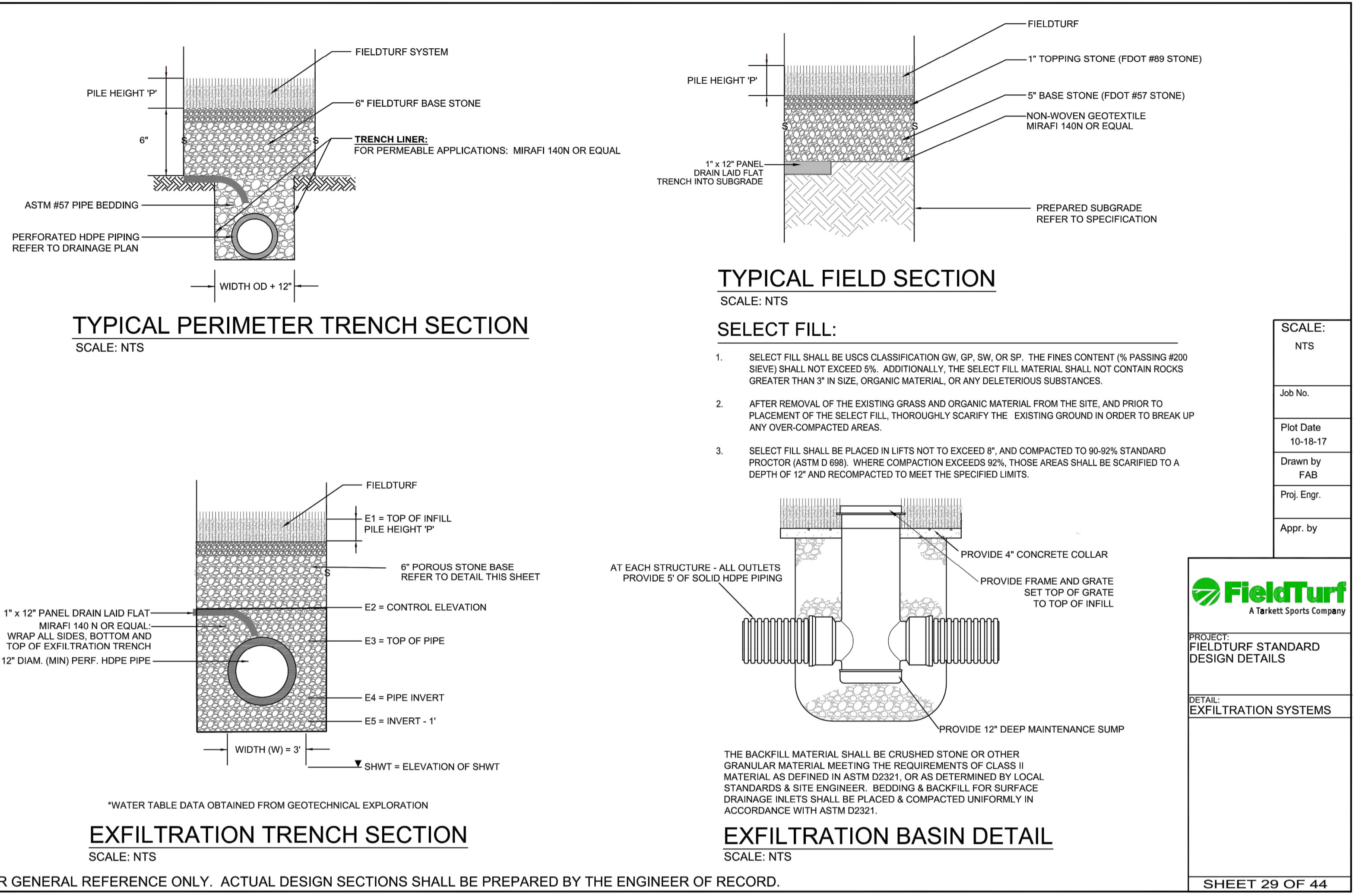
WALTERS ZACKRIA ARCHITECTS
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 POMPANO BEACH, FL, 33060

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 DATE: 06/05/2020

REVISIONS:
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- SELECT FILL:**
- SELECT FILL SHALL BE USCS CLASSIFICATION GW, GP, SW, OR SP. THE FINES CONTENT (% PASSING #200 SIEVE) SHALL NOT EXCEED 5%. ADDITIONALLY, THE SELECT FILL MATERIAL SHALL NOT CONTAIN ROCKS GREATER THAN 3" IN SIZE, ORGANIC MATERIAL, OR ANY DELETERIOUS SUBSTANCES.
 - AFTER REMOVAL OF THE EXISTING GRASS AND ORGANIC MATERIAL FROM THE SITE, AND PRIOR TO PLACEMENT OF THE SELECT FILL, THOROUGHLY SCARIFY THE EXISTING GROUND IN ORDER TO BREAK UP ANY OVER-COMPACTED AREAS.
 - SELECT FILL SHALL BE PLACED IN LIFTS NOT TO EXCEED 8", AND COMPACTED TO 90-92% STANDARD PROCTOR (ASTM D 698). WHERE COMPACTION EXCEEDS 92%, THOSE AREAS SHALL BE SCARIFIED TO A DEPTH OF 12" AND RECOMPACTED TO MEET THE SPECIFIED LIMITS.

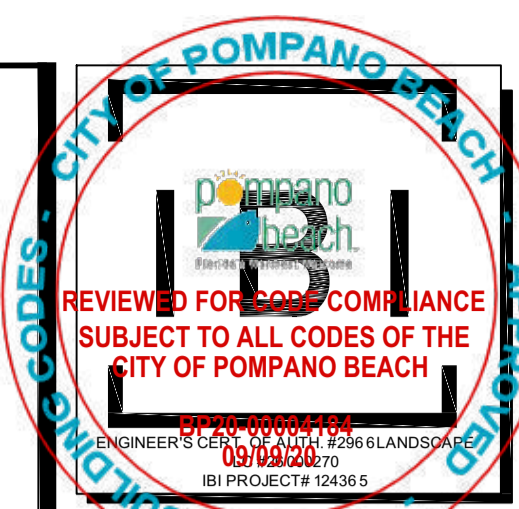
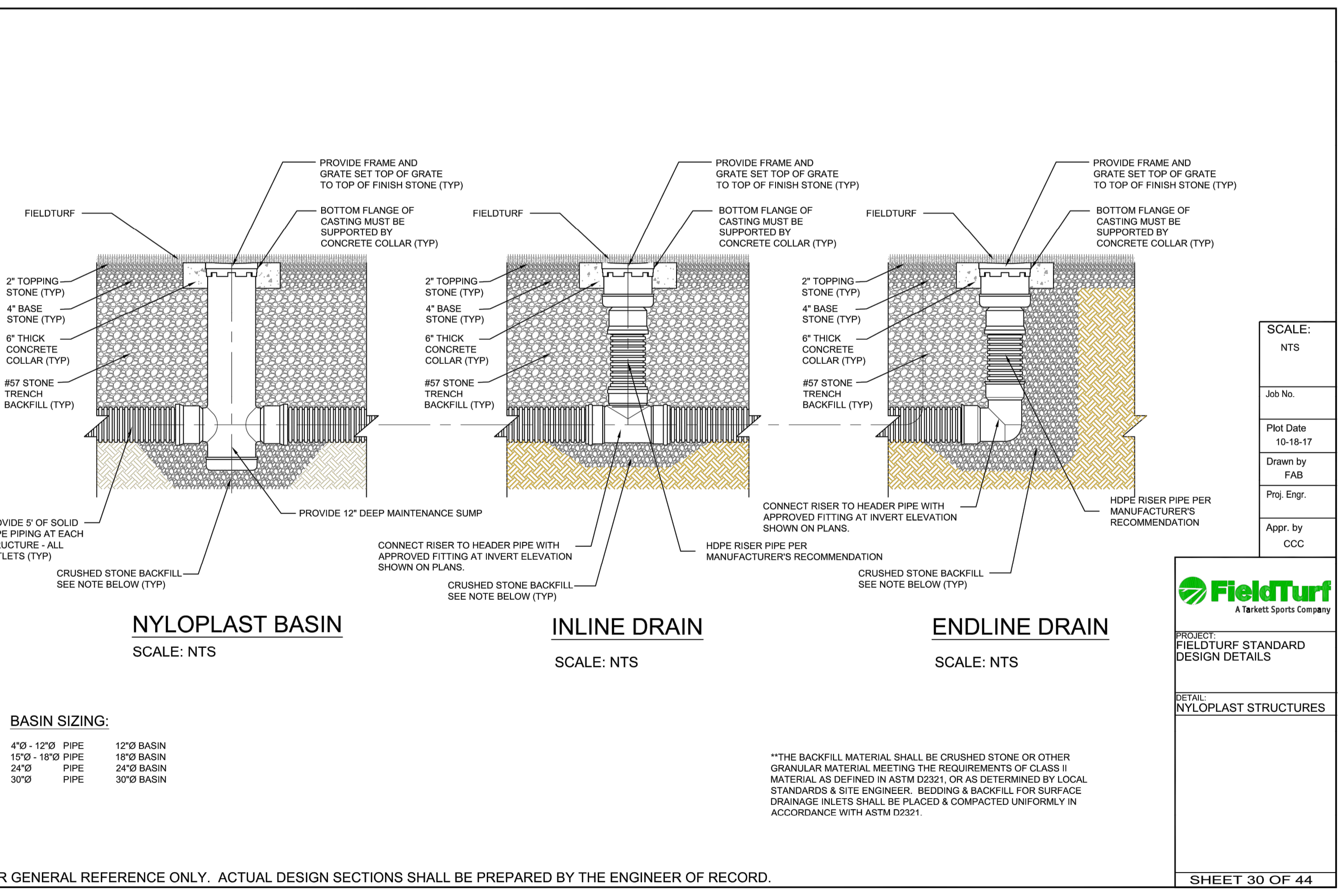
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Job No.	
Plot Date	10-18-17
Drawn by	FAB
Proj. Engr.	
Appr. by	

FieldTurf
A Tarkett Sports Company

PROJECT: FIELDTURF STANDARD DESIGN DETAILS

DETAIL: EXFILTRATION SYSTEMS

SHEET 29 OF 44



Digitally signed by PATRICIA F. RAMUDO
Date: 2020.06.05 10:42:07 -0400

WALTERS ZACKRIA ARCHITECTS

5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
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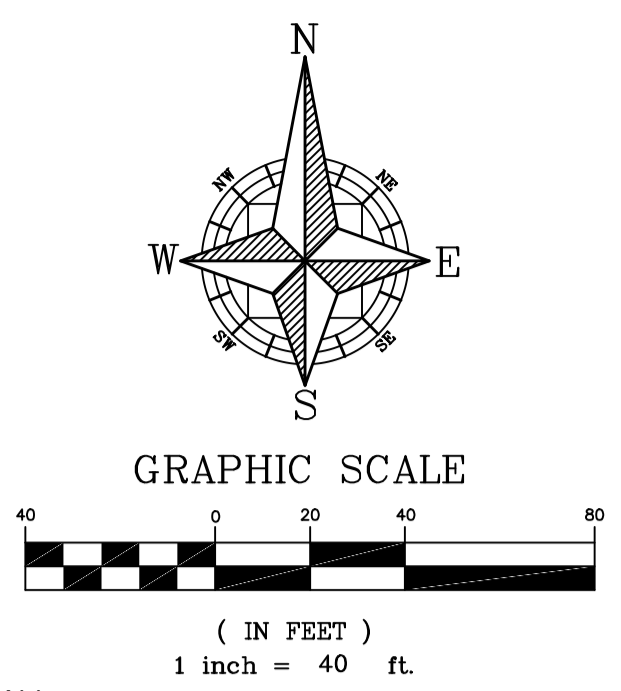
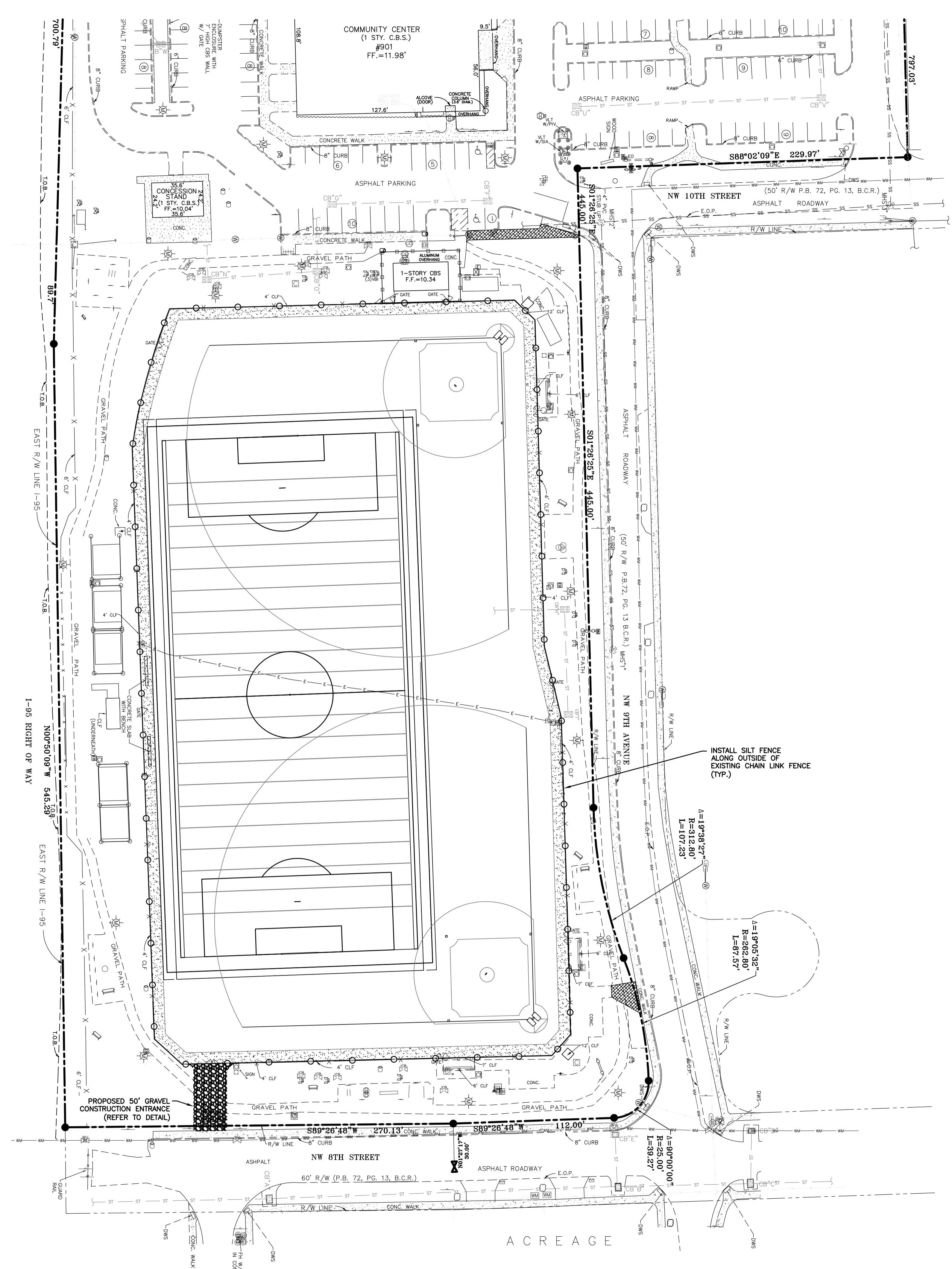
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DATE: 06/05/2020

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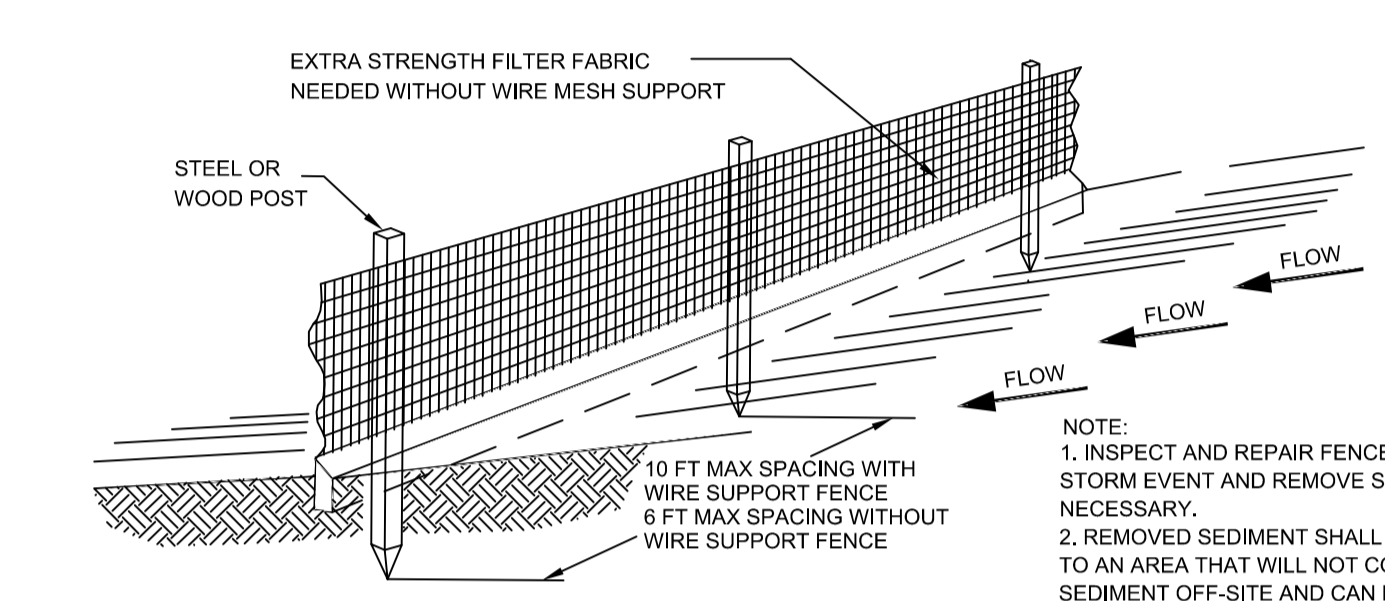
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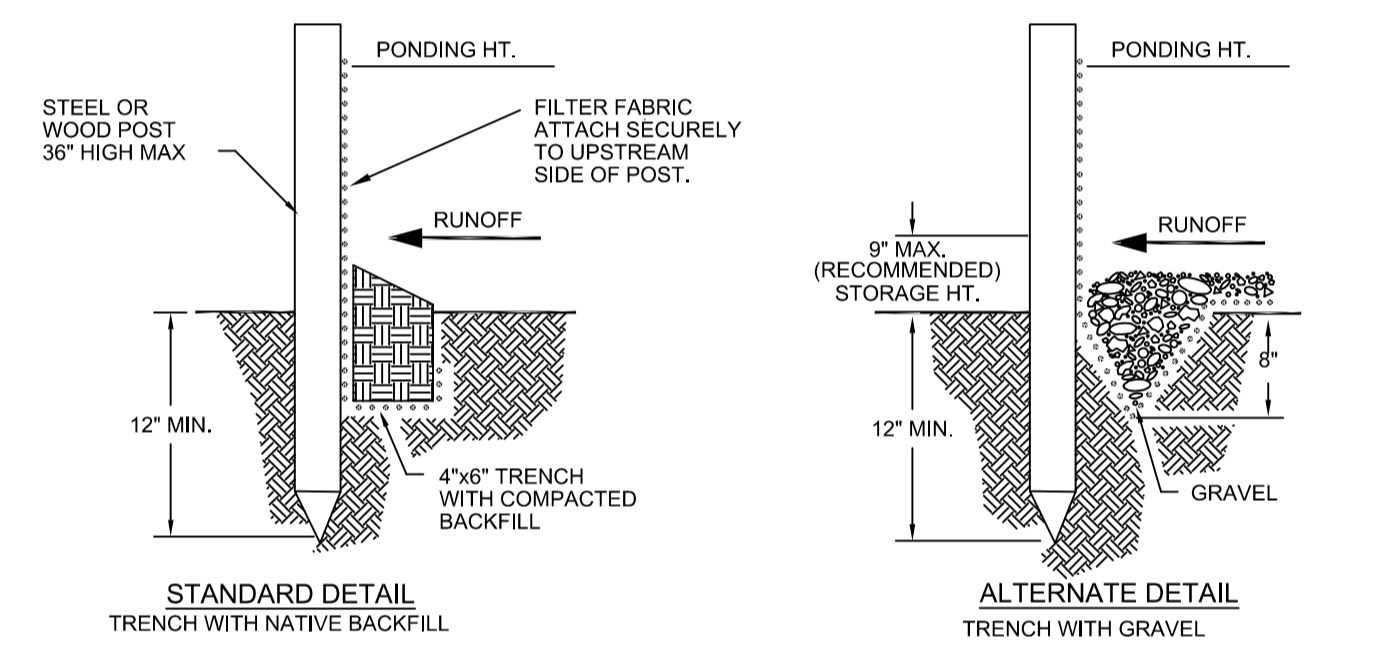
PAVING, GRADING & DRAINAGE DETAILS



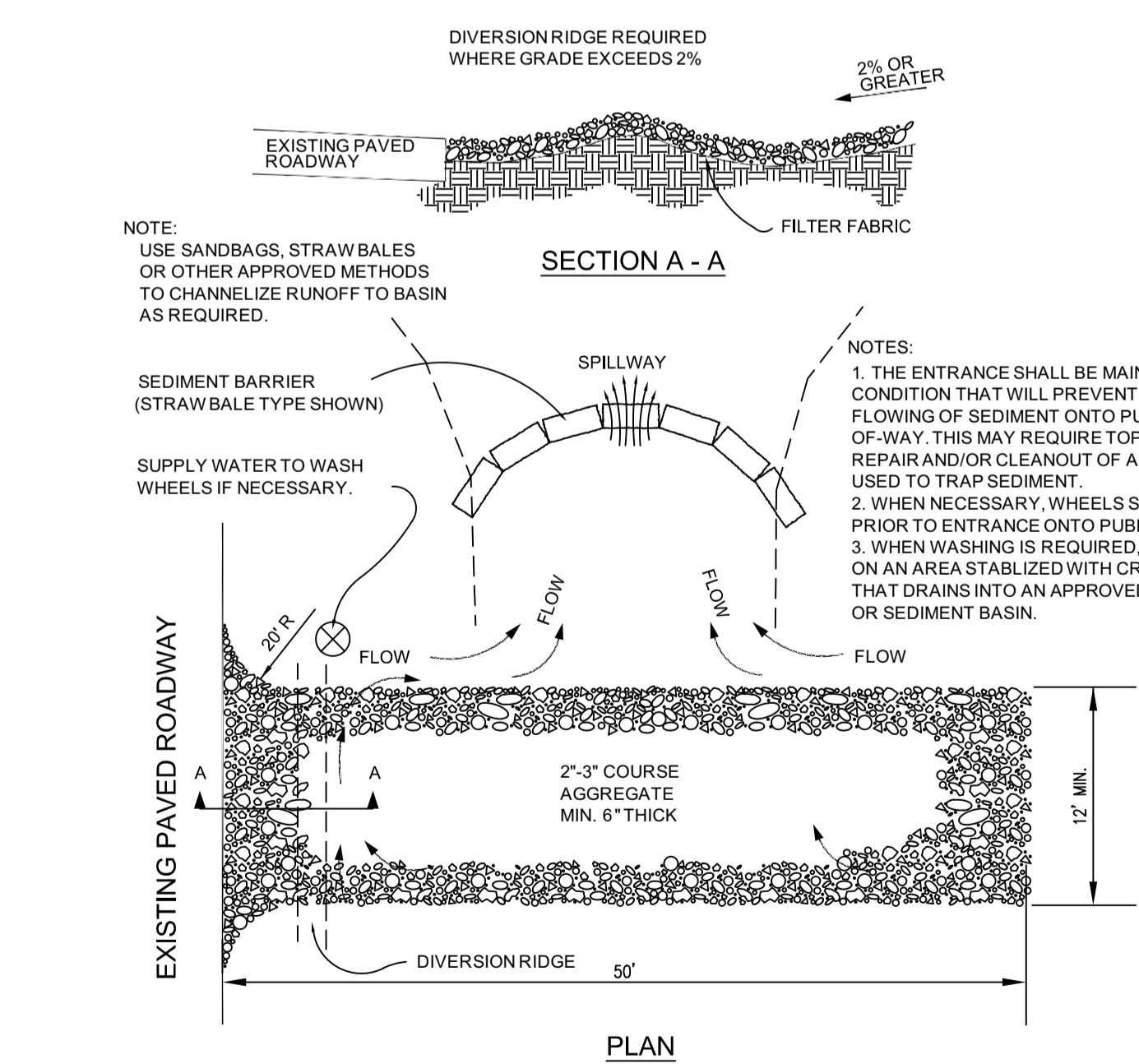
- GENERAL NOTES:**
1. CONSTRUCTION ACTIVITIES AND OPERATIONS SHALL BE MAINTAINED DURING AND AFTER ALL CONSTRUCTION, DEVELOPMENT EXCAVATION OR ALTERATION OPERATIONS, STRUCTURAL AND NON-STRUCTURAL BEST MANAGEMENT PRACTICES WITH THE INTENT TO REDUCE POLLUTANTS AND SEDIMENT IN STORMWATER RUNOFF. REFERENCE CITY ORDINANCE 53.16(A)(1).



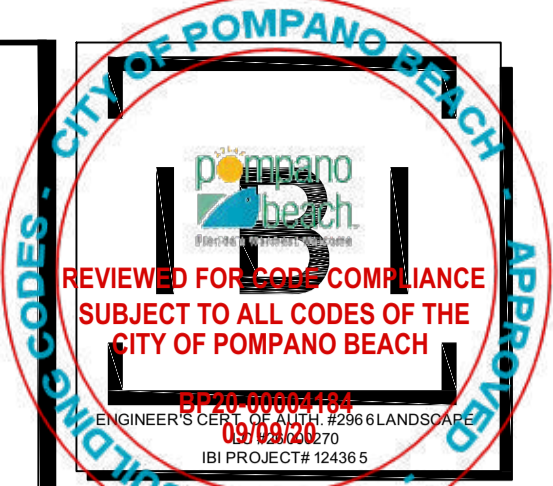
- NOTE:**
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.



SILT FENCE DETAIL



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

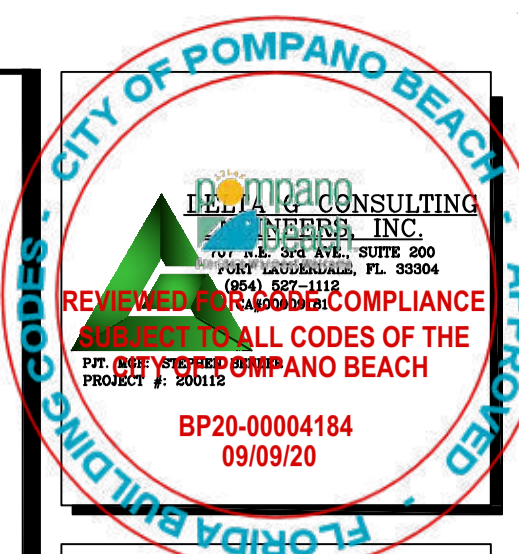


Patricia Ramudo
 Date: 2020.06.05
 Time: 10:38:53
 Project: 2020-0400
NOT TO BE FILED FOR RECORD OR USED AND DATED WITH THE ORIGINAL SEAL OF PATRICIA F. RAMUDO, FLORIDA P.E. 39990124 FOR THE FIRM.

WALTERS ZACKRIA ARCHITECTS
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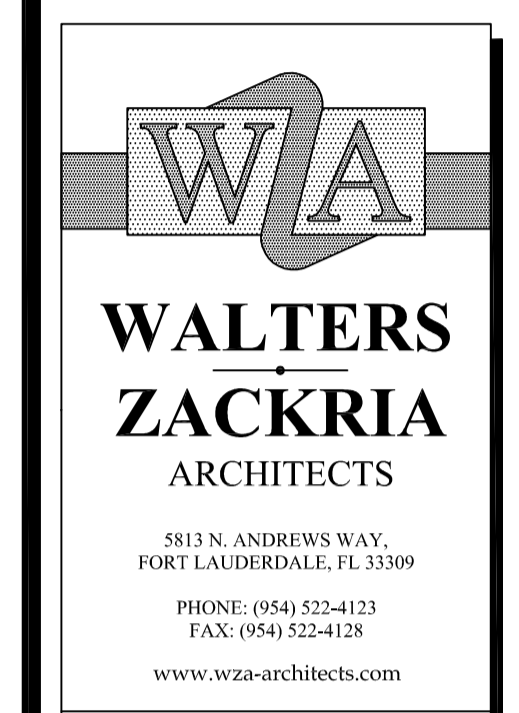
CITY OF POMPAÑO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPAÑO BEACH, FL, 33060

DRAWN BY: CMP
 CHECKED BY: PFR
 DATE: 06/05/2020
 REVISIONS:



Digitally signed by George Sanjua
Reason: I am approving this document
Location: Fort Lauderdale, FL
Date: 2020.06.05 10:05:26 -0400

GEORGE SANJUA, P.E.
FLORIDA LICENSE #46100



Abbas H. Zackria, FL AR 91520
Florida Registration: AA26009970
FAX: (954) 524-4128

www.wza-architects.com

**CITY OF POMPANO BEACH
MITCHELL MOORE PARK
IMPROVEMENTS
POMPANO BEACH, FL, 33060**

DRAWN BY: CB
CHECKED BY: GSJ
DATE: 06/05/2020

REVISIONS:

1907

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INDEX, SYMBOL LEGEND AND NOTES

GENERAL ELECTRICAL NOTES

- (GENERAL NOTES ARE PROVIDED AS A BASIC DESCRIPTION OF THE EXTENT AND QUALITY EXPECTED IN THIS PROJECT. IF A CONFLICT EXISTS BETWEEN THESE GENERAL NOTES AND THE REMAINDER OF THE CONTRACT DOCUMENTS THE SPECIFICATIONS, PLANS AND DETAILS WILL GOVERN.)
- THE ENTIRE INSTALLATION SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND STANDARDS:
A. FLORIDA STATE FIRE MARSHAL'S RULE 69A-3.012 FAC AND RULE CHAPTER 69A-40 FLORIDA ADMINISTRATIVE CODE (FAC) AND FLORIDA STATUTE SECTION 633.022.
B. NFPA 70: NATIONAL ELECTRICAL CODE (2014 EDITION)
C. NFPA 72: NATIONAL FIRE ALARM CODE (2013 EDITION)
D. NFPA 99: HEALTH CARE FACILITIES (2015 EDITION)
E. NFPA 101: LIFE SAFETY CODE (2015 EDITION)
F. NFPA 110: STANDARD FOR EMERGENCY AND STANDBY POWER SYSTEMS (2013 EDITION)
G. NFPA 780: STANDARD FOR THE INSTALLATION OF LIGHTNING PROTECTION SYSTEMS (2014 EDITION)
H. THE GUIDELINES FOR DESIGN AND CONSTRUCTION OF HEALTH CARE FACILITIES (FGI GUIDELINES, 2014 EDITION)
I. FLORIDA FIRE PREVENTION CODE (2015 EDITION)
 - AS A MINIMUM, ALL EQUIPMENT SHALL MEET APPLICABLE STANDARDS, FOR THE TYPE OF EQUIPMENT AND INTENDED USE, OF THE FOLLOWING:
A. AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI)
B. ILLUMINATING ENGINEERS SOCIETY (IES)
C. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM)
D. NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATES (NEMA)
E. NOTE: THESE STANDARDS ARE SUBORDINATE TO CODES AND STANDARDS SET BY U.L. ALL ELECTRICAL EQUIPMENT, DEVICES, WIRES, ETC., SHALL BE LISTED, FOR INTENDED USE, WITH UNDERWRITER'S LABORATORIES INC. (U.L.), WHERE STANDARDS HAVE BEEN ESTABLISHED BY U.L.
 - CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR NOTED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL VISIT THE JOB SITE AND VERIFY ALL CONDITIONS, LOCATIONS, DIMENSIONS AND COUNTS AS SHOWN ON THE DRAWINGS, PRIOR TO SUBMITTING BID. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE ALL LABOR, MATERIALS AND SUPERVISION NECESSARY TO ACCOMPLISH THE WORK AS SHOWN AND/OR NOTED ON THE PLANS.
 - ELECTRICAL CONTRACTOR SHALL NOT SCALE DRAWINGS. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATIONS OF ALL EQUIPMENT UNLESS NOTED OTHERWISE.
 - IT SHALL BE UNDERSTOOD THAT ALL WORK PERFORMED SHALL BE DONE BY A LICENSED CONTRACTOR AND IN A FIRST-CLASS WORKMANLIKE MANNER. SAID CONTRACTOR SHALL MEET ALL REQUIREMENTS SET FORTH BY ANY LOCAL ORDINANCE AND GOVERNING AUTHORITIES.
 - THE CONTRACTOR SHALL PROVIDE ALL REQUIRED INSURANCE FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF THE WORK. THE CONTRACTOR SHALL CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE YEAR FROM DATE OF ACCEPTANCE, UNLESS INDICATED OR SPECIFIED OTHERWISE.
 - SHALL NOT BE THE INTENT OF THESE PLANS AND/OR SPECIFICATIONS TO SHOW EVERY MINOR DETAIL OF CONSTRUCTION. THE CONTRACTOR SHALL BE EXPECTED TO FURNISH AND INSTALL ALL ITEMS FOR A COMPLETE ELECTRICAL SYSTEM AND PROVIDE FOR ALL REQUIREMENTS NECESSARY FOR EQUIPMENT TO BE PLACED IN PROPER WORKING ORDER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ORIGINAL CONDITIONS, ANY AND ALL DAMAGES TO BUILDING SURFACES, EQUIPMENT, ETC. CAUSED DURING THE PERFORMANCE OF WORK. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE OR DELAYS AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED THEREBY.
 - FOR ELECTRIC POWER SYSTEM, COORDINATE POWER SERVICE WITH POWER COMPANY. VERIFY LOCATION OF POWER SERVICE TERMINATION WITH POWER COMPANY, PRIOR TO SUBMITTING BID. CONTRACTOR TO VERIFY AVAILABLE SERVICE VOLTAGE AND PHASES WITH POWER COMPANY PRIOR TO BID AND PROVIDE EVIDENCE FOR ALTERNATES.
 - PROVIDE TEMPORARY ELECTRICAL SERVICE FOR USE BY ALL TRADES DURING CONSTRUCTION AND REMOVE SAME AT COMPLETION OF PROJECT.
 - CONTRACTOR SHALL KEEP ALL AREAS IN WHICH WORK IS BEING PERFORMED, FREE FROM DEBRIS AT ALL TIMES AND SAID AREAS SHALL BE LEFT BROOM CLEAN AT THE END OF EACH WORKING DAY.
 - CONTRACTOR SHALL PAY FOR ALL PERMITS, FEES, INSPECTIONS, AND TESTING COSTS.
 - COORDINATE ALL ELECTRICAL SITE WORK WITH ALL OTHER TRADES CONTRACTORS.
 - IT SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR FOR THE ADVANCE ORDERING OF LONG LEAD ITEMS, AS TO NOT INTERFERE WITH THE PRODUCTION OF OTHER TRADES RESULTING IN ANY DOWN OR LAG TIME. THE CONTRACTOR SHALL NOT ORDER ANY ITEMS UNTIL APPROVED SHOP DRAWINGS ARE RETURNED TO HIM.
 - ELECTRICAL SUBMIT (5 COPIES) EQUIPMENT LAYOUT OF ALL ELECTRICAL SPACES, ROOMS, ETC., TO ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSTALLING CONDUITS, ETC. LAYOUT SHALL CONSIST OF PLAN VIEWS (SCALED AS REQUIRED) AND ELEVATIONS (DIMENSIONED) FOR EACH SUCH SPACE, ROOM, ETC.
 - CONTRACTOR SHALL SUBMIT AT ONE TIME, SIX (6) SETS OF LOOSE-LEAF BOUND BOOKS, INDEXED WITH ALL PRODUCTS, MATERIALS, LIGHT FIXTURES, LAMPS, WIRING DEVICES, SWITCHGEAR, ETC. CLEARLY HIGHLIGHTING ALL EQUIPMENT QUANTITIES AND DETAILS. ALL EQUIPMENT SHALL BE AS SPECIFIED ON PLANS; THE RESPONSIBILITY TO ACCEPT OR REJECT ANY PROPOSED SUBSTITUTION REMAINS WITH THE PROJECT ENGINEER. THE CONTRACTOR MAY AT HIS JUDGMENT USE ANY ARTICLE, DEVICE, PRODUCT, OR MATERIAL WHICH IN THE JUDGMENT OF THE ENGINEER EXPRESSED IN WRITING ARE EQUAL TO THAT SPECIFIED.
 - ALL CONDUCTORS SHALL BE COPPER, UNLESS OTHERWISE SPECIFIED. WHERE OTHERWISE REQUIRED BY U.L. OR CODES, MINIMUM WIRE SIZE SHALL BE #12 AWG, EXCLUDING CONDUIT WIRING. ALUMINUM CONDUCTORS ARE NOT PERMITTED.
 - ALL CONDUCTORS SHALL BE IN CONDUITS. ALL CONDUITS SHALL BE GALVANIZED RIGID STEEL (RGS) EXCEPT THAT: (a) PVC CONDUITS MAY BE USED UNDERGROUND PROVIDED ELBOWS AND RISERS ARE GALVANIZED RIGID STEEL OR SCHEDULE 80 PVC, WHERE SUBJECT TO PHYSICAL DAMAGE (b) ELECTRICAL METALLIC TUBING (EMT) MAY BE USED IN OR ON WALLS OR CEILINGS WHERE NOT SUBJECT TO MECHANICAL DAMAGE, DAMP OR CORROSIVE CONDITIONS, (c) LIQUID TIGHT FLEXIBLE CONDUIT WHERE REQUIRED, (d) FLEXIBLE METALLIC CONDUIT WHERE REQUIRED IN DRY LOCATIONS ONLY, (e) MC CABLE WITH DEDICATED GREEN GROUNDING CONDUCTOR WHERE PERMITTED. ALL CONDUITS IN HAZARDOUS AREAS (PER NEC) SHALL MEET THE REQUIREMENTS OF NEC CHAPTER 5.
 - FOR UNDERGROUND ELECTRICAL CONDUITS, PROVIDE PULL BOXES, SUCH THAT NO SINGLE CONDUIT RUN HAS BENDS IN EXCESS OF 360°. PULL BOXES SHALL BE SUITABLE AND APPROVED FOR THE INTENDED USE. WARNING TAPE WHICH SAID "WARNING BURIED ELECTRIC" SHALL BE PLACED IN TRENCHES ABOVE ALL UNDERGROUND ELECTRIC CONDUITS. WHERE CONDUITS PASS UNDERNEATH PAVED AREAS, THEY SHALL BE PVC. WHERE UNDERGROUND CONDUITS ARE NOT EXPOSED TO MECHANICAL DAMAGE OR ARE NOT UNDER PAVED AREAS, THEY SHALL BE SCHEDULE 40 PVC.
 - ALL CONDUIT RUNS ARE SHOWN DIAGRAMMATIC. EXACT ROUTING SHALL BE DETERMINED IN THE FIELD, UNLESS OTHERWISE NOTED.
 - WIRERAYS SHALL BE SIZED AS REQUIRED, PER NEC, UNLESS OTHERWISE NOTED (UON).
 - WHERE CORE DRILLING OF FLOOR/WALLS IS REQUIRED, CONTRACTOR SHALL SEAL OPENINGS WATERIGHT AFTER UTILITIES HAVE BEEN INSTALLED. LOCATION OF CORED HOLES SHALL COORDINATE WITH LOCATION OF EQUIPMENT IN A MANNER TO BE CLEAR AND FUNCTIONAL. THE CONTRACTOR SHALL INSTALL ONLY ONE CONDUIT PER HOLE AND SEAL THE OPENING AROUND THE CONDUIT AS SPECIFIED.
 - PROVIDE FIRE RETARDANT U.L.L. APPROVED SEALANT ON ALL PENETRATIONS OF FIRE RATED PARTITIONS, WALLS AND STRUCTURAL SLABS. CONTRACTOR TO VERIFY, PRIOR TO SUBMITTING BID, LOCATIONS OF ALL SUCH FIRE RATED PARTITIONS, WALL AND STRUCTURAL SLABS.
 - UNLESS NOTED AS EXISTING, ALL EQUIPMENT, WIRING, DEVICES, ETC. SHALL BE NEW.
 - ALL CIRCUIT BREAKERS SHALL BE INVERSE TIME TYPE (THERMAL MAGNETIC OR SOLID STATE AS REQUIRED BY SPECIFICATION). TWO AND THREE POLE CIRCUIT BREAKERS SHALL BE COMMON TRIP. NO THE HANDLES PERMITTED.

GENERAL LIGHTING NOTES:

- CONTRACTOR SHALL COMPLY WITH 2014 FBC SECTION R404.1. MINIMUM OF 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS.
- REFER TO ARCHITECTURAL REFLECTED CEILING PLAN FOR EXACT LOCATION OF LIGHT FIXTURES.
- COORDINATE TYPE OF CEILING FOR CEILING PLAN WITH ARCHITECTURAL REFLECTED CEILING PLANS AND PROVIDE FIXTURE TRIM AS REQUIRED.
- ALL COMPACT FLUORESCENT DOWNLIGHTS SHALL USE LAMPS WITH 3500K TEMPERATURE, MINIMUM 10,000 HOUR LIFE, ELECTRONIC BALLAST, UNLESS OTHERWISE NOTED.
- PROVIDE APPROVED FIRE RATED ENCLOSURES FOR ALL LIGHT FIXTURES LOCATED IN FIRE RATED CEILINGS.
- FIXTURES IN AREAS WITHOUT CEILINGS, OR IN MECHANICAL AND ELECTRICAL ROOMS SHALL BE MOUNTED WITH 1/2" X 1/2" NICKENIOR CHANNEL SUPPORTS EXTENDING FROM ROOF STRUCTURE WITH THREAD RODS. FIXTURES SHALL BE MOUNTED 10"-0" A.F.F.
- ALL ACRYLIC LENSED FIXTURES SHALL HAVE A LENS THICKNESS OF .125 INCHES MINIMUM.
- HALF SHADED FIXTURES DENOTE EMERGENCY FIXTURES EITHER WITH 1100 LUMEN EMERGENCY BATTERY PACK OR ON LIFE SAFETY CIRCUIT.
- LIGHTING FIXTURE SCHEDULE IS PREDICTED ON PERFORMANCE AND IS DESIGNED TO MEET CERTAIN AESTHETIC CRITERIA. ALL ALTERNATE SELECTIONS MUST BE SUBMITTED FOR PRIOR APPROVAL TEN (10) DAYS PRIOR TO BID DATE.
- ALL BALLASTS SHALL HAVE MINIMUM POWER FACTOR OF 0.90. ALL BALLASTS FOR METAL HALIDE AND HIGH PRESSURE SODIUM FIXTURES SHALL BE CONSTANT WATTAGE TYPE WITH +/-5% LAMP WATTS FOR +/-10% NOMINAL LINE VOLTAGE VARIATION.
- PROVIDE LAMPS WITH FIXTURES, VERIFY LAMP TYPE WITH MANUFACTURER.
- FLUORESCENT LUMINAIRES THAT UTILIZE DOUBLE-ENDED LAMPS AND CONTAIN BALLAST(S) OR MULTIWIRE BALLASTED LUMINAIRES SHALL CONTAIN AN INTEGRATED INTERNAL DISCONNECT AND TO BE COMPLIED WITH NEC 410.130(C).
- ALL OPENINGS FOR LIGHT FIXTURES IN CEILINGS SHALL BE PROTECTED IN A MANNER (PER ALL GOVERNING CODES) THAT WILL PROVIDE THE SAME RATING AS THE CEILING. (THIS APPLIES TO ALL FIRE RATED CEILINGS).
- FOR EMERGENCY EXIT SIGNS AND EMERGENCY BATTERY PACKS MAKE CONNECTION AHEAD OF ALL SWITCHES AND CONTROLS.
- PROVIDE A FUSE HOLDER AND FUSE (BUSSMAN HEB AND FNQ OR EQUAL), IN THE PRIMARY SIDE OF EACH UNGROUNDED CONDUCTOR FOR ALL BALLASTS AT THE HAND HOLE OF EACH EXTERIOR POLE MOUNTED LIGHTING FIXTURE OR J-BOX FOR WALL OR GROUND MOUNTED FIXTURE.
- PROVIDE WIND LOAD RATED LIGHT POLES WITH 170 MPH MINIMUM WIND SPEED (ASCE 7). EXPOSURE C WITH IMPORTANCE FACTOR OF 1.0, AND PROVIDE PHOTOMETRICS WITH ALL FIXTURE SUBMITTALS. CONTRACTOR TO VERIFY VOLTAGES OF ALL LIGHT FIXTURES PRIOR TO BIDDING.
- PHOTOMETRICS ARE BASED ON MANUFACTURER'S INFORMATION AND CATALOG NUMBERS. ALTERNATE MANUFACTURERS MUST PROVIDE THE IESNA FORMAT ELECTRONIC DATA SHEET (EDS) INDEPENDENT TEST LAB REPORTS FOR THE PROPOSED FIXTURES ON CD OR USB DRIVE 10 WORKING DAYS PRIOR TO BID. (SPECIFIER) WILL CONFIRM THAT THE PHOTOMETRIC CRITERIA HAS BEEN MET, AND IF ALTERNATE IS APPROVED WILL ISSUE AN ADDENDUM. MANUFACTURERS NOT LISTED ON THE PLANS OR IN AN ADDENDUM WILL NOT BE ACCEPTED.
- TO CONFIRM THAT THE SPECIFIED PHOTOMETRIC CRITERIA HAS BEEN MET, A COMPUTER DISK CONTAINING AN IES FILE FOR THE PROPOSED ALTERNATE MUST BE SUBMITTED TO (SPECIFIER) FOR EVALUATION NO LESS THAN 10 DAYS PRIOR TO BID. ANY ACCEPTABLE ALTERNATE MUST BE APPROVED IN WRITING PRIOR TO BID DATE.
- CONTRACTOR MUST BID PROJECT USING SPECIFIED LIGHTING FIXTURES AS BASE BID (NO EXCEPTIONS). IF ALTERNATE FIXTURES ARE PROPOSED, THEY MUST BE BID AS AN ALTERNATE BID MUST INCLUDE:
A) TOTAL DOLLAR CREDIT TO OWNER IF ALTERNATE IS ACCEPTED.
B) LINE ITEM CREDIT FOR EACH ALTERNATE FIXTURE PROPOSED.
C) CATALOG SUBMITTAL DATA FOR EACH ALTERNATE FIXTURE PROPOSED.
- IF THERE IS A DISCREPANCY BETWEEN A FIXTURE DESCRIPTION AND GENERAL NOTES, AND THE CATALOG NUMBER LISTED, THE FIXTURE DESCRIPTION AND GENERAL NOTES SHALL GOVERN.
- COORDINATE FIXTURE TYPES WITH ARCHITECTURAL DRAWINGS.
- INTERNALLY ILLUMINATED EXIT SIGNS SHALL NOT EXCEED 5 WATTS PER SIDE.
- RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE UNDER CONDITIONED AND UNCONDITIONED SPACES. ALL RECESSED LUMINAIRES SHALL BE IC-RATED AND LABELED AS MEETING ASTM E 285 WHEN TESTED AT 75 Pa PRESSURE DIFFERENTIAL WITH NO MORE THAN 2.0 CFM OF AIR MOVEMENT FROM THE CONDITIONED SPACE TO THE CEILING CAVITY. ALL RECESSED LUMINAIRES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
- ALL EXTERIOR PARKING LIGHTING SHALL MEET IES ILLUMINATION STANDARDS AND LOCAL CODE REQUIREMENTS.

ELECTRICAL SYMBOL LEGEND

SYMBOL	DESCRIPTION
	LIGHTING (REFER TO LIGHTING FIXTURE SCHEDULE) LIGHT FIXTURE DESIGNATION. LIGHTING FIXTURE, SURFACE MOUNTED LIGHTING FIXTURE (HID, FLUORESCENT OR INCANDESCENT), RECESSED MTD. LIGHTING FIXTURE, WALL MOUNTED EXIT LIGHT FIXTURE. DIRECTION ARROWS AS SHOWN WALL MOUNTED EXIT LIGHT FIXTURE (SHADED QUADRANT INDICATES FACE(S) OF FIXTURE) 2 X 2 FLUORESCENT LIGHT FIXTURE 2 X 4 FLUORESCENT LIGHT FIXTURE DIAGONAL SHADING DENOTES LIGHT FIXTURE CONNECTED TO EMERGENCY BRANCH CIRCUIT OR, W/EMERG, 90 MIN. BATTERY PACK. DIAGONAL SHADING DENOTES LIGHT FIXTURE CONNECTED TO EMERGENCY BRANCH CIRCUIT OR, W/EMERG, 90 MIN. BATTERY PACK. FLUORESCENT WALL MOUNTED FIXTURE WITH WALL OUTLET BOX FLUORESCENT STRIP FIXTURE DIAGONAL SHADING DENOTES LIGHT FIXTURE CONNECTED TO EMERGENCY BRANCH CIRCUIT OR, W/EMERG, 90 MIN. BATTERY PACK. EXTERIOR LIGHT FIXTURE WITH ARMS AS SHOWN ON DRAWINGS EMERGENCY BATTERY WALL PACK WITH TWIN HEADS TOGGLE SWITCH 120/277V, 20 AMP, (M.H. = 48" A.F.F.) TOGGLE SWITCH 120/277V, 20 AMP, (M.H. = 48" A.F.F.), 3-WAY TOGGLE SWITCH 120/277V, 20 AMP, (M.H. = 48" A.F.F.), 4-WAY LIGHTING CONTROL BY-PASS SWITCH, (MAX. 2 HOUR OVER-RIDE) TOGGLE SWITCH 120/277V, 20 AMP, KEYSWITCH, (M.H. = 48" A.F.F.) FAN SWITCH 120/277V, 20 AMP, (HORSEPOWER RATED) 30-MINUTE ROTATABLE TIMER SWITCH (M.H. = 48" A.F.F.) TOGGLE SWITCH 120/277V, 20 AMP, WITH PILOT LIGHT, (M.H.=48"A.F.F.) TOGGLE SWITCH 120/277V, 20 AMP, EXPLOSION-PROOF, (M.H.=48"A.F.F.) SPEED SWITCH 120/277V, 20 AMP, U.O.N. (M.H. = 48" A.F.F.) SINGLE PHASE MANUAL MOTOR STARTER, (M.H.=48" A.F.F.) DIMMER SWITCH 120/277V, 20 AMP, (M.H.=48" A.F.F.) (1500 WATTS UNLESS OTHERWISE INDICATED) THREE-WAY DIMMER SWITCH (48" A.F.F.) SINGLE POLE SWITCH (48" A.F.F.) (SUBSCRIPT INDICATES ITEM CONTROLLED) Panic SWITCH, MUSHROOM TYPE, (M.H.=48" A.F.F.) WALL MOUNTED - OCCUPANCY SENSOR SWITCH, (M.H.=48" A.F.F.) MFGOR./MODEL# SENSOR SWITCH/#WSD-PDT (a, b) OR (2) INDICATES TWO POLE SWITCH - WSD-PDT-2P LV INDICATES LOW VOLTAGE - WSD-PDT-LV CEILING MOUNTED OCCUPANCY SENSOR - LIGHTING CIRCUIT CONTROLLER. MFGOR./MODEL# SENSOR SWITCH/#M-PDT CEILING MOUNTED DUAL TECHNOLOGY EXTENDED RANGE OCCUPANCY SENSOR - LIGHTING CIRCUIT CONTROLLER. SENSOR SWITCH/#CM-PDT-10. WALL MOUNTED - OCCUPANCY SENSOR (M.H.=96"A.F.F.) MFGOR./MODEL#WV-PDT POWER PACK OCCUPANCY SENSOR NOTE: CONTRACTOR SHALL PROVIDE ALL SWITCHPACKS AND CONDUCTORS AS REQUIRED FOR LAYOUTS AND CONTROLS SHOWN ON PLANS. BASIC MATERIALS DUPLEX RECEPTACLE, 20 AMP., 125V, (M.H.=18"A.F.F.) FLOOR OUTLET BOX AND DUPLEX RECEPTACLE 20 AMP., 125V., WITH APPROPRIATE FLANGE. CEILING OUTLET BOX AND DUPLEX RECEPTACLE 20A, 125V. DUPLEX RECEPTACLE, 20 AMP., 125V., TOP HALF SWITCHED, M.H. = 18" A.F.F., UNLESS OTHERWISE NOTED DUPLEX RECEPTACLE, 20 AMP., 125V., ISOLATED GROUND AND SURGE PROTECTED, (M.H.=18"A.F.F.) SINGLE RECEPTACLE, 20 AMP., 125V., COORDINATE M.H. WITH EQUIPMENT. SIMPLEX RECEPTACLE (16" A.F.F.) (EWC DENOTES ELECTRIC WATER COOLER. COORDINATE WITH EWC INSTALLER FOR MOUNTING HEIGHT) TWO DUPLEX RECEPTABLES WITH COMMON COVER 20A., 125V.,(18" A.F.F.) TWO DUPLEX RECEPTABLES WITH COMMON COVER 20A., 125V.,(42" A.F.F.) DUPLEX RECEPTACLE, 20 AMP., 125V., MOUNT ABOVE COUNTER @42"AF. SPECIAL PURPOSE OUTLET e.g., RANGE OUTLET, COORD. W/ EQUIP. GFI DUPLEX RECEPTACLE, 20 AMP., 125V., (M.H.=18"A.F.F.) GFI DUPLEX RECEPTACLE, 20 AMP., 125V., MTD. ABOVE COUNTER (VERIFY HEIGHT) 30 AMP., 125V., TWIST LOCK RECEPTACLE FOR FLOOR POLISHING MACHINE JUNCTION BOX, MOUNTING AS SHOWN POWER POLE ELECTRIC MOTOR, NUMBER INDICATES HORSEPOWER MAGNETIC MOTOR STARTER OR CONTACTOR, COMBINATION MAGNETIC MOTOR STARTER, SIZE AS NOTED DISCONNECT SWITCH, SIZE AS NOTED # OF POLES - AMP RATING/FRAME - NEMA 3R- FOR EXTERIOR - NEMA 1- FOR INTERIOR - FUSE SIZE (* DENOTES AS PER MANUFACTURER) LIGHTING CONTROL TIME CLOCK PHOTOCELL, MOUNTED ON ROOF FACING NORTH SHUNT-TRIP BUTTON - FLUSH MOUNTED UNLESS OTHERWISE NOTED PLUG-IN STRIP WITH RECEPTABLES, 18" O.C. UNLESS OTHERWISE INDICATED CABLE TRAY GROUND OR GROUND ROD AS NOTED CONDUIT TURNING UP CONDUIT TURNING DOWN CONDUIT STUB CONDUIT CONTINUED NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT.

SYSTEMS SYMBOL LEGEND

SYMBOL	DESCRIPTION
	CALL BACK PUSH BUTTON CIRCUIT BREAKER, TYPE AND SIZE AS PER DRAWINGS. SECURITY SYSTEM KEYPAD CLOCK BELL AIR HANDLING UNIT SHUT-DOWN RELAY POWER ON INDICATOR WITH KEYPED RESET SERVICE AND DISTRIBUTION ELECTRICAL BRANCH CIRCUIT PANELBOARD, RECESS MOUNTED. (SEE PANEL SCHEDULE FOR DETAILS) ELECTRICAL BRANCH CIRCUIT PANELBOARD, SURFACE MOUNTED. (SEE PANEL SCHEDULE FOR DETAILS) TRANSFORMER, SIZE AS NOTED AUTOMATIC TRANSFER SWITCH EXISTING EQUIPMENT TO REMAIN NEW EQUIPMENT OR WORK OF THIS PROJECT TELEPHONE/COMPUTER RACEWAY SYSTEM TELEPHONE/COMPUTER TERMINAL BOARD "TIB" INTERCOM SYSTEM SPEAKER COMPUTER/TELEPHONE OUTLET WITH (2) 8-CONDUCTOR RJ-45 JACKS IN A SINGLE-GANG BOX MOUNTED AT 18" A.F.F. C = ABOVE THE COUNTER P = PUBLIC PAY (48" A.F.F.) W = WALL MOUNTED (18" A.F.F.) DATA/TELEPHONE PORT - CEILING MOUNTED DATA/TELEPHONE PORT - FLOOR MOUNTED TELEVISION SIGNAL WALL OUTLET (M.H. = 18" A.F.F.) WITH 8-CONDUCTOR RJ-45 JACK AND F-TYPE RG6 COAX JACK IN SINGLE-GANG BOX. TELEVISION SIGNAL WALL OUTLET F-TYPE RG6 COAX JACK & COMPUTER/TELEPHONE OUTLET (2) 8-CONDUCTOR RJ-45 JACKS IN SINGLE-GANG BOX. (18" A.F.F.) SECURITY SYSTEM SECURITY SYSTEM CAMERA, PROVIDE POWER AND SIGNAL CONNECTION, SEE SPECS. SECURITY SYSTEM MONITORS AND RECORDERS, SEE SPECS. SECURITY SYSTEM CARD READER, SEE SPECS. SECURITY SYSTEM JUNCTION BOX AT ACCESSIBLE LOCATION. SECURITY SYSTEM HIDDEN PUSH BUTTON FOR DOOR STRIKE RELEASE, COORDINATE INSTALLATION WITH FURNITURE OR EQUIPMENT. SECURITY SYSTEM SPEAKER WITH INTEGRAL MICROPHONE SECURITY SYSTEM KNOX BOX FIRE ALARM/DETECTION SYSTEM FIRE ALARM MANUAL PULL STATION 48" A.F.F. COMBINATION AUDIBLE/VISUAL SIGNALING UNIT - FIRE ALARM HORN (SPEAKER) FLASHING STROBE LIGHT (WALL MTD.) MOUNT AT 50" A.F.F. OR 6" BELOW CEILING WHICHEVER IS LOWER. WP DENOTES WEATHERPROOF ENCLOSURE VISUAL SIGNALING UNIT - FLASHING STROBE LIGHT ONLY (80" TO BOTTOM) (NO AUDIO DEVICE) PHOTO-ELECTRIC SMOKE DETECTOR E = ELEVATOR I = IONIZATION DUCT MOUNTED SMOKE DETECTOR, WITH SAMPLE TUBE, REMOTE TEST AND HEAVY DUTY CONTROL RELAY. R = RETURN S = SPLIT TYPICAL 120V. RESIDENTIAL TYPE SMOKE DETECTOR WITH SOUNDER BASE AND BATTERY BACK-UP. TYPICAL 120V. RESIDENTIAL TYPE COMBO SMOKE DETECTOR/CARBON MONOXIDE WITH SOUNDER BASE AND BATTERY BACK-UP. FIRE ALARM SPEAKER (WALL OR CEILING MOUNTED) FIREFIGHTER'S PHONE JACK HEAT DETECTOR, FIXED TEMPERATURE (135°) UNLESS OTHERWISE INDICATED FIRE ALARM FLOW SWITCH (FURNISHED BY SPRINKLER CONTRACTOR) FIRE ALARM TAMPER SWITCH (FURNISHED BY SPRINKLER CONTRACTOR) MOTION SENSOR - CEILING MOUNTED MONITOR MODULE FIRE ALARM CONTROL PANEL - ADDRESSABLE FIRE ALARM REMOTE ANNUNCIATOR PANEL - FLUSH MOUNTED FIRE ALARM TERMINAL CABINET FIREFIGHTER'S ELEVATOR WARNING LIGHT NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT.
ABBREVIATIONS	
A.C.	ABOVE COUNTER
A.F.	ARC FAULT
A.F.F.	ABOVE FINISHED FLOOR
A.S.W.	ABOVE SHOW WINDOW RCPT.
B.F.C.	BELOW FINISHED CEILING
B.F.G.	BELOW FINISHED GRADE
C.B.	CIRCUIT BREAKER
CL	CENTER LINE
D	DEDICATED FOR COMPUTER, PROVIDE DEDICATED GROUND AND NEUTRAL
IG	ISOLATED GROUND (ORANGE DEVICE)
EM	PROVIDE EMERGENCY BATTERY PACK W/FIXTURE, CONNECT AHEAD OF ALL SWITCHES.
EX	EXISTING
ER	EXISTING RELOCATED
G.F.I.	GROUND FAULT INTERRUPTER
L.C.	LOCKABLE COVER
M.H.	MOUNTING HEIGHT
N	NEW DEVICE
N.F.	NON FUSED
NL	NIGHT LIGHT
RE	EXISTING TO BE REMOVED
T.C.	TERMINAL CABINET
T.S.	TIME SWITCH
U.O.N.	UNLESS OTHERWISE NOTED
WP.	WEATHER PROOF ENCLOSURE
XFMR.	TRANSFORMER.
X-XXX	DETAIL SHEET NUMBER
NOTE: SOME SYMBOLS SHOWN ON THIS LEGEND MAY NOT PERTAIN TO THIS PROJECT.	

ELECTRICAL INDEX

DRAWING	INDEX, SYMBOL LEGEND AND NOTES
1	E-1.00
2	E-2.00
3	E-3.00
4	E-4.00
5	E-
6	E-

SHOP DRAWING REQUIREMENTS

- CONTRACTOR SHALL SUBMIT 6 COPIES OF COMPLETED SHOP DRAWINGS, TOGETHER AT ONE TIME AND MUST COME THROUGH THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN 30 DAYS OF NOTICE TO PROCEED.
- ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE. IF NOT, THE SUBMITTAL SHALL BE REJECTED.
- SUBSTITUTIONS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONSTRUCTION DOCUMENTS. PRODUCTS CONSIDERED TO BE EQUAL SHALL BE REVIEWED AND ACCEPTED BY THE ENGINEER, ARCHITECT AND OWNER (10) DAYS PRIOR TO BID DATE.
- THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR PROCEEDING PRIOR TO INSTALLATION WHICH MAY NOT BE ACCEPTED. IF ACCEPTED IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
- SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWICE. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED.
- CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS NOT PROCESSED PRIOR TO INSTALLATION MAY NOT BE ACCEPTED. IF ACCEPTED IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
- SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS, WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT, THAT RESULT IN REQUIREMENTS IN LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.
- CONTRACTOR SHALL SUBMIT 6 COPIES OF EQUIPMENT LAYOUTS OF ALL ELECTRICAL SPACES, ROOMS, ETC., TO THE ENGINEER FOR APPROVAL PRIOR TO ORDERING EQUIPMENT OR INSTALLING CONDUITS, ETC. THE LAYOUTS SHALL CONSIST OF PLAN VIEWS AT A SCALE OF 1/2" = 1'0" AND ELEVATIONS FOR EACH SUCH SPACE OR ROOM, ETC.



Digitally signed by George Sanjuan
 Reason: I am approving this document
 Location: Fort Lauderdale, FL
 Date: 2020.06.05 10:06:05 -0400
 GEORGE SANJUAN, P.E.
 FLORIDA LICENSE #46100

WALTERS ZACKRIA ARCHITECTS
 5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
 PHONE: (954) 522-4123
 FAX: (954) 522-4128
 www.wza-architects.com

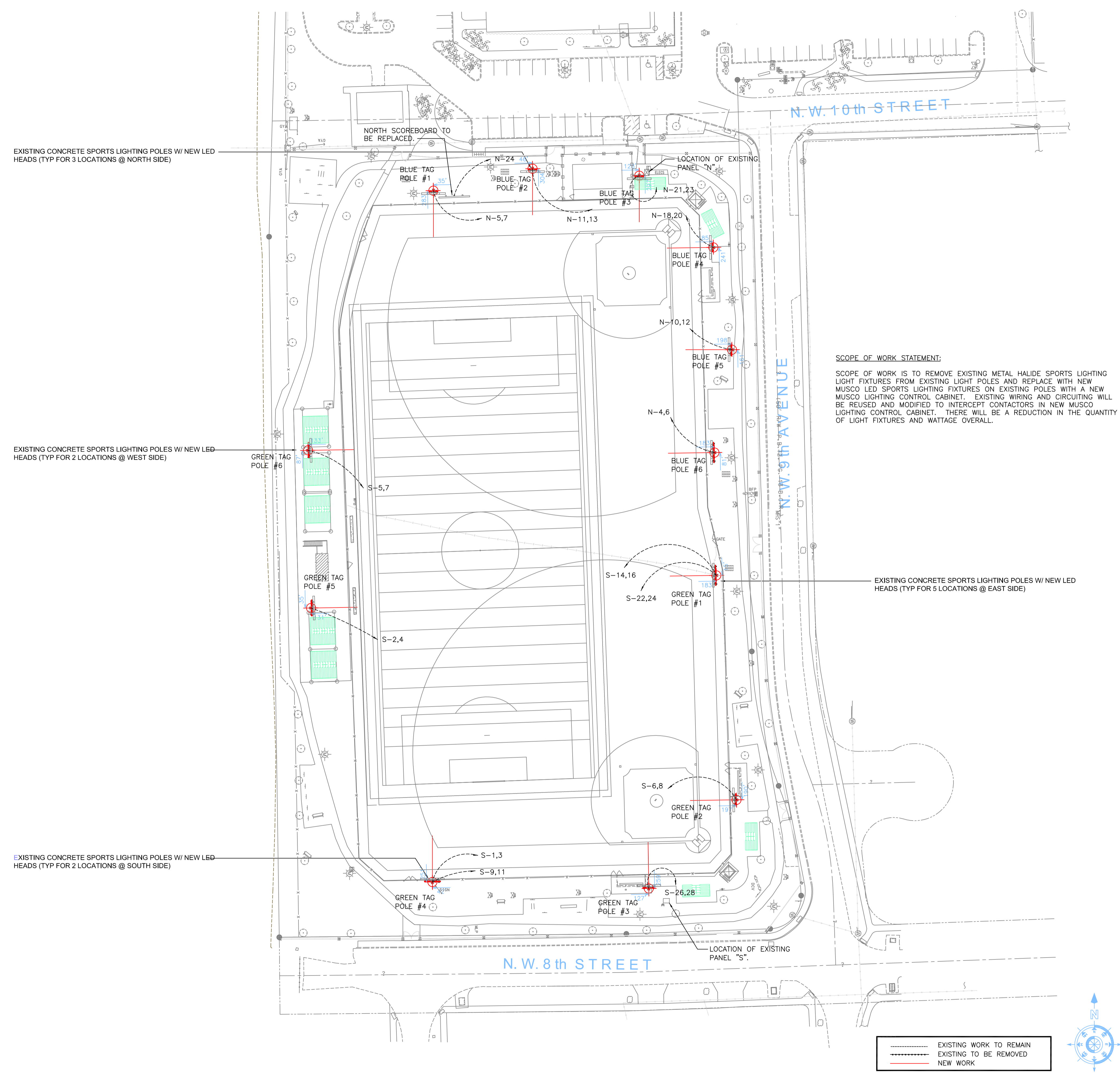
Abhus H. Zackria, FL AR 91520
 Florida Registration: AA2600970

CORPORATE NAME: WALTERS ZACKRIA ASSOCIATES, PLLC REGISTERED IN THE STATE OF FLORIDA. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THESE DRAWINGS ARE THE PROPERTY OF WALTERS ZACKRIA ASSOCIATES, PLLC, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM A PRINCIPAL OF THE FIRM OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.

**CITY OF POMPANO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPANO BEACH, FL, 33060**

DRAWN BY: CB
 CHECKED BY: GSI
 DATE: 06/05/2020
 REVISIONS:

1907
E2.00
 PROPOSED SITE PLAN - ELECTRICAL

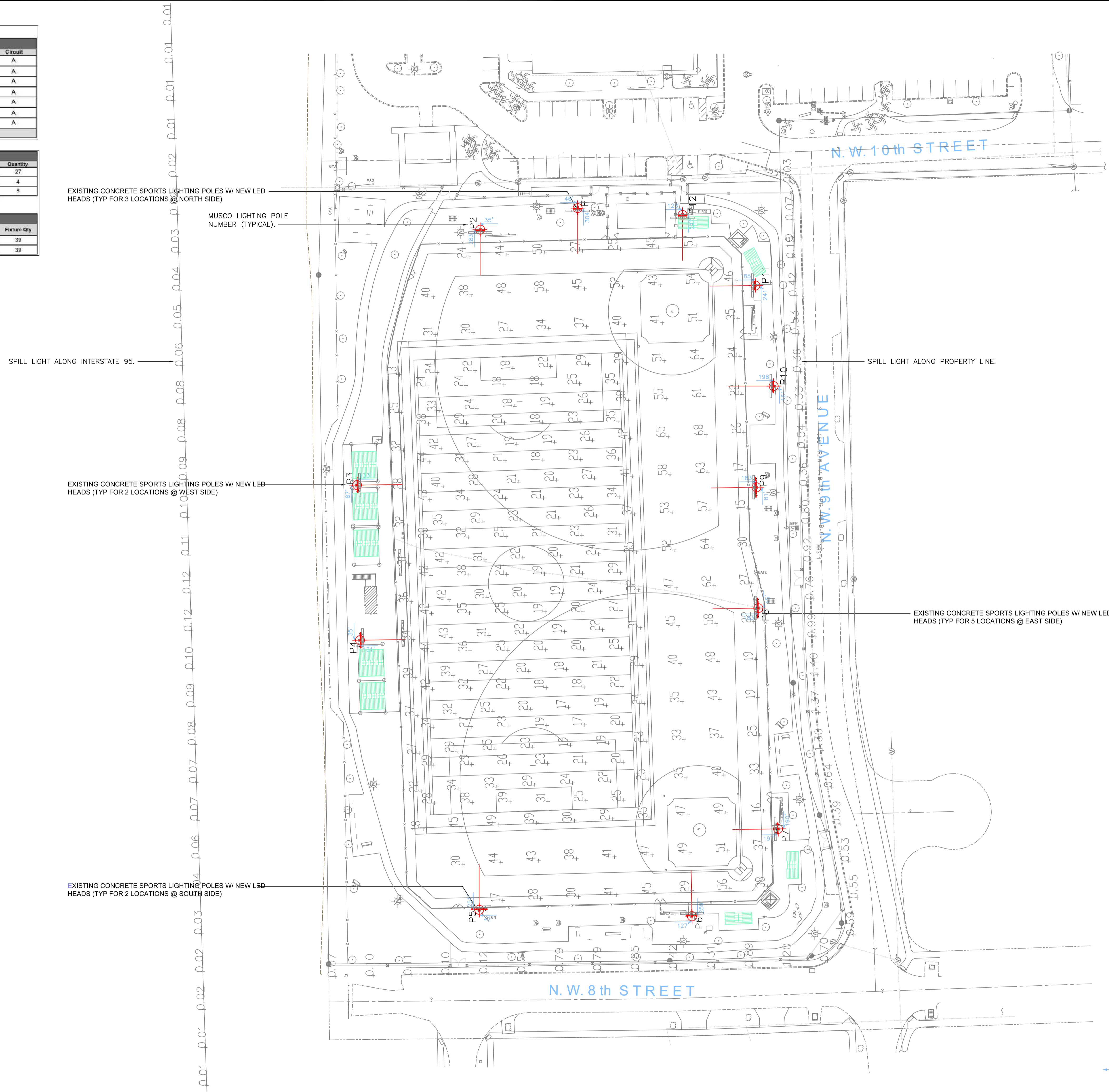


1 PROPOSED SITE PLAN - ELECTRICAL
 SCALE: 1" = 40'-0"

Lighting System						
Pole / Fixture Summary						
Pole ID	Pole Height	Mtg Height	Fixture Qty	Luminaire Type	Load	Circuit
P1-P2	50'	50'	2	TLC-LED-1500	2.86 kW	A
P3-P5	50'	50'	4	TLC-LED-1500	5.72 kW	A
P6-P7	50'	50'	3	TLC-LED-1200	3.51 kW	A
P8-P9	50'	50'	1	TLC-LED-1200	1.17 kW	A
	50'	50'	4	TLC-LED-1500	5.72 kW	A
P10	50'	50'	3	TLC-LED-1500	4.29 kW	A
P11-P12	40'	40'	2	TLC-LED-900	1.78 kW	A
12			39		51.53 kW	

Fixture Type Summary							
Type	Source	Wattage	Lumens	L80	L80	L70	Quantity
TLC-LED-1500	LED 5700K - 75 CRI	1430W	150,000	>81,000	>81,000	>81,000	27
TLC-LED-900	LED 5700K - 75 CRI	850W	85,500	>81,000	>81,000	>81,000	4
TLC-LED-1200	LED 5700K - 75 CRI	1170W	136,000	>81,000	>81,000	>81,000	8

Light Level Summary								
Calculation Grid Summary								
Grid Name	Calculation Metric	Illumination					Circuits	Fixture Qty
		Avg	Min	Max	Max/Min	Avg/Min		
Area Grid	Horizontal	34	13	68	5.22	2.62	A	39
Multipurpose	Horizontal Illuminance	27.4	17	44	2.54	1.61	A	39



EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 3 LOCATIONS @ NORTH SIDE)

MUSCO LIGHTING POLE NUMBER (TYPICAL)

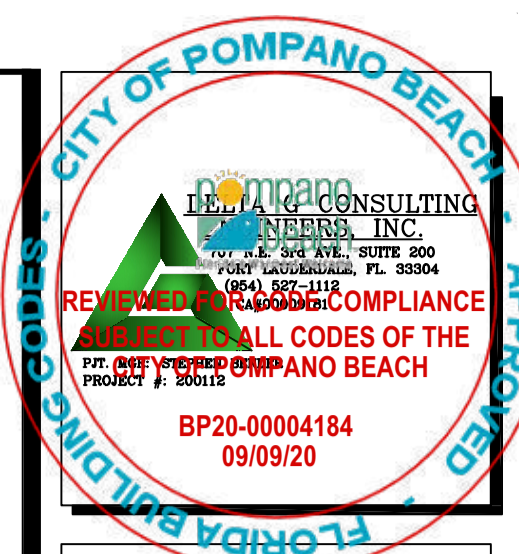
SPILL LIGHT ALONG INTERSTATE 95.

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 2 LOCATIONS @ WEST SIDE)

SPILL LIGHT ALONG PROPERTY LINE.

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 5 LOCATIONS @ EAST SIDE)

EXISTING CONCRETE SPORTS LIGHTING POLES W/ NEW LED HEADS (TYP FOR 2 LOCATIONS @ SOUTH SIDE)



Digitally signed by George Sanjuan
 Reason: I am approving this document
 Location: Fort Lauderdale, FL
 Date: 2020.06.05 10:06:30 -0400
 GEORGE SANJUAN, P.E.
 FLORIDA LICENSE #46100

WALTERS ZACKRIA ARCHITECTS
 5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
 PHONE: (954) 522-4123
 FAX: (954) 522-4128
 www.wza-architects.com

Abbas H. Zackria, FL AR 91520
 Florida Registration: AA26009970

CORPORATE NAME: WALTERS ZACKRIA ASSOCIATES, PLLC REGISTERED IN THE STATE OF FLORIDA. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THESE DRAWINGS ARE THE PROPERTY OF WALTERS ZACKRIA ASSOCIATES, PLLC, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM A PRINCIPAL OF THE FIRM OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.

**CITY OF POMPANO BEACH
 MITCHELL MOORE PARK
 IMPROVEMENTS
 861 NW 9TH AVENUE
 POMPANO BEACH, FL, 33060**

DRAWN BY: CB
 CHECKED BY: GSJ
 DATE: 06/05/2020
 REVISIONS:

1907

E3.00

PROPOSED SITE PLAN - PHOTOMETRICS

BLUE TAG POLE IDENTIFIER - NORTH ELECTRICAL SERVICE

POLE IDENTIFIER	QUANTITY OF EXISTING 1500 WATT METAL LAMPS TO BE REMOVED	WATTAGE OF NEW REPLACEMENT MUSCO LED SPORTS LIGHTING
BLUE TAG POLE NUMBER #1	5 x 1,610 WATTS = 8,050 WATTS	2,860 WATTS
BLUE TAG POLE NUMBER #2	5 x 1,610 WATTS = 8,050 WATTS	2,860 WATTS
BLUE TAG POLE NUMBER #3	5 x 1,610 WATTS = 8,050 WATTS	1,780 WATTS
BLUE TAG POLE NUMBER #4	5 x 1,610 WATTS = 8,050 WATTS	1,780 WATTS
BLUE TAG POLE NUMBER #5	5 x 1,610 WATTS = 8,050 WATTS	4,290 WATTS
BLUE TAG POLE NUMBER #6	5 x 1,610 WATTS = 8,050 WATTS	6,890 WATTS
	-48,300 WATTS	+20,460 WATTS

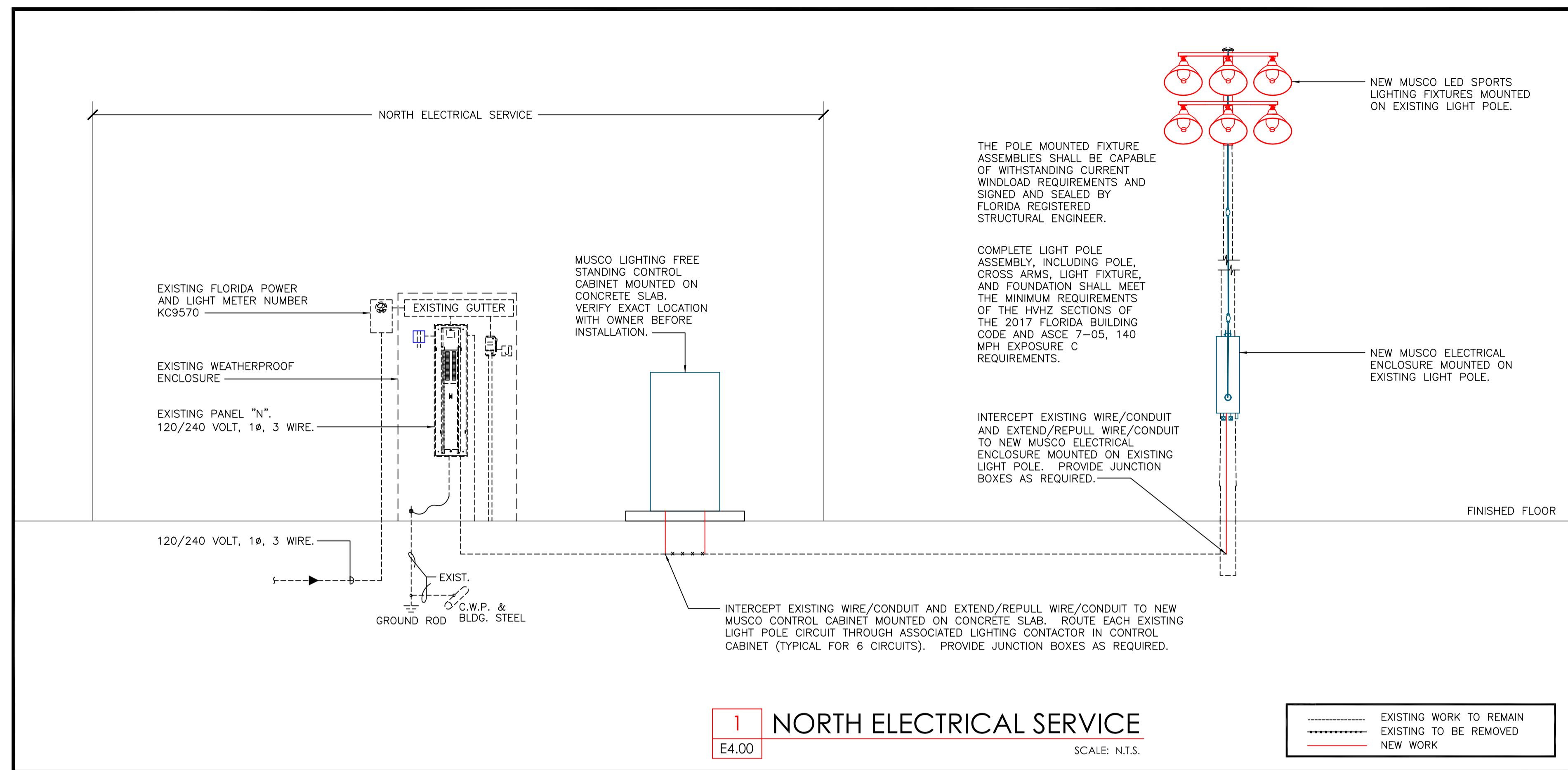
48,300 WATTS REMOVED + 20,460 WATTS ADDED = -27,480 WATT REDUCTION OF LOAD ON NORTH ELECTRICAL SERVICE

PANEL "N" SCHEDULE																
OKT.	LOAD DESCRIPTION	WIRE	GRD.	COND.	POLE/ TRIP	KVA	A PHASE	KVA	C PHASE	POLE/ TRIP	COND.	GRD.	WIRE	TRIP	LOAD DESCRIPTION	OKT.
1	SPARE				2/100										SPACE	2
3	BLUE TAG POLE NUMBER 1	E	E	E	2/50	1.4	3.4	1.4							BLUE TAG POLE NUMBER 6	4
5	SPACE														SPACE	6
7	SPACE														SPACE	8
9	SPACE														SPACE	10
11	BLUE TAG POLE NUMBER 2	E	E	E	2/50	1.4	2.1	1.4	2.1						BLUE TAG POLE NUMBER 5	12
13	SPACE														SPACE	14
15	RECEPTACLE	E	E	E	20	0.2		0.2							EXISTING CIRCUIT	16
17	EXISTING CIRCUIT	E	E	E	20	1.0	0.4			2/50	E	E	E		BLUE TAG POLE NUMBER 4	18
19	SPACE														SPACE	20
21	BLUE TAG POLE NUMBER 3	E	E	E	2/50	0.9									SPACE	22
23	SPACE														SPACE	24
25	MUSCO CONTROL CABINET	12	12	1/2"	20*	1.0		0.9		20	E	E	E		SCOREBOARD	26
27	SPACE														SPACE	28
29	SPACE														SPACE	30

ALL FEEDER CALCULATIONS ARE BASED ON THHN/THWN CU NOT MORE THAN 4 CONDUCTORS IN A RACEWAY

LOCATION: SEE SITE PLAN

NOTE: E = EXISTING
* = NEW CIRCUIT BREAKER TO MATCH EXISTING TYPE



GREEN TAG POLE IDENTIFIER - SOUTH ELECTRICAL SERVICE

POLE IDENTIFIER	QUANTITY OF EXISTING 1500 WATT METAL LAMPS TO BE REMOVED	WATTAGE OF NEW REPLACEMENT MUSCO LED SPORTS LIGHTING
GREEN TAG POLE NUMBER #1	9 x 1,610 WATTS = 14,490 WATTS	6,890 WATTS
GREEN TAG POLE NUMBER #2	4 x 1,610 WATTS = 6,440 WATTS	3,510 WATTS
GREEN TAG POLE NUMBER #3	4 x 1,610 WATTS = 6,440 WATTS	3,510 WATTS
GREEN TAG POLE NUMBER #4	9 x 1,610 WATTS = 14,490 WATTS	5,720 WATTS
GREEN TAG POLE NUMBER #5	6 x 1,610 WATTS = 9,660 WATTS	5,720 WATTS
GREEN TAG POLE NUMBER #6	7 x 1,610 WATTS = 11,270 WATTS	5,720 WATTS
	-62,790 WATTS	+31,070 WATTS

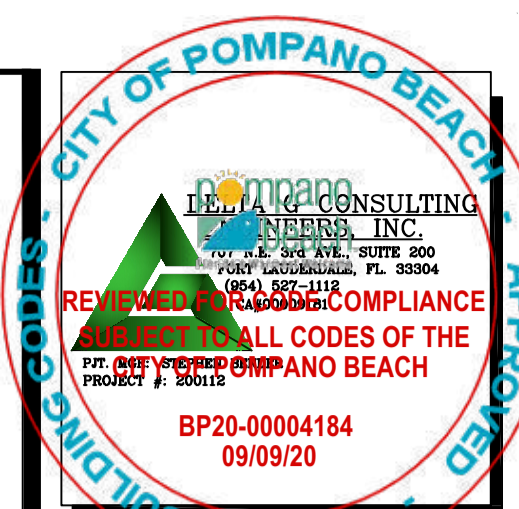
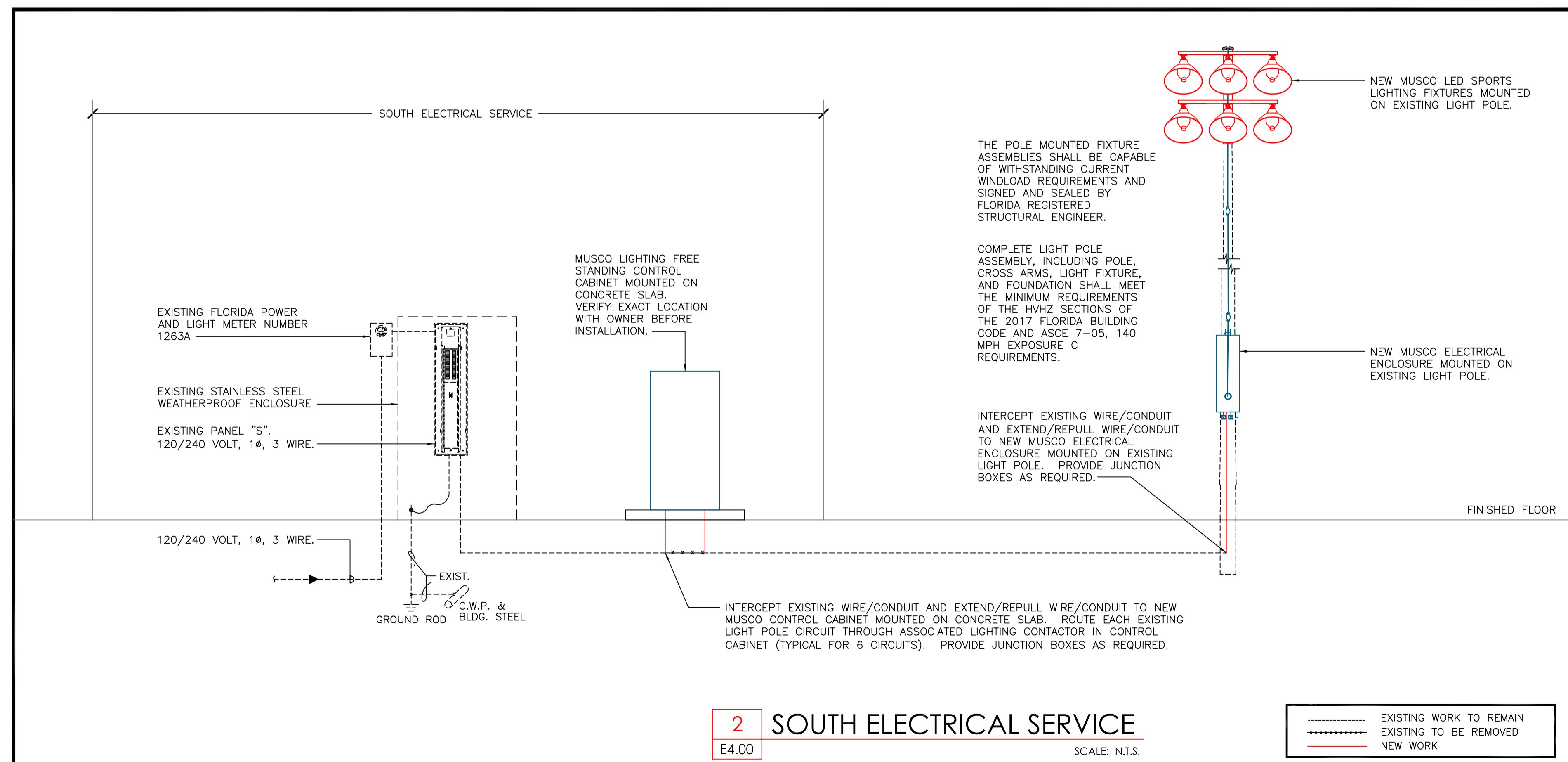
62,790 WATTS REMOVED + 31,070 WATTS ADDED = -31,720 WATT REDUCTION OF LOAD ON SOUTH ELECTRICAL SERVICE

PANEL "S" SCHEDULE																
OKT.	LOAD DESCRIPTION	WIRE	GRD.	COND.	POLE/ TRIP	KVA	A PHASE	KVA	C PHASE	POLE/ TRIP	COND.	GRD.	WIRE	TRIP	LOAD DESCRIPTION	OKT.
1	GREEN TAG POLE NUMBER 4	E	E	E	2/40	2.8	2.8	2.8	2.8	2/50	E	E	E		GREEN TAG POLE NUMBER 5	2
3	SPACE														SPACE	4
5	GREEN TAG POLE NUMBER 6	E	E	E	2/50	2.8	1.8	2.8	1.8	2/40	E	E	E		GREEN TAG POLE NUMBER 2	6
7	SPACE														SPACE	8
9	GREEN TAG POLE NUMBER 4	E	E	E	2/40		0.8			20	E	E	E		PHOTO	10
11	TO BECOME SPARE									20	E	E	E		BACKSTOP #1	12
13	BACKSTOP #2	E	E	E	20	1.0	3.4			2/40	E	E	E		GREEN TAG POLE NUMBER 1	14
15	BACKSTOP #3	E	E	E	20			1.0	3.4						WALKWAY LIGHTS	16
17	SPACE									2/20	E	E	E		SPACE	18
19	SPACE														SPACE	20
21	SCOREBOARD	E	E	E	20	1.0				2/40	E	E	E		GREEN TAG POLE NUMBER 1 TO BECOME SPARE	22
23	SPACE									2/40	E	E	E		GREEN TAG POLE NUMBER 3	24
25	SPACE														SPACE	26
27	EXISTING CIRCUIT	E	E	E	20			0.8	1.8						SPACE	28
29	MUSCO CONTROL CABINET	12	12	1/2"	20*	1.0									SPACE	30
31	SPACE														SPACE	32
33	SPACE														SPACE	34
35	SPACE														SPACE	36
37	SPACE														SPACE	38
39	SPACE														SPACE	40
41	SPACE														SPACE	42

ALL FEEDER CALCULATIONS ARE BASED ON THHN/THWN CU NOT MORE THAN 4 CONDUCTORS IN A RACEWAY

LOCATION: SEE SITE PLAN

NOTE: E = EXISTING
* = NEW CIRCUIT BREAKER TO MATCH EXISTING TYPE



Digitally signed by George Sanjuan Reason: I am approving this document Location: Fort Lauderdale, FL Date: 2020.06.05 10:06:59 -0400 GEORGE SANJUAN, P.E. FLORIDA LICENSE #46100

WALTERS ZACKRIA ARCHITECTS
5813 N. ANDREWS WAY, FORT LAUDERDALE, FL 33309
PHONE: (954) 522-4123 FAX: (954) 522-4128
www.wza-architects.com

Abbas H. Zackria, F.L.A.R. 91520
Florida Registration: AA2600970
CORPORATE NAME: WALTERS ZACKRIA ASSOCIATES, PLLC REGISTERED IN THE STATE OF FLORIDA. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. THESE DRAWINGS ARE THE PROPERTY OF WALTERS ZACKRIA ASSOCIATES, PLLC, AND SHALL NOT BE REPRODUCED WITHOUT WRITTEN PERMISSION FROM A PRINCIPAL OF THE FIRM OR BE LIABLE FOR THE FULLEST LEGAL RECOURSE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO EXECUTION OF WORK.

CITY OF POMPANO BEACH MITCHELL MOORE PARK IMPROVEMENTS
861 NW 9TH AVENUE POMPANO BEACH, FL, 33060

DRAWN BY: CB
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DATE: 06/05/2020
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E4.00
ELECTRICAL DETAILS

ASBUILT TABLE				
STRUCTURE NUMBER	RIM ELEVATION	INVERT	TYPE	DIRECTION
CB "A"	7.85'	1.65'	48" RCP	EAST
		1.65'	48" RCP	WEST
CB "B"	7.84'	3.94'	12" RCP	NORTH
		1.59'	48" RCP	EAST
		1.69'	48" RCP	WEST
CB "C"	8.07'	4.32'	12" RCP	NORTH
		1.72'	48" RCP	EAST
		1.87'	48" RCP	WEST
CB "D"	7.93'	4.63'	12" RCP	SOUTH
CB "E"	7.92'	4.37'	12" RCP	SOUTH
CB "F"	9.99'	5.29'	18" RCP	WEST
CB "G"	10.04'	5.27'	18" RCP	EAST
CB "H"	9.26'	5.96'	6" PVC	WEST
		N/A	N/A	BAFFLE (SOUTH)
CB "I"	9.21'	5.00'	18" PVC	NORTH
		6.52'	6" PVC	EAST
CB "J"	9.64'	N/A	N/A	BAFFLE (SOUTH)
		6.27'	6" PVC	EAST
CB "K"	9.67'	N/A	N/A	BAFFLE (NORTH)
		6.92'	8" PVC	SOUTH
CB "L"	9.92'	6.87'	8" PVC	NORTH
CB "M"	9.90'	5.85'	6" PVC	SOUTH
CB "N"	8.85'	N/A	N/A	BAFFLE (EAST)
		5.97	6" PVC	NORTH
CB "O"	9.57'	N/A	N/A	BAFFLE (WEST)
		4.73'	8" CLAY	NORTH
MHS "1"	9.30'	3.68'	8" CLAY	SOUTH
		4.73'	8" CLAY	WEST
MHS "2"	9.33'	3.63'	8" CLAY	EAST
		3.27'	8" CLAY	NORTH
		3.11'	8" CLAY	EAST
MHS "3"	9.54'	3.16'	8" CLAY	WEST
		4.27'	8" CLAY	NORTH
		4.20'	8" CLAY	SOUTH
MHS "4"	9.47'	5.28'	8" CLAY	NORTH
		5.22'	8" PVC	SOUTH
		5.35'	10" PVC	WEST
CB "P"	9.23'	N/A	N/A	BAFFLE (SOUTH)
		4.55'	15" RCP	SOUTH
CB "Q"	9.21'	N/A	N/A	BAFFLE (NORTH)
		5.20'	15" RCP	NORTH
CB "R"	8.96'	5.03'	15" RCP	SOUTH
		N/A	N/A	BAFFLE (WEST)
CB "S"	8.99'	N/A	N/A	BAFFLE (WEST)
CB "T"	9.84'	N/A	N/A	BAFFLE (EAST)
		N/A	N/A	BAFFLE (EAST)
CB "U"	9.98'	3.94'	NORTH	15" RCP
		N/A	N/A	BAFFLE (WEST)
DMH "A"	10.09'	N/A	N/A	BAFFLE (NORTHEAST)
		N/A	N/A	BAFFLE (SOUTHEAST)
CB "W"	9.46'	N/A	N/A	BAFFLE (NORTHWEST)
		N/A	N/A	BAFFLE (SOUTHWEST)
CB "X"	9.48'	N/A	N/A	BAFFLE (NORTHEAST)
		N/A	N/A	BAFFLE (SOUTHWEST)

LEGEND

A/C AIR CONDITIONER	L ARC LENGTH
B.C.R. BROWARD COUNTY RECORDS	LB LICENSED BUSINESS
BFP BACK FLOW PREVENTER	MHD MANHOLE DRAINAGE
ALF ALUMINUM FENCE	MHS MANHOLE SANITARY
BR BIKE RACK	MF METAL FENCE
CB CATCH BASIN	N/A NOT AVAILABLE
CBS CONCRETE BLOCK STUCCO	N/D NAIL AND DISK
CMB CITY OF MIAMI BEACH	NAVD 88 NORTH AMERICAN VERTICAL DATUM OF 1988
CNL CURB INLET	NAVD 29 NATIONAL GEODETIC VERTICAL DATUM OF 1929
CLF CHAIN LINK FENCE	N/D NAIL AND DISC
CONC. CONCRETE	O.R.B. OFFICIAL RECORDS BOOK
CMP CORRUGATED METAL PIPE	P.V. POST INDICATOR VALVE
CO CLEANOUT	P.B. PLAT BOOK
DMH DRAINAGE MANHOLE	P.G. PAGE
DCV DETECTOR CHECK VALVE	P.S.M. PROFESSIONAL SURVEYOR AND MAPPER
DWS DETECTABLE WARNING SURFACE	R RADIUS
EB ELECTRIC BOX	R/W RIGHT-OF-WAY
EO ELECTRICAL OUTLET	SIA SIAMSESE CONNECTOR
ELEV. ELEVATION	SIRC SET IRON ROD & CAP
EPB ELECTRIC PANEL BOX	SND SET NAIL AND DISK
FC FIRE CONNECTION	TOB TOP OF BANK
F.F. FINISHED FLOOR	TOS TOE OF SLOPE
FIR FOUND IRON ROD	TYP. TYPICAL
FIRC FOUND IRON ROD AND CAP	USC+GS UNITED COAST AND GEODETIC SURVEY
FND FOUND NAIL AND DISK	UNK. UNKNOWN
F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION	UTD UNABLE TO DETERMINE
FPL FLORIDA POWER & LIGHT	VLT VAULT
GR GUARD RAIL	WFB WIRING PULL BOX
GT GREASE TRAP	WV WATER VALVE
GYA GUY WIRE ANCHOR	WF WOOD FENCE
HED HEDGE LINE (TYPICAL)	W/ WITH
ICB IRRIGATION CONTROL BOX	
ID IDENTIFICATION	
IR IRON ROD	
K&S KEITH & SCHNARS	

SYMBOLS:

	BACK FLOW PREVENTER		SIGN POST
	BOLLARD		STAND PIPE
	BENCH		TRASH CAN
	CATCH BASIN		TREE (GUM-GUMBO) CAB (CABBAGE PALM) (TREE SIZE NOTED IN INCHES AT BREAST HEIGHT)
	CENTER LINE		WATER METER
	CLEANOUT		WOOD LIGHT POLE (ROUND)
	CONCRETE LIGHT POLE (SQUARE)		WOOD POWER POLE (ROUND)
	CONCRETE POLE (SQUARE)		WATER VALVE
	DELTA		INDICATES APPROXIMATE DIRECTION. DOES NOT INDICATE TERMINOUS POINT
	DETECTABLE WARNING SURFACE		CHAIN LINK FENCE
	DRAINAGE MANHOLE		UNDERGROUND DRAINAGE LINE
	ELECTRIC BOX		UNDERGROUND ELECTRIC LINE
	ELECTRIC METER		GUARDRAIL
	FIRE HYDRANT		UNDERGROUND IRRIGATION LINE
	GATE		RIGHT OF WAY
	GUY ANCHOR		OVERHEAD WIRE
	HANDICAP PARKING		UNDERGROUND SANITARY LINE
	HEDGE		TOP OF BANK
	IRRIGATION CONTROL BOX		TOP OF SLOPE
	IRRIGATION VALVE		CENTER LINE
	MAIL BOX		UNKNOWN UNDERGROUND LINE
	METAL LIGHT POLE (ROUND)		
	METAL LIGHT POLE (SQUARE)		
	METAL POWER POLE (SQUARE)		
	METAL POWER POLE (ROUND)		
	PALM TREE (TREE SIZE NOTED AT BREAST HEIGHT IN INCHES)		
	SIAMSESE CONNECTION		
	SANITARY MANHOLE		

LEGAL DESCRIPTION:

A PARCEL OF LAND LYING IN SECTIONS 34 AND 35, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE WEST QUARTER CORNER OF SECTION 35, TOWNSHIP 48 SOUTH, RANGE 42 EAST, BROWARD COUNTY, FLORIDA; THENCE NORTH 01°27'17" WEST, ALONG THE WEST LINE OF SAID SECTION 35, A DISTANCE OF 30.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°26'48" WEST, A DISTANCE OF 270.13 FEET TO A POINT ON THE EAST RIGHT OF WAY OF I-95; THENCE NORTH 00°50'09" WEST, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 545.29 FEET; THENCE NORTH 01°34'27" EAST, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 700.79 FEET; THENCE NORTH 00°51'43" WEST, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 211.12 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF THE F.E.C. RAILROAD; THENCE NORTH 88°47'09" EAST, ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 225.00 FEET; THENCE NORTH 88°13'09" EAST ALONG SAID SOUTH RIGHT OF WAY LINE, A DISTANCE OF 333.41 FEET; THENCE SOUTH 01°26'39" EAST, A DISTANCE OF 797.03 FEET TO A POINT ON THE NORTH LINE OF A 50 FOOT RIGHT OF WAY (N.W. 10 TH STREET); THENCE SOUTH 88°02'09" WEST, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 229.97 FEET TO A POINT ON THE WEST LINE OF A 50 FOOT RIGHT OF WAY (N.W. 9TH AVENUE) AS SHOWN ON "ANNIE LAURIE COURTS", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 72, PAGE 13 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA; THENCE SOUTH 01°26'25" EAST, ALONG SAID WEST RIGHT OF WAY LINE, A DISTANCE OF 445.00 FEET TO A POINT OF CURVATURE OF A TANGENT CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 312.80 FEET; THENCE CONTINUE ALONG SAID WEST RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 19°38'27", AN ARC DISTANCE OF 107.23 FEET TO A POINT OF REVERSE CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 262.80 FEET; THENCE CONTINUE ALONG SAID WEST RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 19°05'32", AN ARC DISTANCE OF 87.57 FEET TO A POINT OF COMPOUND CURVATURE OF A TANGENT CURVE CONCAVE TO THE WEST HAVING A RADIUS OF 25.00 FEET; THENCE CONTINUE ALONG SAID WEST RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 90°00'00", AN ARC DISTANCE OF 39.27 FEET TO A POINT ON THE NORTH LINE OF A 60 FOOT RIGHT OF WAY (N.W. 8TH STREET); THENCE SOUTH 87°58'16" WEST, A DISTANCE OF 112.00' TO THE POINT OF BEGINNING.

SAID LANDS LYING IN THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA, CONTAINING 703,704 SQUARE FEET (16.2 ACRES) MORE OR LESS.

SURVEYOR'S AND NOTES:

- THIS ITEM HAS BEEN OFFICIALLY SIGNED AND SEALED BY BENJAMIN B. HOYLE ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS-OF-WAY, EASEMENTS, RESTRICTIONS, COVENANTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- BEARINGS SHOWN HEREON ARE ON AN ASSUMED DATUM, WITH A REFERENCE BEARING OF SOUTH 89°26'48" WEST ALONG THE NORTH RIGHT OF WAY LINE OF NW 8TH STREET.
- ADDITIONS AND/OR DELETIONS OF THIS SURVEY MAP, BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
- THE "LAND DESCRIPTION" SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND FOUNDATIONS WERE NOT LOCATED OR SHOWN HEREON.
- UNDERGROUND ENCROACHMENTS WERE NOT LOCATED OR SHOWN HEREON.
- THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST; HOWEVER, NO SUBSURFACE INVESTIGATION WAS PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS ARE PRESENT.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- DISTANCES AND ELEVATIONS SHOWN HEREON ARE IN U.S. SURVEY FEET AND DECIMAL PORTIONS THEREOF, UNLESS SHOWN OTHERWISE.
- THE EXPECTED HORIZONTAL ACCURACY OF THE FEATURES SHOWN HEREON IS ±0.2' FOR THE LIMITS OF HARD SURFACES, SUCH AS ASPHALT, CONCRETE, CURBING, BUILDINGS, ETC. AND IS ±0.3' FOR GROUND SURFACE FEATURES, SUCH AS SURFACE FEATURES OF UTILITIES, ETC. AND IS ±0.4' FOR FEATURES PROTRUDING OUT OF THE GROUND, SUCH AS UTILITY POLES, FENCES, TREES, ETC.
- OVERHEAD WIRES SHOWN HEREON ARE FOR DIRECTIONAL AND CONNECTIVITY PURPOSES ONLY AND DO NOT DEPICT THE ACTUAL LOCATION.
- UNDERGROUND UTILITY LINES SHOWN HEREON WERE DESIGNATED ON THE GROUND BY BLOOD HOUND UNDERGROUND UTILITY LOCATORS ON 6/18/2019, AND ARE APPROXIMATE IN LOCATION. UNDERGROUND UTILITIES SHOULD BE FIELD VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITIES.
- THE SYMBOLS SHOWN IN THE LEGEND AND ON THIS MAP MAY HAVE BEEN ENLARGED OR REDUCED FOR CLARITY, AND MAY NOT DEPICT THE ACTUAL SIZE OR SHAPE OF THE FEATURES. THE EXPECTED HORIZONTAL ACCURACY OF THE SYMBOLS SHOWN ON THIS MAP IS ±0.3' FROM THE CENTER OF THE SYMBOL, UNLESS OTHERWISE NOTED.
- ELEVATIONS SHOWN HEREON ARE RELATIVE NORTH AMERICAN VERTICAL DATUM OF 1988 AND SAID ELEVATIONS ARE BASED ON BENCHMARKS SUPPLIED BY U.S.C. AND G.S. BENCHMARK # 0-22. A BRASS DISK AFFIXED ABOUT 8.5 MILES SOUTH-SOUTHWEST OF BOCA RATON, 6.2 MILES SOUTHEAST OF WEST DIXIE BEND, 1.0 MILES WEST-NORTHWEST OF POMPANO BEACH, IN SECTION 34, TOWNSHIP 48 SOUTH, RANGE 42 EAST. OWNERSHIP IS BROWARD COUNTY TRANSPORTATION DEPARTMENT. TO REACH THE MARK FROM THE INTERSECTION OF WEST ATLANTIC BOULEVARD AND GO FOR 1 MILE TO THE JUNCTION OF NORTHWEST 15TH STREET ON THE LEFT, TURN LEFT ON NORTHWEST 15TH STREET AND GO WEST FOR 1.1 MILES TO THE MARK ON THE RIGHT, SET IN THE TOP OF A 10 INCH ROUND CONCRETE MONUMENT RECESSED 0.2 FEET BELOW THE GROUND AND 0.5 FEET BELOW THE LEVEL OF NORTHWEST 15TH STREET WITH AN ELEVATION OF 11.97 FEET (NAVD88). TO CONVERT FROM NAVD88 TO NGVD 29 ADD 1.575 FEET.
- THE EXPECTED VERTICAL ACCURACY OF THE FEATURES SHOWN HEREON IS [±0.05'] FOR HARD SURFACES, SUCH AS ASPHALT, CONCRETE, ETC. AND [±0.1' / ±0.3'] FOR SOFT SURFACES, SUCH AS GRASS, DIRT, MUD, ETC.

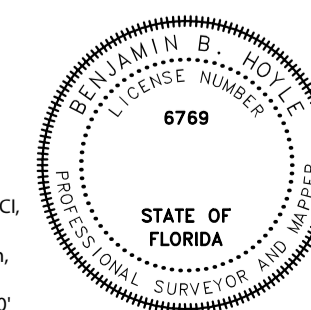
CERTIFICATE:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE, BELIEF, AND INFORMATION AS PREPARED UNDER MY DIRECTION ON JUNE 20, 2019. I FURTHER CERTIFY THAT THIS BOUNDARY AND TOPOGRAPHIC SURVEY MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 53-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

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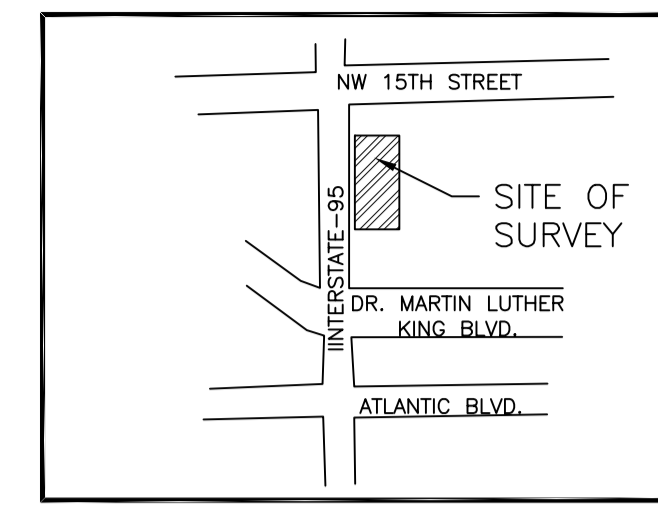
Benjamin B. Hoyle

Digitally signed by Benjamin B. Hoyle
DN: cn=Benjamin B. Hoyle, o=KCI, ou=US 16, email=benjamin.hoyle@kci.com, c=US
Date: 2020.06.04 16:00:47 -0400



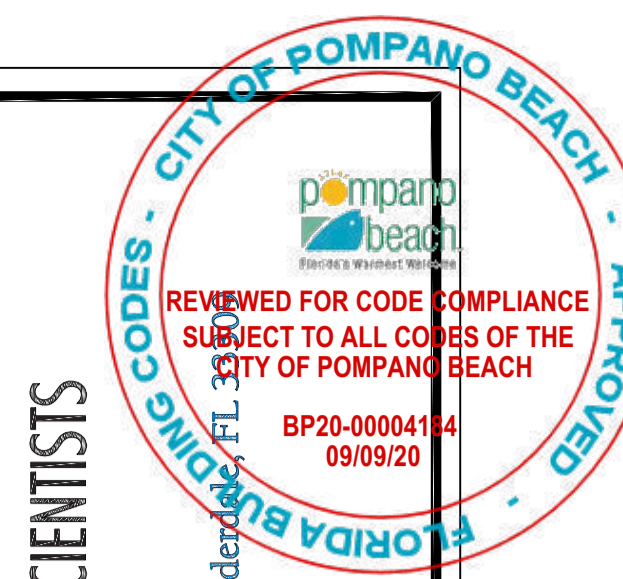
SURVEY NOT VALID WITHOUT SHEETS 2 & 3

BY: BENJAMIN B. HOYLE, P.S.M.
FLORIDA REGISTRATION NO. 6769



LOCATION SKETCH
(NOT TO SCALE)

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DATE	REVISIONS

DATE	06/20/2019
SCALE	AS SHOWN
FIELD BOOK	1448
DRAWN BY	AC/AB
CHECKED BY	RKK

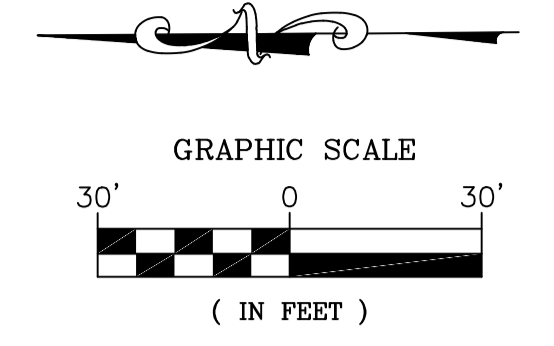
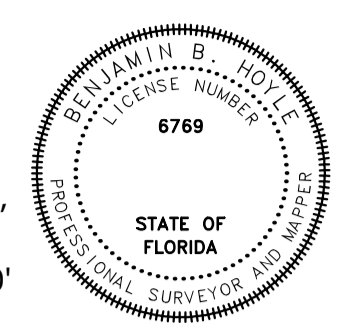
**BOUNDARY AND TOPOGRAPHIC SURVEY
MITCHELL MOORE PARK**

A PORTION OF SECTIONS 34 AND 35,
TOWNSHIP 48 SOUTH, RANGE 42 EAST
CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA

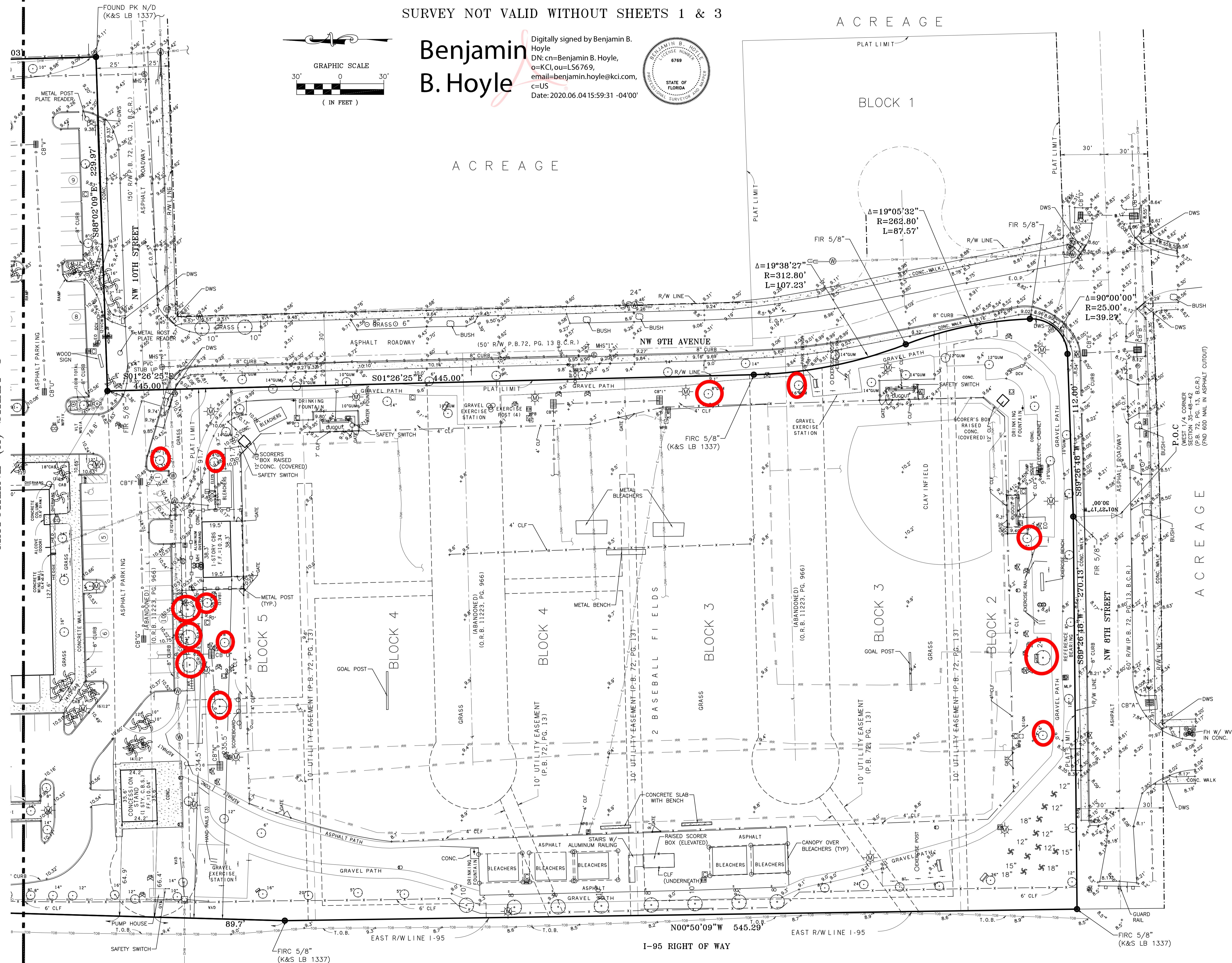
SHEET NO.	1
OF	3 SHEETS
PROJECT NO.	511903570.00

SURVEY NOT VALID WITHOUT SHEETS 1 & 3

Benjamin B. Hoyle
Digitally signed by Benjamin B. Hoyle
dn: cn=Benjamin B. Hoyle, o=KCI, ou=L56769, email=benjamin.hoyle@kci.com, c=US
Date: 2020.06.04 15:59:31 -04'00'



MATCHLINE (A) SHEET 3



DATE	REVISIONS

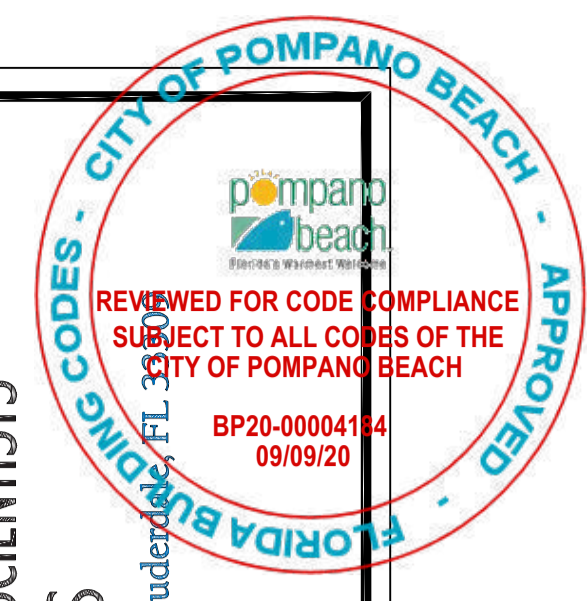
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SCALE AS SHOWN
FIELD BOOK 1448
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CHECKED BY RKK

**BOUNDARY AND TOPOGRAPHIC SURVEY
MITCHELL MOORE PARK**
A PORTION OF SECTIONS 34 AND 35,
TOWNSHIP 48 SOUTH, RANGE 42 EAST
CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA

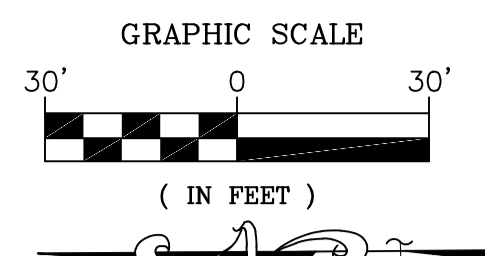
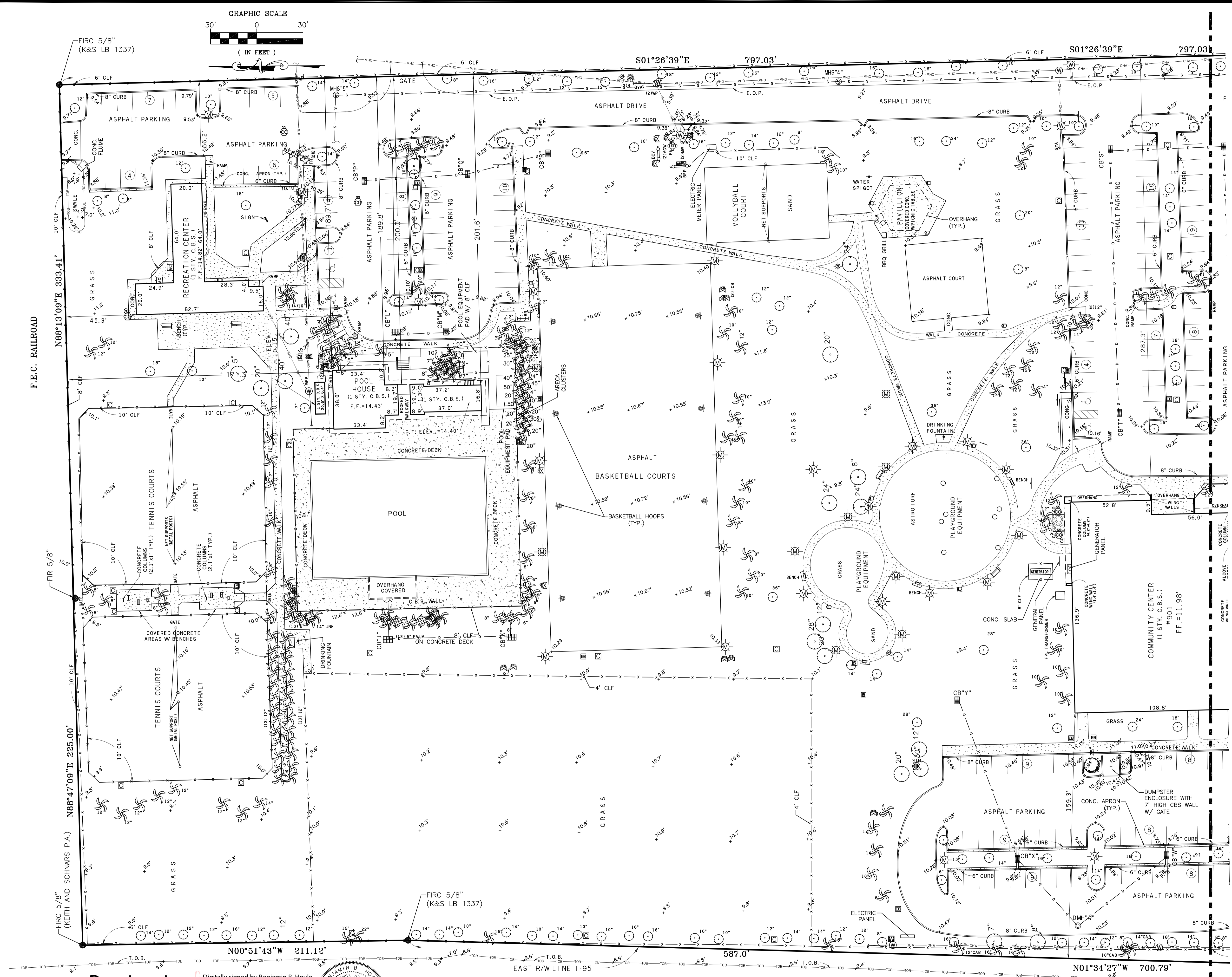
SHEET NO. 2
OF 3 SHEETS
PROJECT NO. 511903570.00



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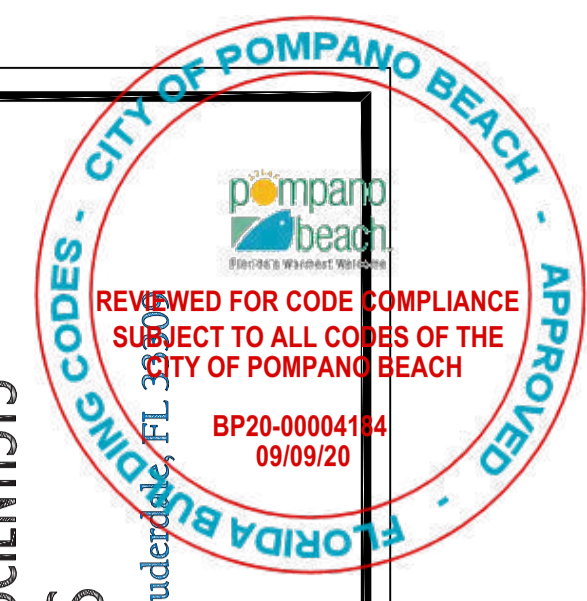


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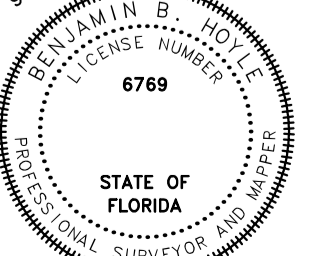


MATCHLINE (A) SHEET 2

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Benjamin B. Hoyle
 Digitally signed by Benjamin B. Hoyle
 DN: cn=Benjamin B. Hoyle, o=KCI,
 ou=L56769,
 email=benjamin.hoyle@kci.com,
 c=US
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SURVEY NOT VALID WITHOUT SHEETS 1 & 2

DATE	REVISIONS

DATE	06/20/2019
SCALE	AS SHOWN
FIELD BOOK	1448
DRAWN BY	AC/AB
CHECKED BY	RKK

BOUNDARY AND TOPOGRAPHIC SURVEY
MITCHELL MOORE PARK
 A PORTION OF SECTIONS 34 AND 35,
 TOWNSHIP 48 SOUTH, RANGE 42 EAST
 CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA

SHEET NO. 3
 OF 3 SHEETS
 PROJECT NO. 511903570.00

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