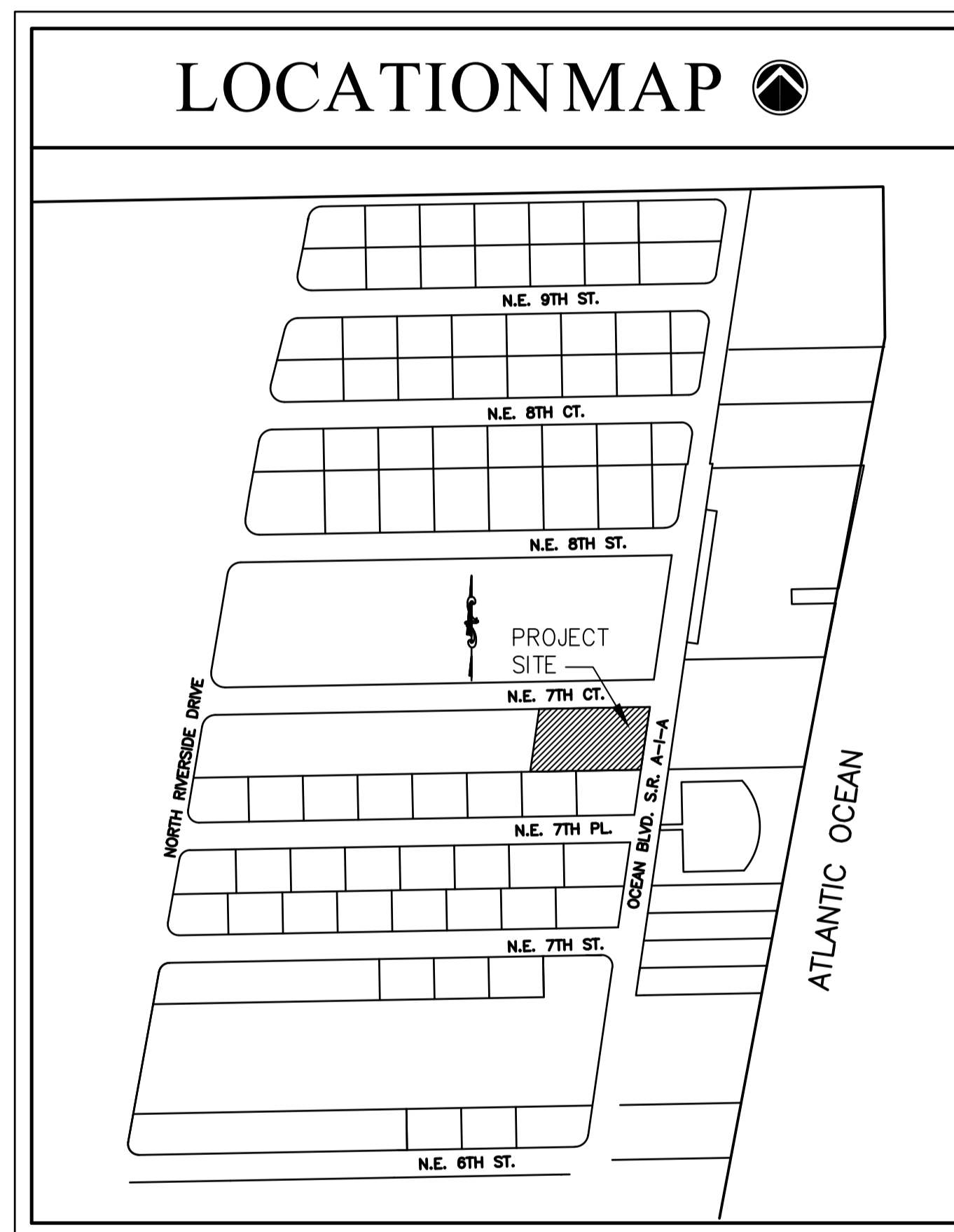


# PROPOSED MULTIFAMILY DEVELOPMENT FOR :



## " SABBIA BEACH PARCEL B"

### 723 N. OCEAN BOULEVARD POMPANO BEACH FL.



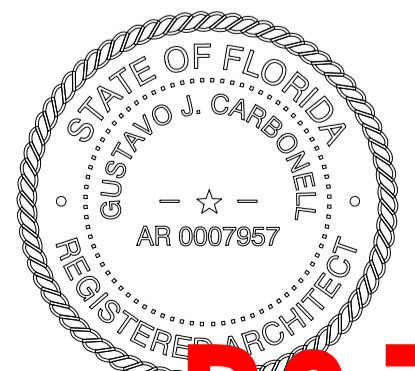
SHEET INDEX	
COVER SHEET	
SURVEY	
<b>SITE WORK</b>	
SP-1	SITE PLAN
<b>CIVIL</b>	
CP-101	PAVING, GRADING AND DRAINAGE PLAN
CU-101	WATER AND SEWER PLAN
<b>LANDSCAPE</b>	
LP-101	CONCEPT LANDSCAPE PLAN
LP-501	LANDSCAPE DETAILS
<b>ARCHITECTURAL</b>	
A-1	GROUND FLOOR PLAN
A-2	2ND. FLOOR PLAN
A-3	3RD. FLOOR PLAN
A-4	ROOF PLAN
A-5	TYPICAL FLOOR PLAN
A-6	TYPICAL FLOOR PLAN
A-7	NORTH AND EAST ELEVATION
A-8	SOUTH AND WEST ELEVATION

**PZ #:** 20-1300007

PROJECT TEAM	
<p><b>ARCHITECT:</b></p>  <p><b>GUSTAVO J. CARBONELL, P.A.</b> Architect and Planner Member American Institute of Architects</p> <p>1457 N.E. 4th AVE. Phone: (954) 462-6565 Ft. Lauderdale, Florida, 33304 Fax: (954) 527-0857 E-Mail: gcarbonell@gjcarc.com</p> <p>Maritza J. Gil Architectural Project Manager Phone: (954) 462-6565 Ext. 24 E-mail: mgil@gjcarc.com</p> <p>FLORIDA REGISTRATION AR NO. 0007957 AA NO. 26001131</p>	<p><b>CIVIL ENGINEER &amp; LANDSCAPE:</b></p>  <p>301 East Atlantic Boulevard Pompano Beach, FL 33060</p> <p>PH: (954) 788-3400</p> <p>Florida Certificate of Authorization # - 7928</p>

**Gustavo Jose Carbonell** Digitally signed by Gustavo Jose Carbonell  
Date: 2021.03.15 12:09:32 -04'00'

**JOB #:** 20-025



**P&Z**  
PZ20-1300007  
4/28/21

# "POMPANO BEACH RESIDENCES"

A PORTION OF GOVERNMENT LOT 1 OF SECTION 31,  
TOWNSHIP 48 SOUTH, RANGE 43 EAST, CITY OF  
POMPANO BEACH, BROWARD COUNTY, FLORIDA

### Description:

The South 100 feet of the North 1,065 feet of Government Lot 1 in Section 31, Township 48 South, Range 43 East, lying East of State Road A-1-A.

Together with:  
The East 200 feet of the South 114 feet of the North 1,065 feet of that part of Government Lot 1 in Section 31, Township 48 South, Range 43 East, lying West of State Road A-1-A.

Together with:  
The North 100 feet of the South 200 feet of that portion of the North 1065 feet of Government Lot 1 of Section 31, Township 48 South, Range 43 East, lying East of State Road A-1-A.

Said land lying in the City of Pompano Beach, Broward County, Florida, and containing 96,534 square feet or 2.216 acres more or less.

### Dedication:

State of Florida } ss KNOW ALL MEN BY THESE PRESENTS that  
County of Broward } TW/Beach Residences-Pompano, a Florida  
limited liability company, owner of the land  
shown hereon, being in Section 31, Township 48 South, Range 43 East, Broward County, Florida, shown hereon as "POMPANO BEACH RESIDENCES" do hereby dedicate the following:

Parcel "X" and Parcel "Y", as shown hereon, is hereby dedicated to the public for roadway purposes.

Utility Easement (U.E.) as shown hereon is hereby dedicated to the public for the installation and maintenance of utilities. ( Refer to the PLAT NOTES of Sheet 2 of 2 for limitations on the use of this easement by cable television providers)

IN WITNESS WHEREOF: We hereto set our hands and affix our seal this 7<sup>th</sup> day of July, 2005.

TW/Beach Residences-Pompano,  
a Florida limited liability  
company  
By: Taylor Woodrow U.S. Tower,  
Inc.

Witness: Stephanie L. Pleasant  
Print Name: Stephanie L. Pleasant  
Witness: Alison D. France  
Print Name: ALISON D. FRANCE

By: Joseph P. Covelli  
Joseph P. Covelli, President  
Managing member

IN WITNESS WHEREOF: We hereto set our hands and affix our seal this 3 day of August, 2005.

Lancaster Ltd., a Florida Limited Partnership

By: Sea Castle Resort, Inc., a Florida Corporation  
It's Sole general partner

Witness: DAVID A. ALDRIDGE  
Print Name:  
Witness: David A. Aldridge  
Print Name:

By: Thomas  
Sole general partner

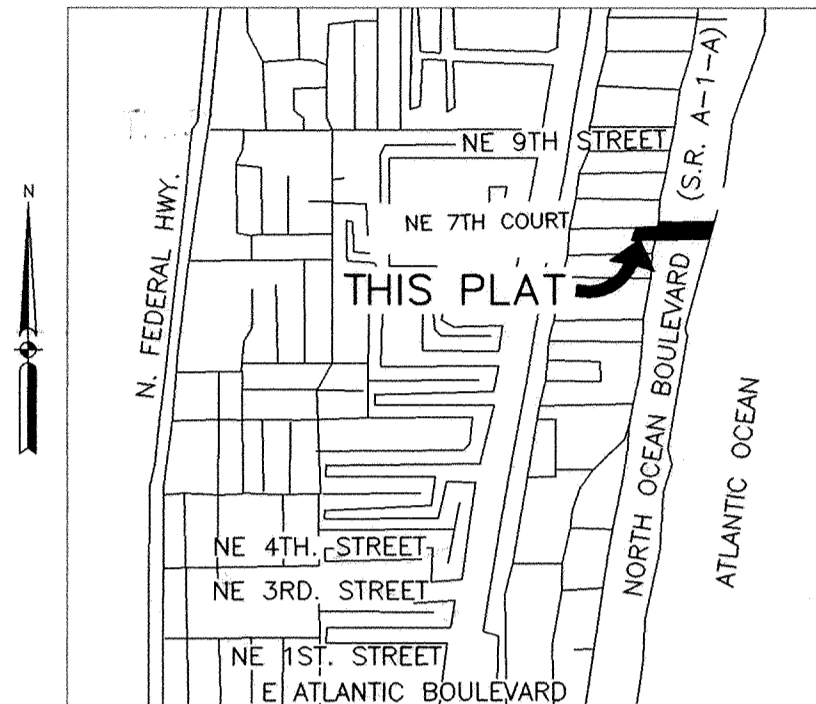
IN WITNESS WHEREOF: We hereto set our hands and affix our seal this 1 day of August, 2005.

Lancaster Sea Castle Resort, Ltd., a Florida Limited Partnership

By: Sea Castle Resort, Inc., a Florida Corporation  
It's Sole general partner

Witness: Deborah S. Rich  
Print Name:  
Witness: Deborah S. Rich  
Print Name:

By: Thomas  
Sole general partner



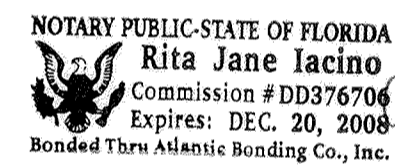
LOCATION SKETCH  
(NOT TO SCALE)

### Acknowledgment:

State of Florida } ss BEFORE ME personally appeared  
County of Broward } Joseph P. Covelli, who is personally known  
to me, and who executed the foregoing  
instrument as President of Taylor Woodrow U.S. Tower, Inc.,  
Managing Member and severally acknowledged to and before me that he  
executed such instrument as such Managing member of said company,  
and that the seal affixed to the foregoing instrument is the company  
seal of said agency and that it is affixed to said instrument by due and  
regular authority, and that said instrument is the free act and deed of  
said company.

WITNESS my hand and official seal this 7<sup>th</sup> day of July, 2005.

My commission expires: \_\_\_\_\_ Notary Public  
Print Name: Rita Jane Jacino



### Acknowledgment:

State of Florida } ss BEFORE ME personally appeared  
County of Broward } Thomas, who is personally known  
to me, and who executed the foregoing instrument as Sole  
Partner, Sea Castle Resort, Inc., a Florida Corporation and severally  
acknowledged to and before me that he executed such instrument as  
Sole Partner of said Partnership, and that the seal affixed to the  
foregoing instrument is the Partnership seal of said agency and that it is  
affixed to said instrument by due and regular authority, and that said  
instrument is the free act and deed of said Partnership.

WITNESS my hand and official seal this 3<sup>th</sup> day of July, 2005.

My commission expires: 7-3-2007 Notary Public  
Print Name: Oliver Sanders

### Acknowledgment:

State of Florida } ss BEFORE ME personally appeared  
County of Broward } Thomas, who is personally known  
to me, and who executed the foregoing instrument as Managing  
Partner of Lancaster Sea Castle Resort, Ltd., a Florida Limited Partnership,  
and severally acknowledged to and before me that he executed such  
instrument as such Managing Partner of said Partnership, and that the  
seal affixed to the foregoing instrument is the seal of said Partnership  
and that said instrument is the free act and deed of said Partnership.

WITNESS my hand and official seal this 3<sup>th</sup> day of Aug, 2005.

My commission expires: 7-3-2007 Notary Public  
Print Name: Oliver Sanders

### CITY OF POMPANO BEACH APPROVALS:

#### City Commission:

This is to certify that this plat has been APPROVED and ACCEPTED for recording by the CITY OF POMPANO BEACH, Florida, and by Resolution No. 2006-164 this 11<sup>th</sup> day of April, A.D., 2006.

The City agrees not to issue building permits for the construction, expansion, and / or conversion of a building within this plat until such time as the developer provides the City with written confirmation from Broward County that all applicable impact fees have been paid of are not due.

In WITNESS WHEREOF said City Commission  
Attest: Mary L. Chambers By: John C. Rayson  
City Clerk Mayor  
Mary L. Chambers John C. Rayson

#### Planning and Zoning Board:

This is to certify that the PLANNING AND ZONING BOARD OF POMPANO BEACH, Florida has ACCEPTED and APPROVED this plat this 21<sup>st</sup> day of DECEMBER, A.D., 2006.

By: George Fives  
Planning and Zoning Board Chair  
Attest: GEORGE FIVES

#### Engineering Department:

This plat is hereby APPROVED for record this 20<sup>th</sup> day of APRIL, A.D., 2006.

By: Helen Gray  
City Engineer  
Helen Gray, P.E.  
Florida Professional Engineer,  
Registration No. 57837

### BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION-MINUTES SECTION

This is to certify that this plat complies with the provisions of Chapter 177, Florida Statutes, and was ACCEPTED for record by the Board of County Commissioners of Broward County, Florida, this 27<sup>th</sup> day of June, A.D., 2006.

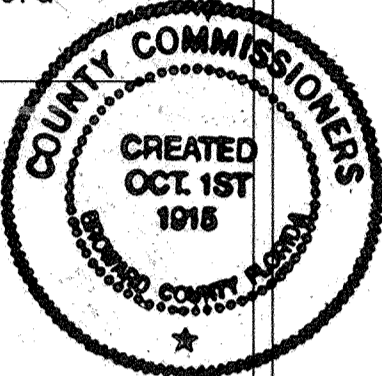
Attest: Pamela D. Brangaccio Deputy  
County Administrator  
By: Philip Eggel  
Mayor-County Commission



### BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION-RECORDING SECTION

This instrument was filed for record this 1 day of MARCH, A.D., 2006 and recorded in PLAT BOOK 176 PAGE 166, Record verified.

Attest: Pamela D. Brangaccio Deputy  
County Administrator  
By: Mary L. Chambers  
Deputy



### BROWARD COUNTY AND REDEVELOPMENT DEPARTMENT

This plat is hereby APPROVED and ACCEPTED for record.

By: Don D. Duff Date: 2-28-07  
Director or Designee

### BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

This plat is hereby APPROVED and ACCEPTED for record.

By: Richard Tornese By: Robert P. Legg, Jr.  
Director of Engineering Florida Professional Surveyor and Mapper  
Florida Professional Engineer, Registration No. 40263 Registration No. 4030

Date: 2/27/07 Date: 2/27/07

### BROWARD COUNTY PLANNING COUNCIL

This is to certify that the Broward County Planning Council APPROVED this plat subject to its compliance with dedication of rights of way this 15<sup>th</sup> day of DECEMBER, A.D., 2006.

By: William Date: 6/22/06  
Chairperson

This plat complies with the APPROVAL of the Broward County Planning Council on the above date and is hereby APPROVED and ACCEPTED for record this 28 day of FEBRUARY, A.D., 2006.

By: Brown Date: 2-28-07  
Executive Director or Designee

### SURVEYOR'S CERTIFICATE

I hereby certify that the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Part 1, Florida Statutes, and with the applicable sections of Chapter 61G17-6, Florida Administrative Code. The Permanent Reference Monuments (P.R.M.'s) were set on April 27, 2005. The Bench marks shown are referenced to the National Geodetic Vertical Datum of 1929 in conformity with standards adopted by the National Ocean Survey for third order control standards.

Keith & Associates, Inc. Florida Department of Business and Professional Regulation Certificate of Authorization number LB 6860.

Date: 6/23/05 For the Firm By: Gregory Mire  
Gregory Mire  
Professional Surveyor and Mapper  
Registration No. 4437  
State of Florida

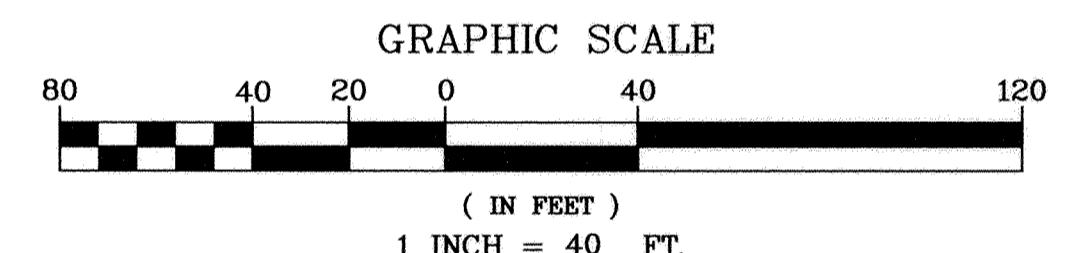
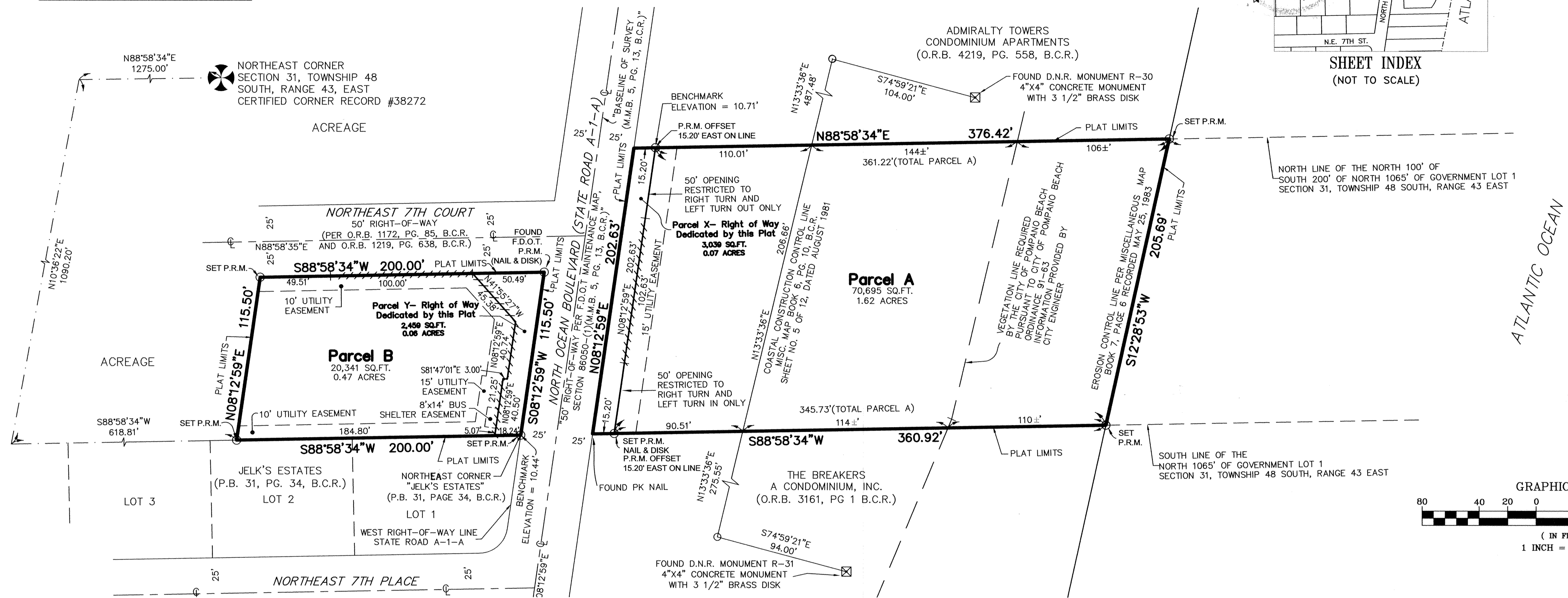
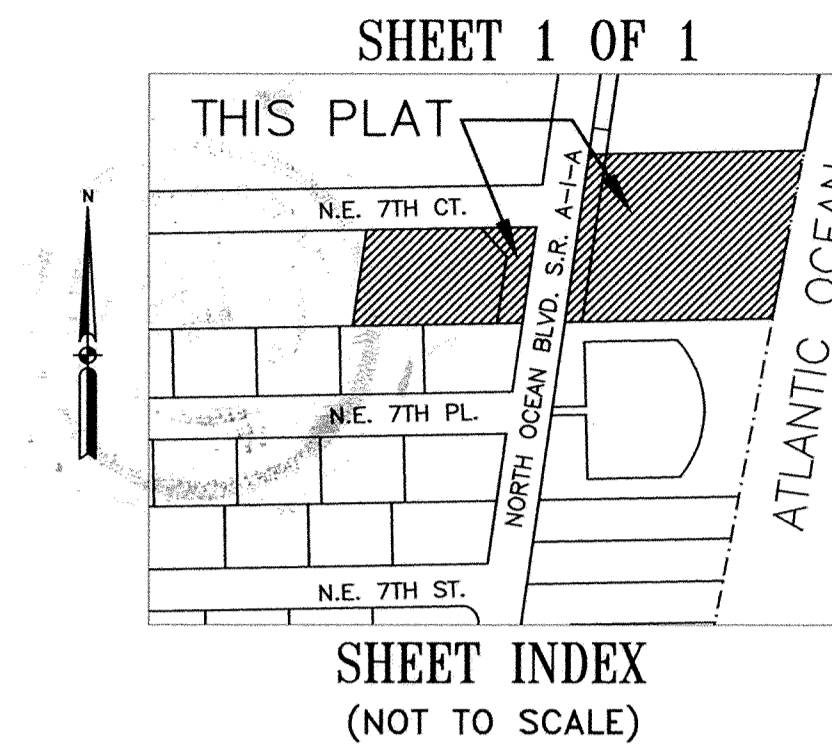
TW/BEACH RESIDENCES-POMPANO, LLC	NOTARY DEDICATION	SEA CASTLE RESORT, INC.	NOTARY DEDICATION	SEA CASTLE RESORT, INC.	NOTARY DEDICATION	CITY COMMISSION	COUNTY COMMISSION	COUNTY ENGINEER	COUNTY SURVEYOR	SURVEYOR	PREPARED BY:
											<b>KEITH</b> consulting engineers 301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643 (954)788-3400 FAX(954)788-3500 EMAIL:mail@keith-associates.com LB No. 6860

# "POMPANO BEACH RESIDENCES"

A PORTION OF GOVERNMENT LOT 1 OF SECTION 31,  
TOWNSHIP 48 SOUTH, RANGE 43 EAST, CITY OF  
POMPANO BEACH, BROWARD COUNTY, FLORIDA

CFN #106878855  
Page 2 of 2

AREA TABULATION		
PARCEL	SQ.FT.	ACRES
PARCEL A	70,695	1.62
PARCEL B	20,341	0.47
PARCEL X	3,039	0.07
PARCEL Y	2,459	0.06
TOTAL	96,534	2.22



**NOTICE:**

THIS PLAT, AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

**PLAT NOTES:**

⊙ Indicates set Permanent Reference Monument (P.R.M.) 4"x4"x24" concrete monument with brass disk No. LB6860 (unless noted otherwise).

Bearings, shown hereon, are based on an assumed meridian on the Coastal Construction Setback Line between monuments R-31 and R-30 as described on Miscellaneous Map Book 6, page 10, Broward County Records = North 13°33'36" East.

Elevations, shown hereon, are based on National Geodesic Vertical Datum of 1929 and said elevations are based on benchmarks supplied by the Broward County Highway Construction and Engineering Division; Benchmark number 3863: Concrete marker in the vicinity of "Shore Crest Motel", 9.3 feet East Northeast of the Southeast corner of the North building, 1.6 feet West of the East edge of seawall and 30.6 feet South of it's Northeast corner, 3.3 feet East of the East edge of a small sidewalk between building and seawall. Has a standard Department of Natural Resources Brass disk and is flush with surface benchmarks found 9-26-2000, Note: Mark is behind ADD.#700. Elevation= 14.91'.

The following note is required by the Broward County Surveyor present to Chapter 177.091, subsection (28), Florida Statutes: Platted utility easements are also easements for the construction, installation, maintenance, and operation of cable Television services; Provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This note does not apply to private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, Maintenance, and operation shall comply with the National Electric Safety Code, as adopted by the Florida Public Service Commission.

If a building permit for a principal building (excluding dry models, sales and construction offices) and first inspection approval are not issued by June 27, 2011, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame; and/or

If project water lines, sewer lines, drainage, and the rock base for internal roads are not installed by June 27, 2011, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. This requirement may be satisfied for a phase of the project, provided a phasing plan has been approved by Broward County. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame.

This plat is restricted to 50 High Rise Units on Parcel A and 9 Townhouse Units on Parcel B.

This note is required by Chapter 5, Article IX, Broward County Code of Ordinances, and may be amended by approval of the Broward County Board of County Commissioners. The notation and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title to the property with reference to this plat.

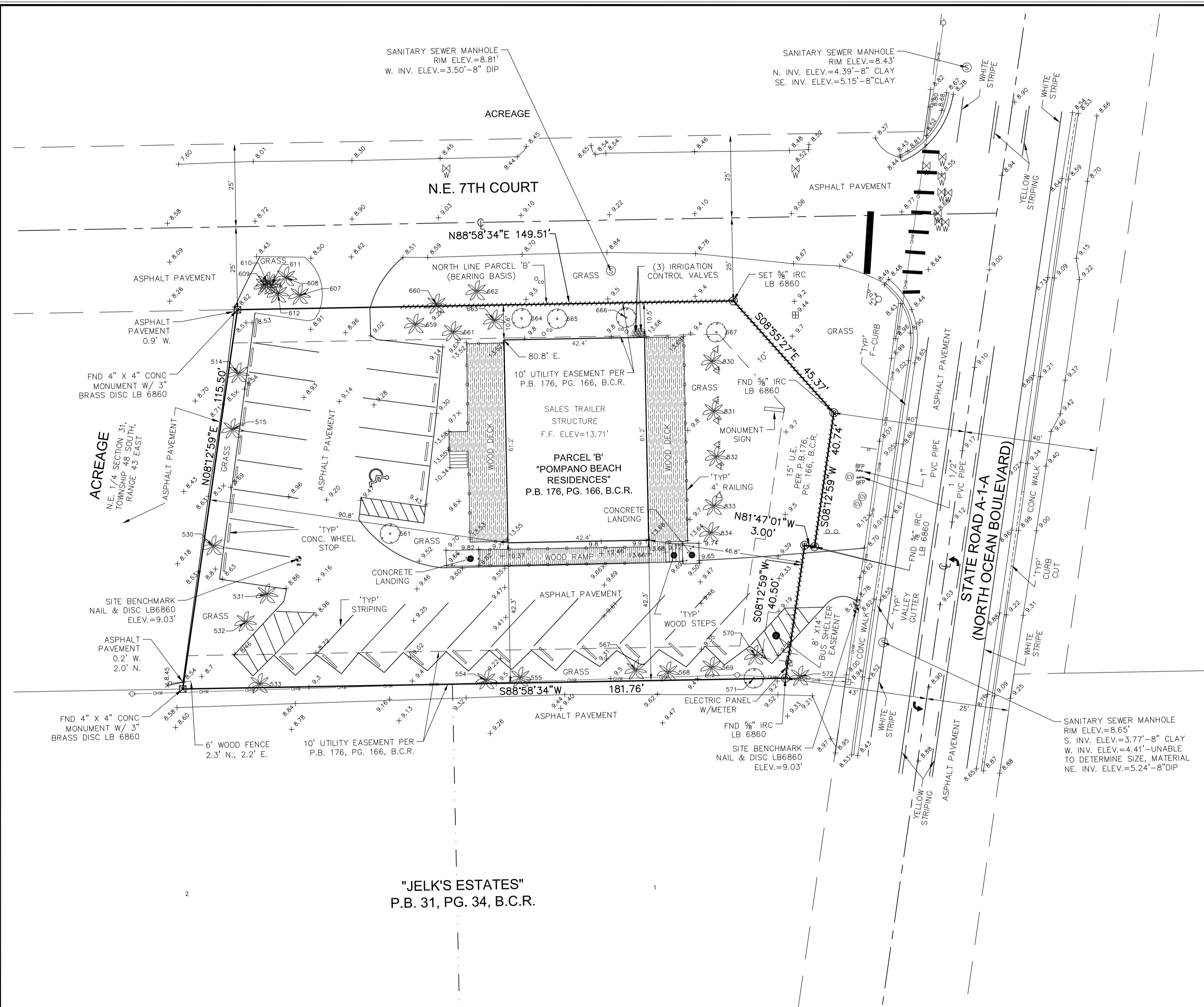
Any structure within this plat must comply with Section IV D. 1. f., Development Review requirements, of the Broward County Land Use Plan, regarding hazards to air navigation.

**LEGEND:**

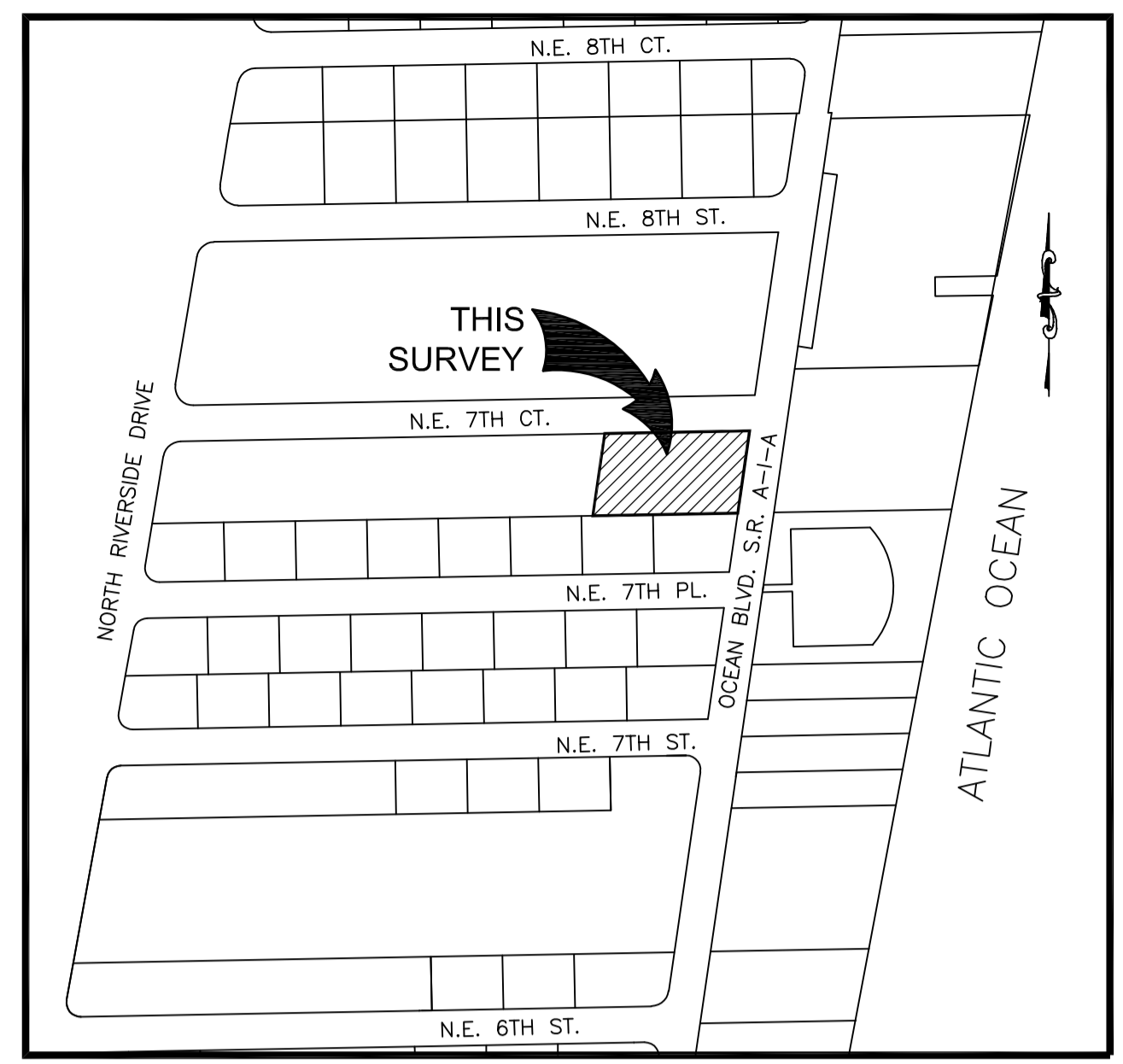
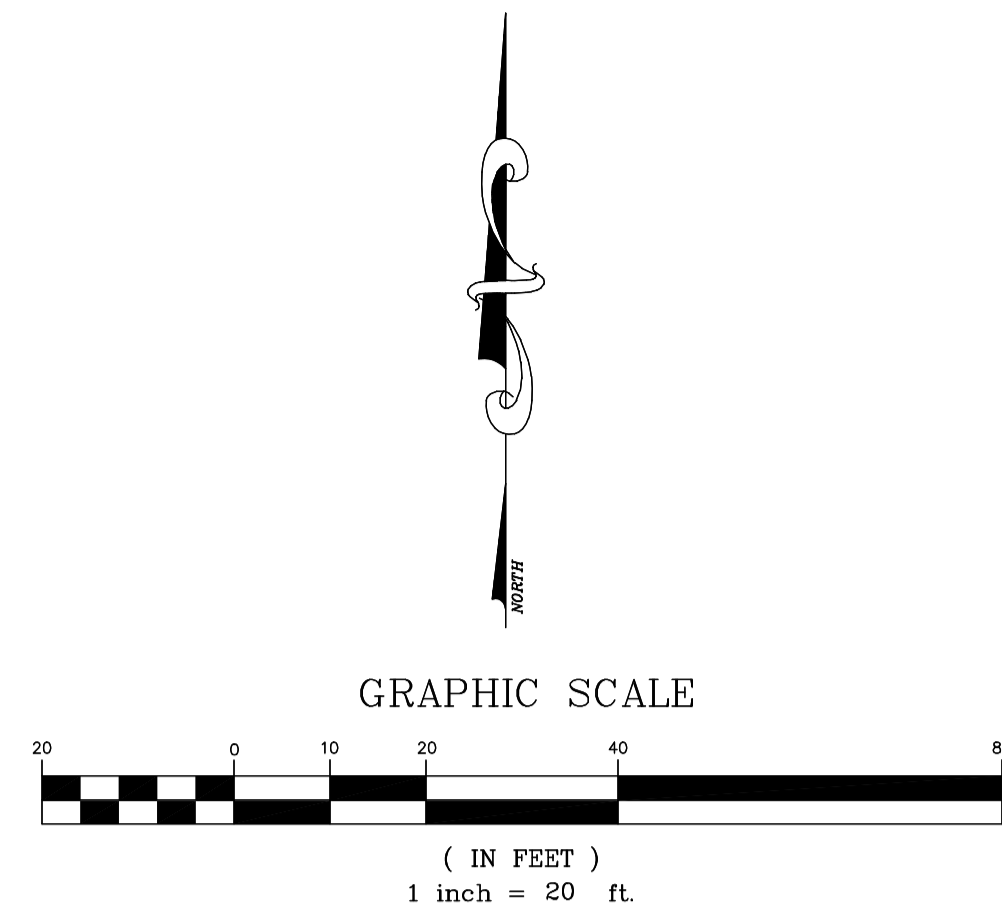
- P.B. PLAT BOOK
- O.R.B. OFFICIAL RECORD BOOK
- PG. PAGE
- B.C.R. BROWARD COUNTY RECORDS
- L.B. FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION LICENSED BUSINESS DESIGNATION
- ⊙ PERMANENT REFERENCE MONUMENT (PRM)
- SQ. FT. SQUARE FEET
- NGVD NATIONAL GEODETIC VERTICAL DATUM OF 1929
- NON VEHICULAR ACCESS LINE
- D.N.R. DEPARTMENT OF NATURAL RESOURCES
- F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION
- M.M.B. MISCELLANEOUS MAP BOOK

PREPARED BY:  
**KEITH**  
consulting engineers  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954)788-3400 FAX(954)788-3400  
EMAIL: mail@keith-associates.com

090 MB 007  
P20-1300007  
4/28/21



- LEGEND:**
- B.C.R. BROWARD COUNTY RECORDS
  - BFP BACK FLOW PREVENTER
  - CO CLEAN OUT
  - CONC CONCRETE
  - DIP DUCTILE IRON PIPE
  - EHH ELECTRIC HAND HOLE
  - ELEV ELEVATION
  - EM ELECTRIC METER
  - F.F. FINISHED FLOOR
  - FND FOUND
  - ICV IRRIGATION CONTROL VALVE
  - INVERT INVERT
  - IRC IRON ROD WITH CAP
  - LB FLORIDA LICENSED BUSINESS NUMBER
  - P.B. PLAT BOOK
  - PG. PAGE
  - PVC POLYVINYL CHLORIDE
  - TYP. TYPICAL
  - U.E. UTILITY EASEMENT
  - W/ WITH
  - CL CENTERLINE
  - BFP BACK FLOW PREVENTER
  - CONC CONCRETE UTILITY POLE
  - CLEANOUT CLEANOUT
  - DOUBLE POST SIGN DOUBLE POST SIGN
  - ELECTRIC PANEL WITH METER ELECTRIC PANEL WITH METER
  - FIRE HYDRANT FIRE HYDRANT
  - FLOOD LIGHT FLOOD LIGHT
  - HANDICAP PARKING HANDICAP PARKING
  - IRRIGATION CONTROL VALVE IRRIGATION CONTROL VALVE
  - PALM TREE PALM TREE
  - SANITARY SEWER MANHOLE SANITARY SEWER MANHOLE
  - SHADE TREE SHADE TREE
  - SINGLE POST SIGN SINGLE POST SIGN
  - WATER METER WATER METER
  - WATER VALVE WATER VALVE
  - WOOD UTILITY POLE WOOD UTILITY POLE
  - METAL HAND RAIL METAL HAND RAIL
  - NON-VEHICULAR ACCESS LINE NON-VEHICULAR ACCESS LINE
  - OVERHEAD LINES OVERHEAD LINES
  - WOOD FENCE WOOD FENCE
  - CONCRETE CONCRETE
  - WOOD SURFACE WOOD SURFACE



**LOCATION SKETCH**  
NOT TO SCALE

**TREE TABLE:**

TREE NUMBER	TREE NAME	DIAMETER IN INCHES	CANOPY IN FEET
514	PALM	12	15
515	PALM	12	15
530	PALM	12	15
531	PALM	12	15
532	PALM	12	15
533	PALM	16	15
554	PALM	24	20
555	PALM	18	20
561	UNKNOWN	6	25
567	PALM	12	15
568	PALM	12	15
569	PALM	12	15
570	PALM	14	15
571	SEA GRAPE	4	20
572	PALM	14	15
607	PALM	8	15
608	PALM	8	15
609	PALM	8	15
610	PALM	12	15
611	PALM	12	15
612	PALM	12	15
659	PALM	12	15
660	PALM	10	15
661	PALM	12	15
662	PALM	10	15
663	PALM	10	15
664	UNKNOWN	6	25
665	UNKNOWN	6	25
666	UNKNOWN	8	25
667	SEA GRAPE	6	20
830	PALM	8	15
831	PALM	8	20
832	PALM	8	20
833	PALM	8	20
834	PALM	8	10

**SURVEY NOTES:**

- LAND DESCRIPTION SHOWN HEREON IS IN ACCORDANCE WITH THE INSTRUMENT OF RECORD.
- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OR DIGITALLY ENCRYPTED SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF RECORD.
- OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
- BEARINGS SHOWN HEREON ARE BASED ON A REFERENCE BEARING OF NORTH 88°58'34" EAST ALONG THE NORTH LINE OF PARCEL 'B', "POMPANO BEACH RESIDENCES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 176, ON PAGE 166 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- IT IS A VIOLATION OF THE STANDARDS OF PRACTICE, RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- THE OWNERSHIP OF FENCES, PERIMETER WALLS, PONDS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARKS. ORIGIN BENCHMARK 14.745 IS A SURVEY DISC IN THE TOP OF THE NORTH END OF THE EAST ABUTMENT OF THE HIGHWAY BRIDGE OVER THE INTRACOASTAL WATERWAY ABOUT 0.2 MILE WEST ALONG STATE HIGHWAY 814 FROM THE JUNCTION OF STATE HIGHWAY A 1 A; ELEVATION=13.17' AND BENCHMARK Y-311 IS A BRASS DISC SET ON THE TOP OF THE EAST SIDE OF THE BASE OF THE COAST GUARD STATION LIGHTHOUSE ABOUT 2.35 MILES NORTH ALONG STATE HIGHWAY A 1 A FROM THE JUNCTION OF STATE HIGHWAY 814 AT POMPANO BEACH, 10 FEET SOUTH OF THE SOUTHEAST CORNER OF THE STEPS LEADING UP TO LIGHTHOUSE, 14.6 FEET WEST OF THE SOUTHEAST LEG OF THE LIGHTHOUSE AND ABOUT LEVEL WITH THE GROUND; ELEVATION=9.63'.
- FEATURES AND LINE WORK SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 WITH THE 2011 ADJUSTMENT APPLIED (83/NSRS11) TRANSVERSE MERCATOR, FLORIDA EAST ZONE WHICH WAS ESTABLISHED VIA MULTIPLE REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS ON THE PROJECT CONTROL POINTS. THE HORIZONTAL COORDINATE VALUES FROM THE RTK GPS OBSERVATIONS WERE OBTAINED AND PROCESSED THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S (FDOT) FLORIDA PERMANENT REFERENCE NETWORK.
- THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.03' FOR HARD SURFACE ELEVATIONS AND 0.1 FOOT FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS ±0.1'.
- THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL AND MAY BE ALTERED FOR CLARITY. DISTANCES AND ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- THE FEATURES SHOWN HEREON WERE LOCATED FROM PROJECT CONTROL POINTS THAT ACHIEVED A HORIZONTAL RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 29,238 FEET. THAT RELATIVE DISTANCE ACCURACY WAS OBTAINED BY REDUNDANT ANGLE AND DISTANCE MEASUREMENTS AND CALCULATION OF A CLOSED GEOMETRIC FIGURE (TRAVERSE).
- THE INTENDED DISPLAY SCALE FOR THIS SURVEY IS 1"= 20' OR SMALLER.
- ALL MAPPED FEATURES AND ELEVATIONS SHOWN HEREON WERE OBTAINED BY KEITH AND ASSOCIATES FOR THE PURPOSE OF THIS SURVEY.
- ACCORDING TO THE LETTER OF MAP REVISION (LOMR) CASE NO. 15-04-4261P, EFFECTIVE DATE OF 4-6-2016; THIS PROPERTY LIES IN ZONE AE, BASE FLOOD ELEVATION (7).

**SITE ADDRESS:**

723 NORTH OCEAN BOULEVARD  
POMPANO BEACH, FLORIDA 33062.

**LAND DESCRIPTION:**

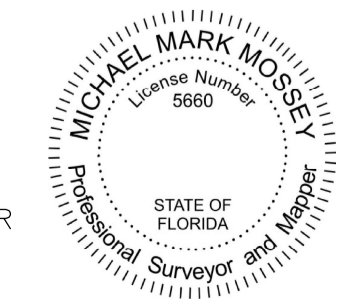
PARCEL B, "POMPANO BEACH RESIDENCES" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 176, ON PAGE 166, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

**CERTIFICATION:**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON NOVEMBER 24, 2020 MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC.  
CONSULTING ENGINEERS

MICHAEL M. MOSSEY  
PROFESSIONAL SURVEYOR AND MAPPER  
REGISTRATION NO. 5660  
STATE OF FLORIDA



Digitally signed  
by Michael M  
Mossey  
Date: 2020.11.24  
11:15:39 -05'00'

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL M. MOSSEY ON THE DATE ADJACENT TO THE SEAL.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

DATE	REVISION	BY

DATE	11/24/2020
SCALE	1" = 20'
FIELD BOOK	951
DRAWN BY	DOB
CHECKED BY	MMM

**KEITH**  
301 EAST ATLANTIC BOULEVARD  
POMPANO BEACH, FLORIDA 33060-6643  
(954) 788-3400 FAX (954) 788-3500  
EMAIL: mail@KEITHteam.com LB NO. 6860

**BOUNDARY & TOPOGRAPHIC SURVEY**  
SABBIA BEACH - SALES TRAILER

PARCEL B, "POMPANO BEACH RESIDENCES"  
PLAT BOOK 176, PAGE 166, B.C.R.

CITY OF POMPANO BEACH BROWARD COUNTY FLORIDA

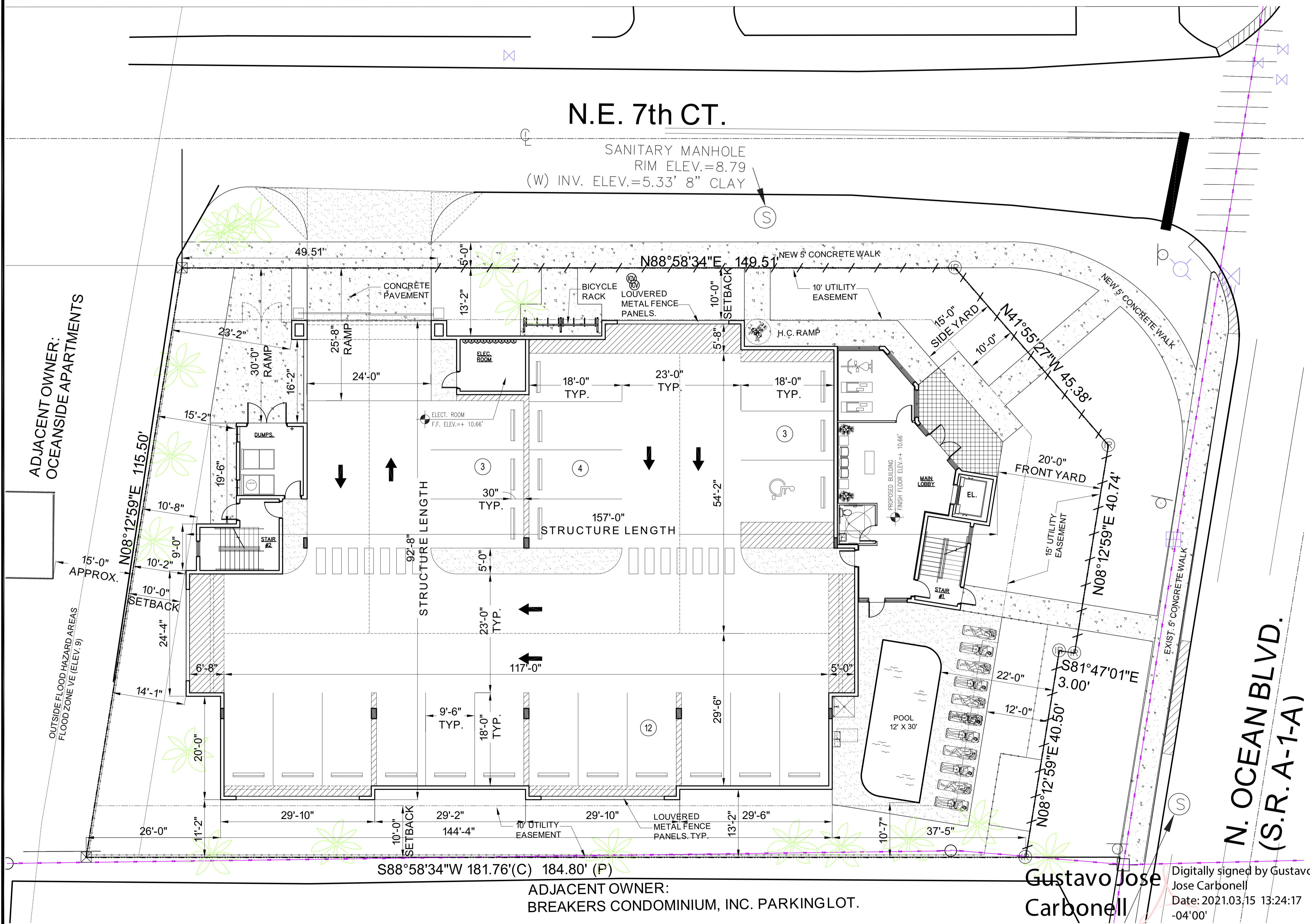
SHEET	1	OF	1
PROJECT NUMBER	11-20-20		

**7 NOT USED**

**6 NOTES**

NOTE:  
 1- ALL OVERHEAD UTILITIES ON THE SOUTH SIDE WILL BE BURIED FOR THIS PROJECT AS PER 155.5509 IF POSSIBLE.  
 2- BUILDING FOUNDATION IS STEM WALL TYPE. TOP OF THE FOOTING WILL BE 24" BELOW GRADE.

**5 ADJACENT OWNERS**



**1 SITE PLAN**  
SCALE: 1" = 10.0'

**2 LEGAL DESCRIPTION**  
N.T.S.

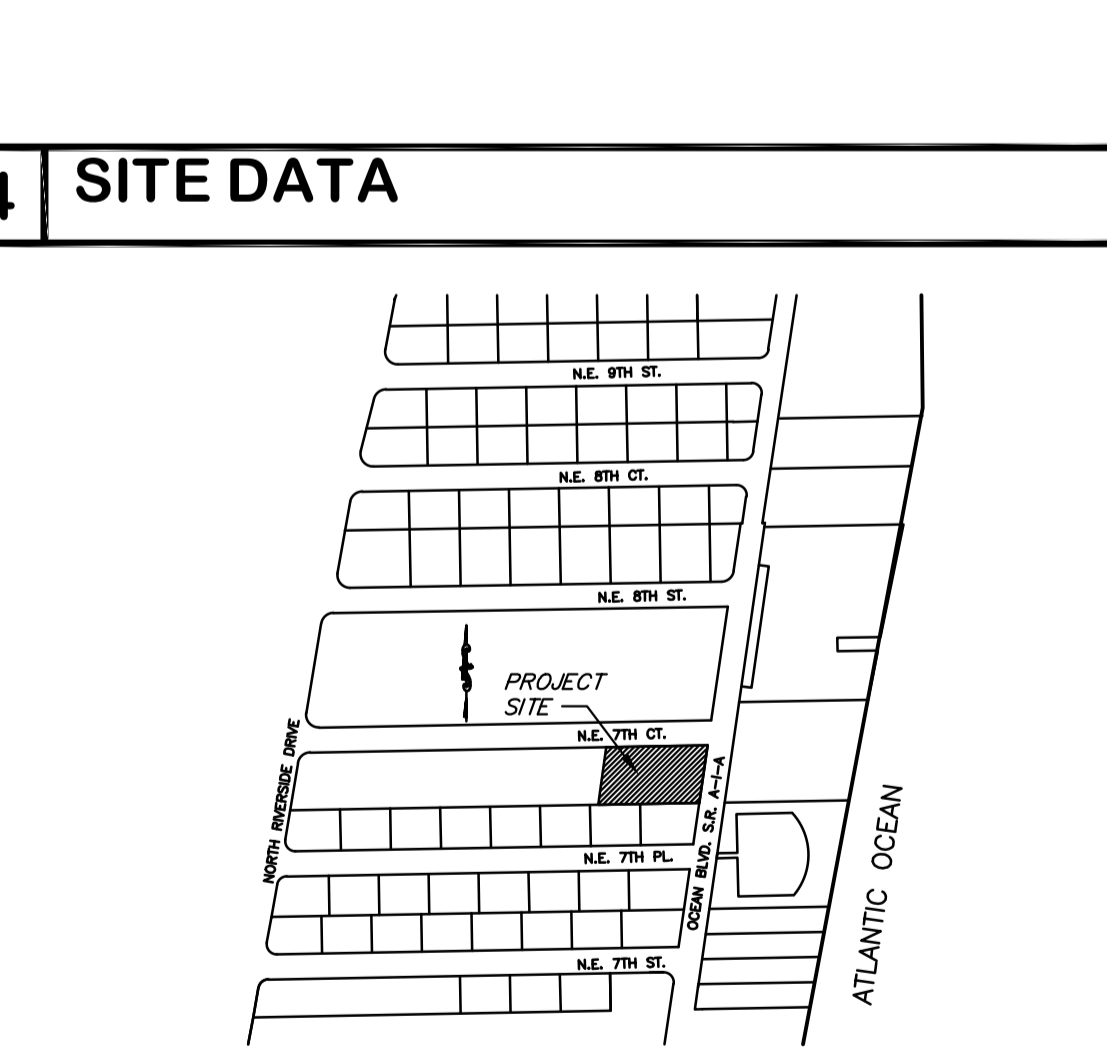
**3 LOCATION MAP**  
N.T.S.

**4 SITE DATA**

### DRC SITE DATA TABLE

SITE INFORMATION :		
PROPERTY ADDRESS:	723 N OCEAN BOULEVARD, POMPANO BEACH, FL	
DRC CASE #:		
BLDG PERMIT #:		
ZONING AND PROPERTY INFORMATION:		
EXISTING LAND USE DESIGNATION:	MH - MEDIUM HIGH 16-25 DU/AC	
EXISTING ZONING DESIGNATION:	RM-20 MULTIPLE FAMILY RESIDENCE	
PROPOSED ZONING DESIGNATION:	RPUD - RESIDENTIAL PLANNED UNIT DEVELOPMENT	
CURRENT USE OF PROPERTY:	VACANT	
PROPOSED USE OF PROPERTY:	(12) MULTIFAMILY APARTMENTS	
FLOOD ZONE:	ZONE AE	
BASE FLOOD ELEVATION:	7.0 FT. ELEV. NAVD	
UTILITIES AND SERVICES:		
WATER PROVIDER:	CITY OF POMPANO BEACH	
WASTE WATER PROVIDER:	CITY OF POMPANO BEACH	
SOLID WASTE PROVIDER:	WASTE MANAGEMENT	
RECYCLING PROVIDER:	WASTE MANAGEMENT	
DEVELOPMENT DATA:		
NUMBER OF RESIDENTIAL UNITS:	TWELVE (2) BEDROOM APARTMENTS	
UNIT TYPE:	MULTIFAMILY DEVELOPMENT	
NUMBER OF STORIES:	THREE STORIES - 34' HEIGHT FROM GRADE	
TOTAL BUILDING AREA:	35,307 SQ.FT.	
NON-RESIDENTIAL DEVELOPMENT (USES / GROSS FLOOR AREA):	N/A	
SITE AND BUILDING DATA:		
	SF	%
GROSS SITE (SF / ACREAGE):	31,321 SQ.FT. = 0.719 AC	100.00 %
NET LOT SIZE (SF / ACREAGE):	20,341 SQ.FT. = 0.467 AC	100.00 %
BUILDING FOOTPRINT:	12,104 SQ.FT.	59.50 %
VEHICULAR USE AREA (VUA):	243 SQ.FT.	1.19 %
PEDESTRIAN WALKS:	945 SQ.FT.	4.65 %
BIKE AREA:	148 SQ.FT.	0.72 %
POOL & POOL DECK AREA:	1,318 SQ.FT.	5.50 %
LANDSCAPE AREA:	5,785 SQ.FT.	28.44 %

SITE DATA:	REQUIRED	PROVIDED
GROSS DENSITY, MAX. (DU/AC):	12/0.719=16.68 DU/A	17 DU/AC (RPUD)
NET DENSITY, MAX. (DU/AC):	12/0.467=25.69 DU/A	26 DU/AC (RM-20)
BUILDING HEIGHT:	N/A	34' T.O. ROOF ABOVE FINISH GRADE
LOT WIDTH:	N/A	149.51'
STRUCTURE LENGTH:	N/A	158'-6"
LOT COVERAGE MAX.:	N/A	12,104 SQ.FT. = 59.5%
OPEN SPACE:	N/A	7,994 SQ.FT.
PERVIOUS AREA:	N/A	5,785 SQ.FT. = 28.44%
IMPERVIOUS AREA:	N/A	14,556 SQ.FT. = 71.56%
PARKING SPACES:	1.5 SPACE/UNIT=1.5x12=18	22 SPACES

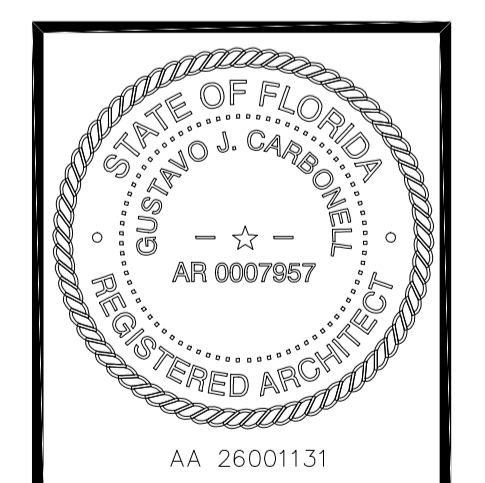


**LEGAL DESCRIPTION:**  
 PARCEL B POMPANO BEACH RESIDENCES PLAT BOOK 176 PAGES  
 166-167 BROWARD COUNTY PUBLIC RECORDS.

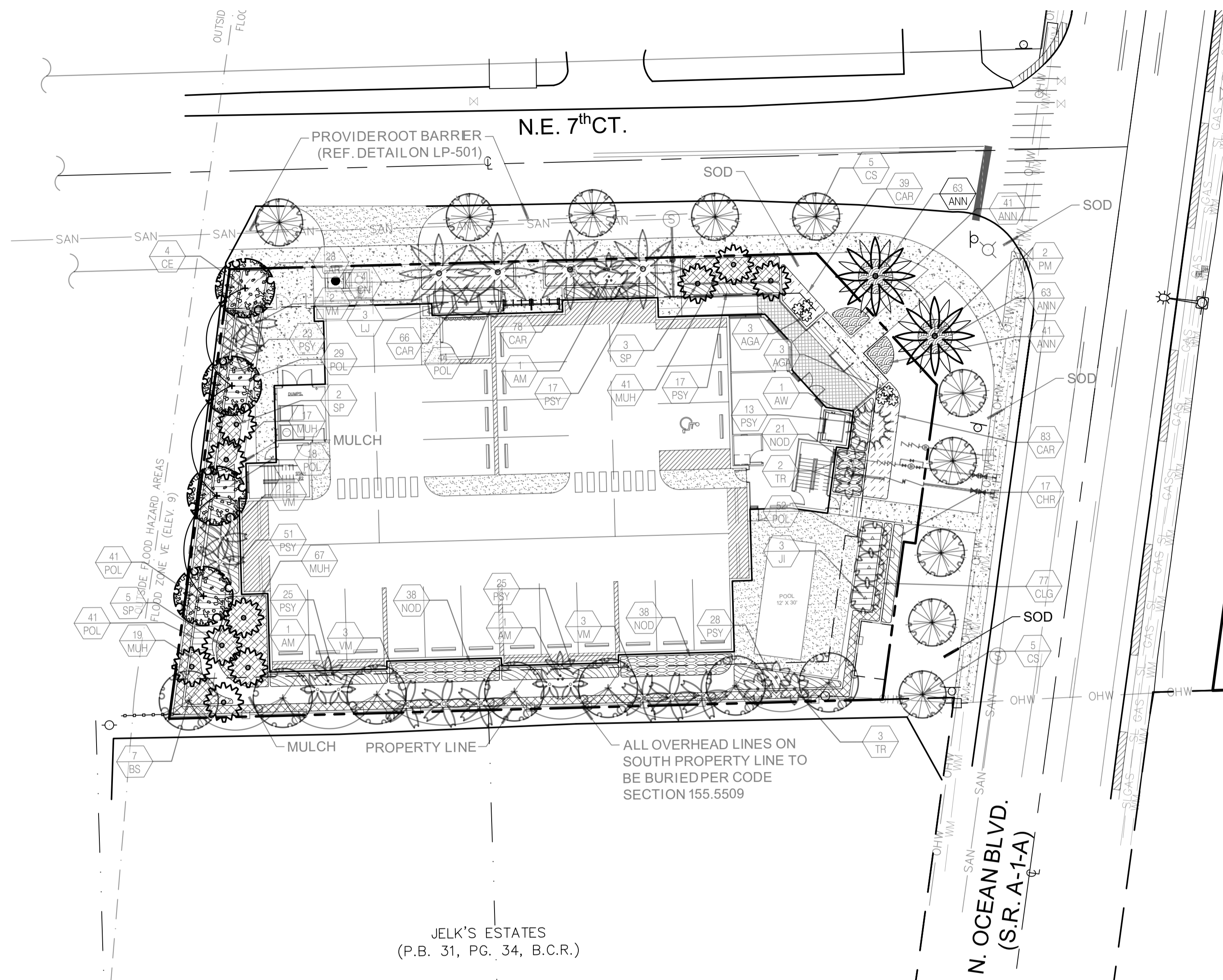
REVISION	BY:
03-11-2021	M.J.G.

**GUSTAVO J. CARBONELL, P.A.**  
 Architect and Planner  
 1457 N.E. 4th AVE, 33304  
 Ft. Lauderdale, Florida, 33304  
 (954) 462-6565  
 Member American Institute of Architects  
 FLORIDA REGISTRATION NO. 0007957  
 AA NO. 26001131

**PROPOSED MULTIFAMILY DEVELOPMENT FOR:  
 SABBIA BEACH PARCEL B**  
 723 N. OCEAN BOULEVARD  
 Pompano Beach, Florida



DRAWN	M.J.G.
CHECKED	G.J.C.
DATE	JUNE 2020
SCALE	AS NOTED
JOB. NO.	20-025

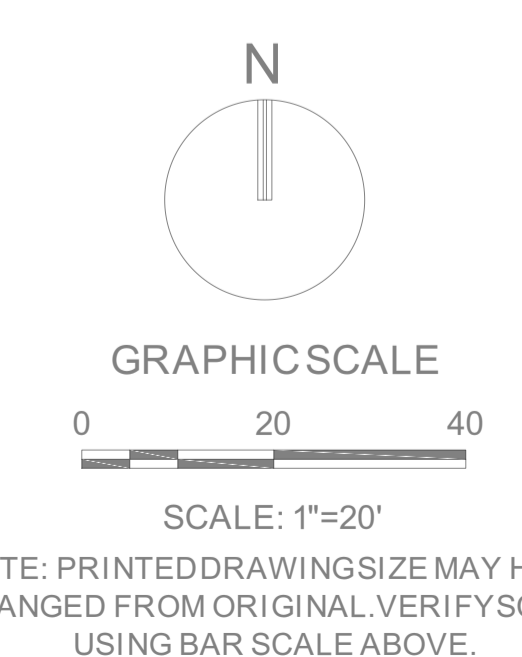


PLANT SCHEDULE					
TREES	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
BS	7	BURSERIA SIMARUBA GUMBO LIMBO	16' HT X 8' SPRD, 4" DBH, FULL CANOPY		
CE	4	CONOCARPUS ERECTUS GREEN BUTTWOOD	16' HT X 8' SPRD, 4" DBH, FULL CANOPY	N**	
CS	10	CONOCARPUS ERECTUS SERICEUS SILVER BUTTWOOD	12' HT X 5' SPRD, 2.5" CAL	N**	
JL	3	JATROPHA INTEGERRIMA SPICY JATROPHA	5' HT, 4' SPRD., FULL, 1.5" DBH		
LJ	3	LIGUSTRUM JAPONICUM JAPANESE PRIVET	5' HT., 5' SPRD., HEAVY, FULL		
PALMS					
PALMS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
AW	1	ACOELORRHAPHE WRIGHTII PAUROTIS PALM	12' HT X 5' SPRD, FULL CANOPY	N**	MULTI-TRUNK
AM	3	ADONIDIA MERRILLII MANILA PALM	6-7' CT MIN., TRIPLE, FULL		
CN	4	COCOS NUCCIFERA 'GREEN MALAYAN' COCONUT PALM	10' & 16' CT	N**	STAGGERED PER PLAN
PM	2	PHOENIX DACTYLIFERA 'MEDJOOOL' DATE PALM	12' CT, HEAVY, MATCHED		
SP	10	SABAL PALMETTO SABAL PALM	14', 20', 26' CT STAGGERED	N**	SLICK, HURRICANE CUT
TR	5	THRINAX RADIATA FLORIDA THATCH PALM	6-7' CT	N**	
VM	10	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	12' & 16' CT	*	
SHRUBS					
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
AGA	6	AGAVE ATTENUATA FOXTAIL AGAVE	16" X 16"		
SHRUB AREAS					
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	SPACING
ANN	208	ANNUALS	8" SPRD, 12" O.C.		12" OC
CAR	294	CARISSA MACROCARPA DWARF NATA PLUM	12" HT X 16" SPRD, 18" O.C.	**	18" OC
CHR	17	CHRYSOBALANUS ICACO COCO PLUM	24" HT. X 24" SPRD.	N**	24" OC
CLG	77	CLUSIA GUTTIFERA SMALL LEAF CLUSIA	48" HT. X 36" SPRD., 36" O.C.		
MUH	144	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	24" HT. X 24" SPRD.	N**	24" OC
NOD	97	NERIUM OLEANDER 'DWARF' DWARF OLEANDER	18" X 24" SPRD, 24" O.C.		
POL	184	POLYPODIUM SCOLOPENDRIA WART FERN	12" HT. X 14" SPRD.	**	18" OC
PSY	199	PSYCHOTRIA NERVOSA WILD COFFEE	24" HT. X 24" SPRD.	N**	24" OC

NOTES

- SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTION AREAS. CONTRACTOR TO DETERMINE QUANTITY.
- ALL PLANTS TO BE FLORIDANO. 1 OR BETTER PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.
- ALL TREES TO BE BALLED & BURLAPPED UNLESS SPECIFIED OTHERWISE.
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
- BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATION SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- PRE-CONSTRUCTION MEETING IS REQUIRED BEFORE ANY PLANT MATERIAL IS INSTALLED ON SITE.
- ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.
- NO TRENCHING ALLOWED WITHIN ROOT ZONES OF EXISTING TREES.

LANDSCAPE REQUIREMENTS:			
<b>PROJECT INFORMATION:</b>			
ZONING DESIGNATION:	RPUD		
NET SITE AREA (S.F.)	20,341		
TOTAL SITE AREA (S.F.)	20,341	0.47 AC	
<b>TOTAL TREES REQUIRED</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
SUM OF SITE + PERIMETER BUFFER + STREET TREES	25	27	
BREAKDOWN CATEGORIZED BELOW:			
<b>TREE HT RELATIVE TO BLDG 155.5203.B.2.g</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
50% REQ'D. TREES TO BE 16' OA	12	11	
50% REQ'D. PALMS TO BE 22' OA		10	
<b>NATIVE TREE REQUIREMENT 155.5203.B</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
50% OF REQUIRED TREES TO BE NATIVE	12	173	
<b>TREE SPECIES DIVERSITY 155.5203.B</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
WHERE 20 TREES ARE REQ'D, FOR SITE, 4 DIFFERENT SPECIES REQ'D ON PLAN	4	11	
<b>MIN. REQUIREMENTS PER ZONING 155.5203.C</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
(1) TREE PER 3000 SF	7	27	
(5) SHRUBS PER 3000 SF	34	437	
<b>PERIMETER BUFFER 155.5203.F- TYPE B</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
(1) TREE PER 30 LF			
WEST - 115 LF	4	5	
SOUTH - 181 LF	6	7	
TOTAL	10	12	
<b>STREET TREES 155.5203.G</b>	<b>REQUIRED</b>	<b>PROVIDED</b>	
(1) TREE PER 40 LF			
NE 7TH CT - 187 LF	5	4	
SR A1A - 116 LF	3	5	
TOTAL	8	9	



301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

SABBIABEACH-  
PARCEL B

NE 7th COURT AND SR A-1-A  
POMPAHO BEACH, FL 33062

SCALE:	AS NOTED
DATE ISSUED:	NOVEMBER 2020
DRAWN BY:	JR
DESIGNED BY:	JR, MP
CHECKED BY:	MP

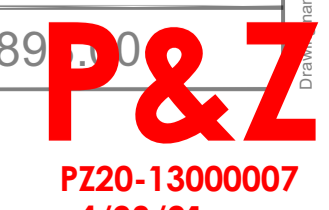
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by Michael J  
Phillips  
Date: 2021.03.10  
13:14:18 -05'00'

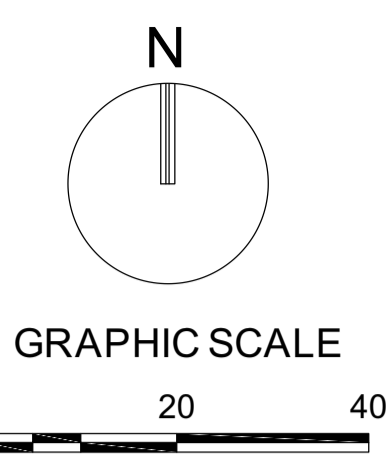
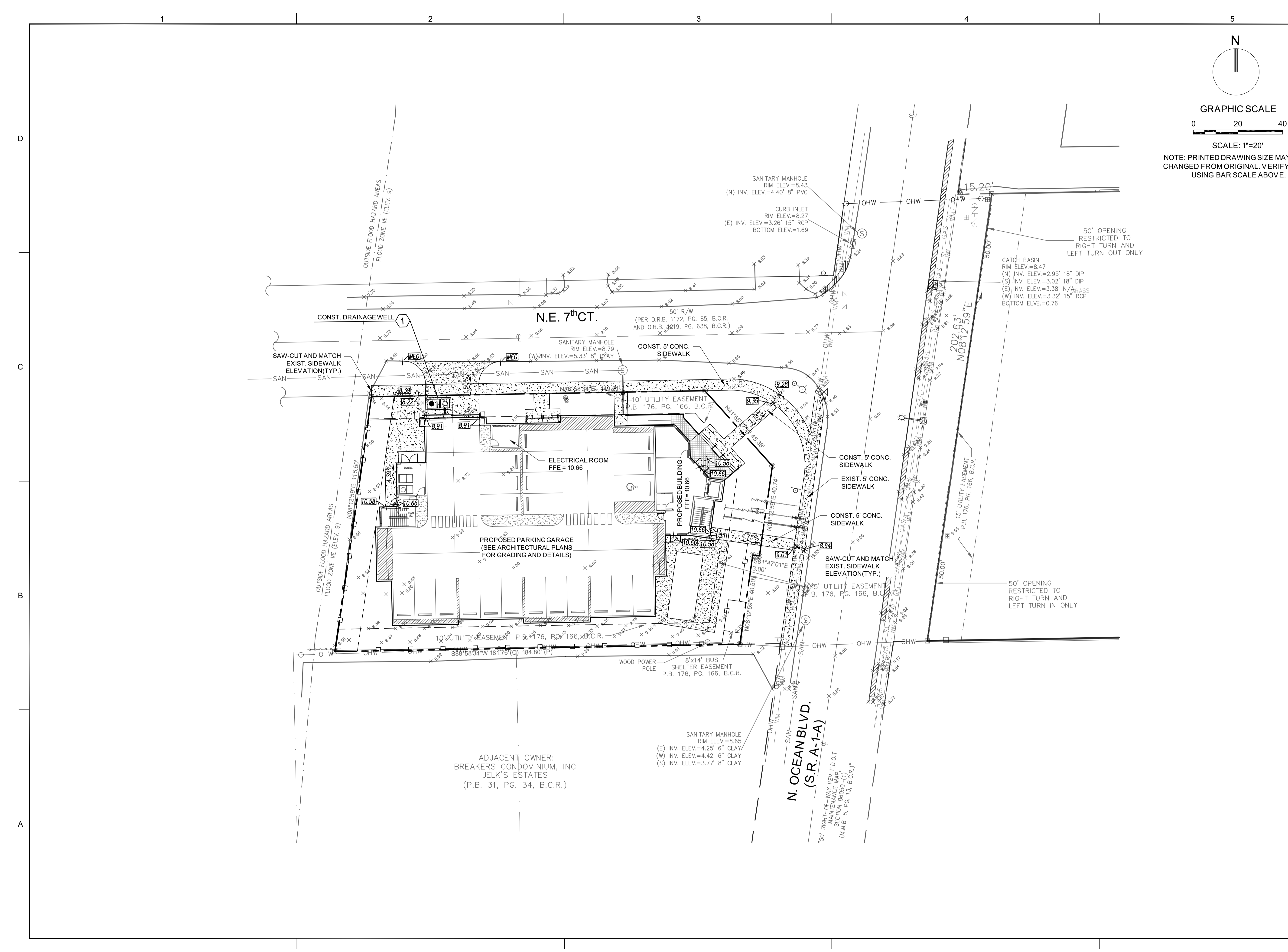
MICHAEL J. PHILLIPS, R.L.A.  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

SHEET TITLE  
LANDSCAPE PLAN

SHEET NUMBER  
LP-101

PROJECT NO. 1189





NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of Authorization# - 7928

BID / CONTRACT NO.:

REVISIONS

NO.	DESCRIPTION	DATE

**SABBIA BEACH - PARCEL B**

NE 7<sup>TH</sup> COURT AND SR A-1-A  
POMPANO BEACH, FL 33062

SCALE: AS NOTED

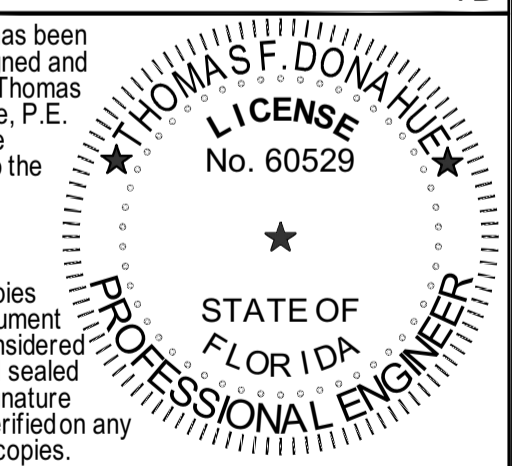
DATE ISSUED: NOVEMBER 2020

DRAWN BY: PS

DESIGNED BY: PS

CHECKED BY: TD

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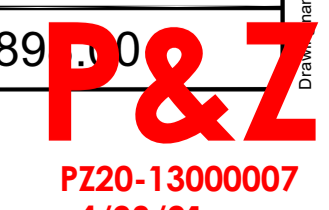
Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Date: 2020.11.19 10:58:16-05'00"  
THOMAS F. DONAHUE, P.E.  
FLORIDA REG. NO. 60529  
(FOR THE FIRM)

SHEET TITLE  
**PAVING, GRADING AND DRAINAGE PLAN**

SHEET NUMBER  
CP-101

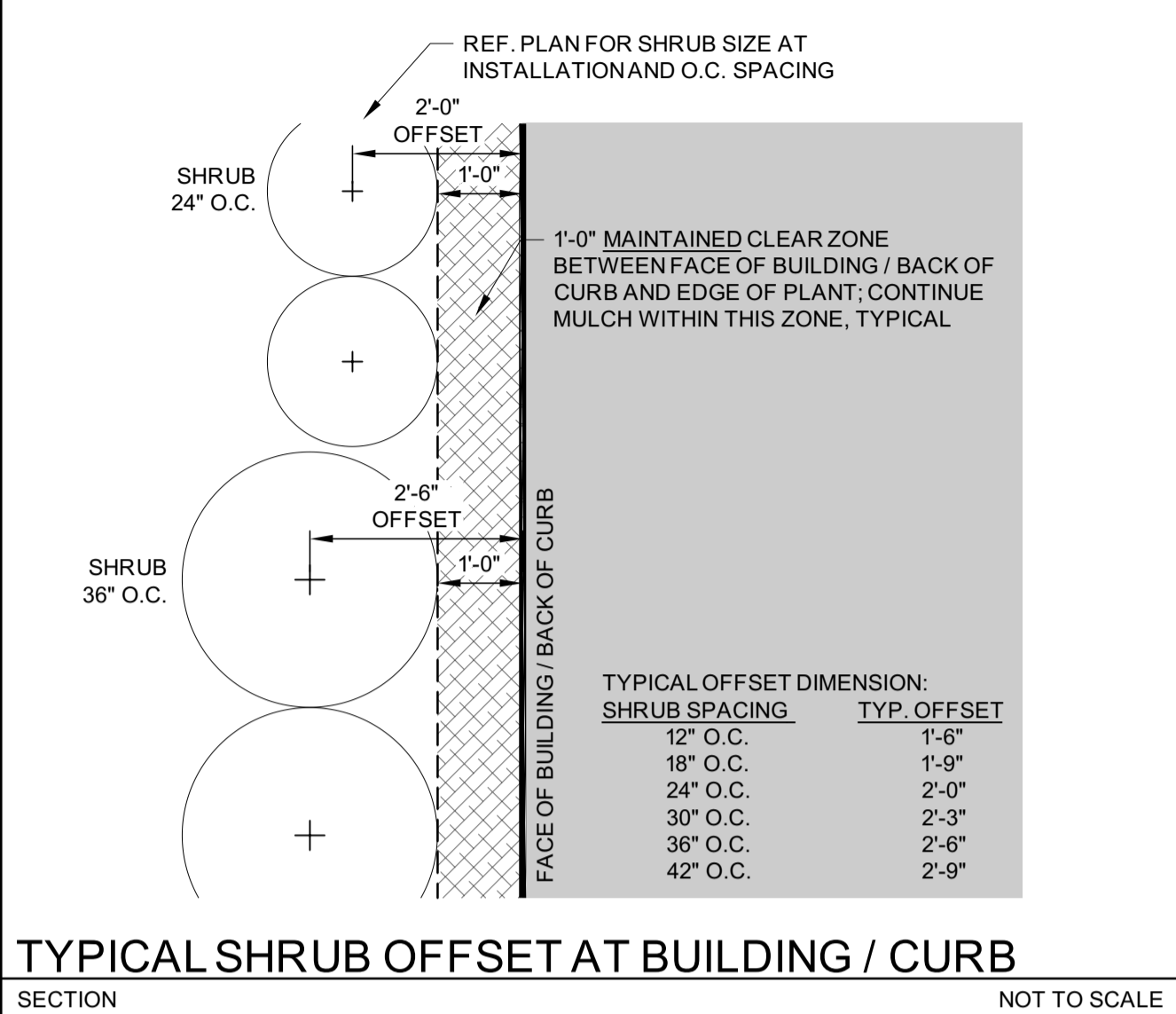
PROJECT NO. 1189



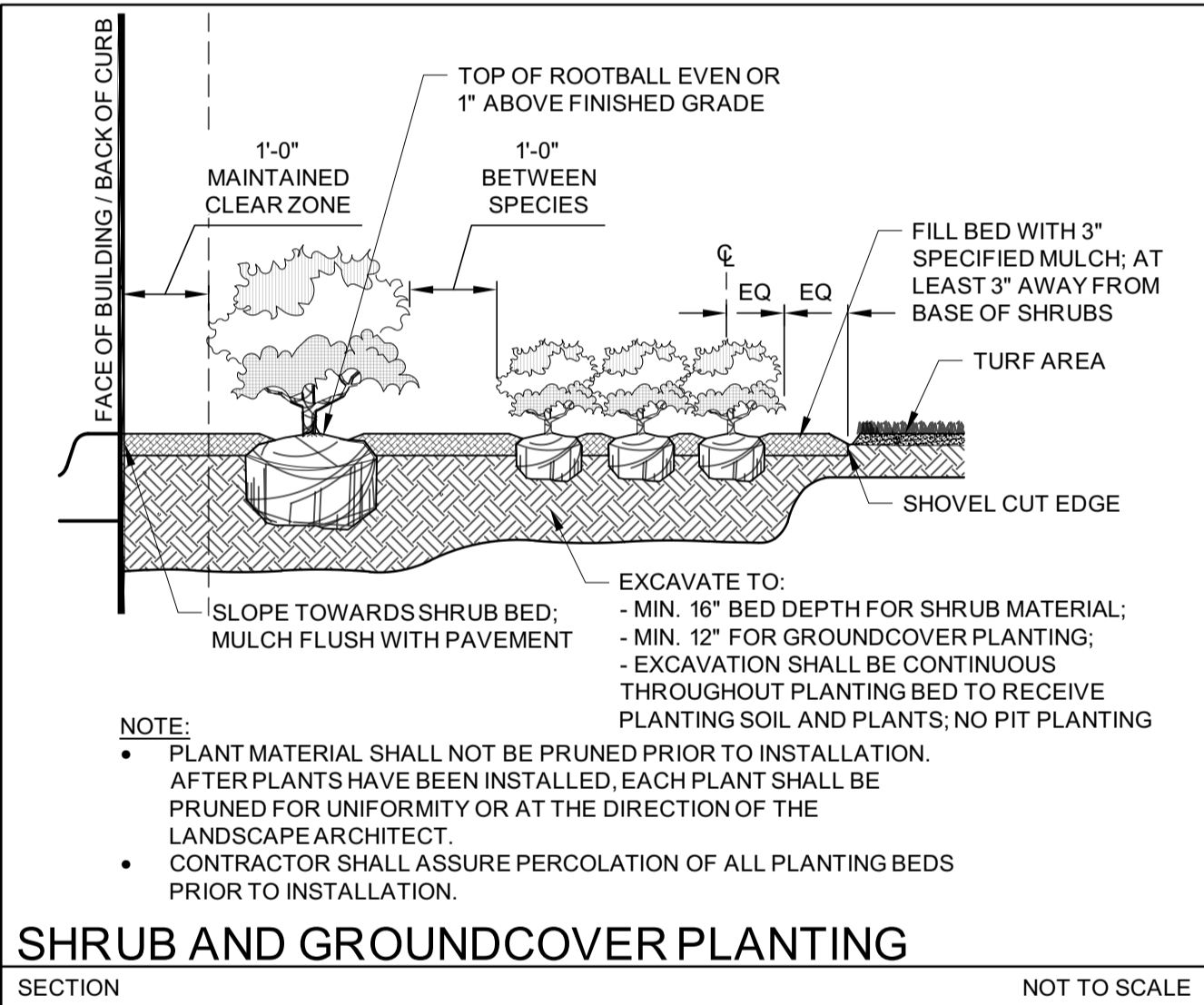
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4/28/21



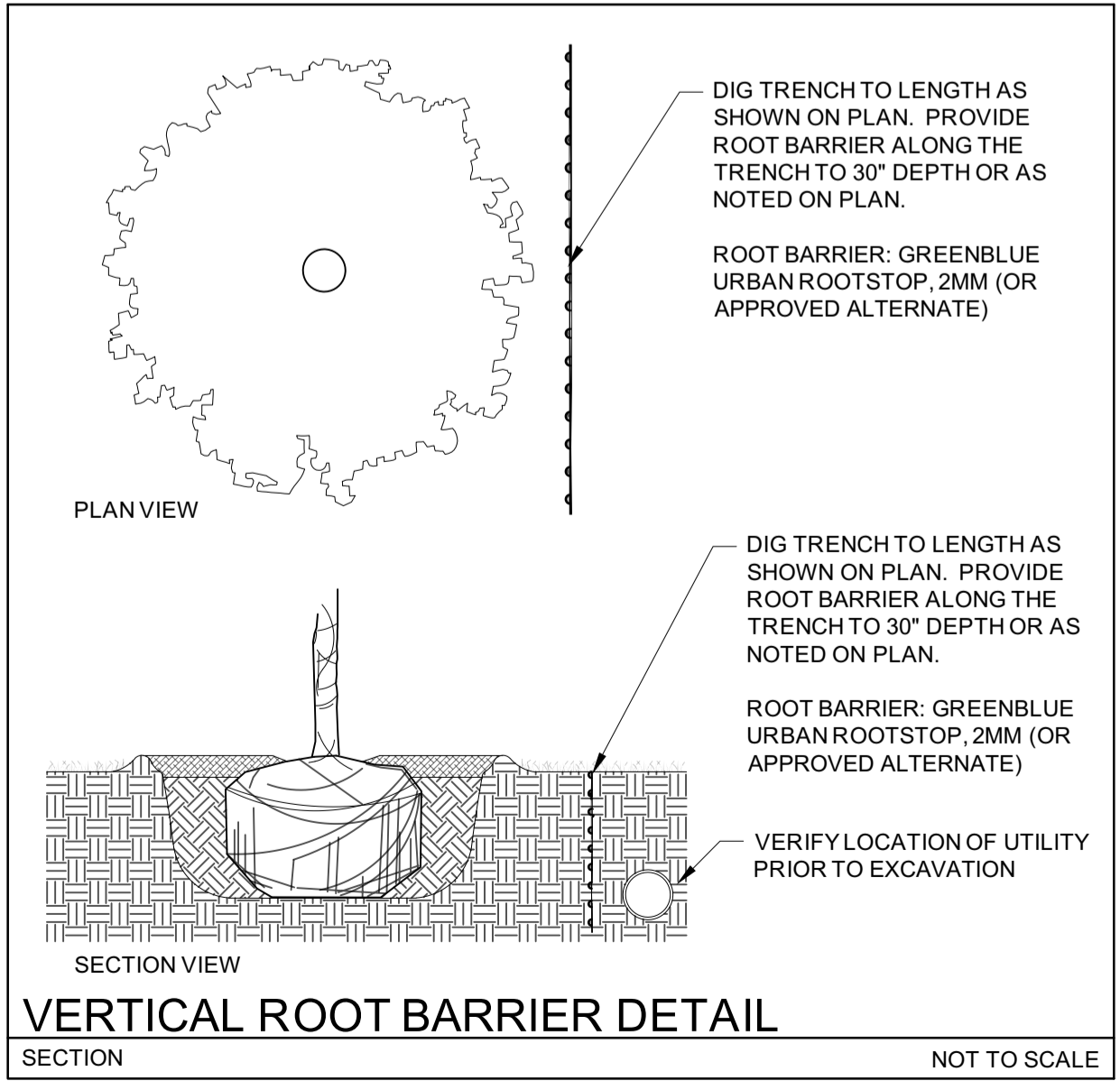




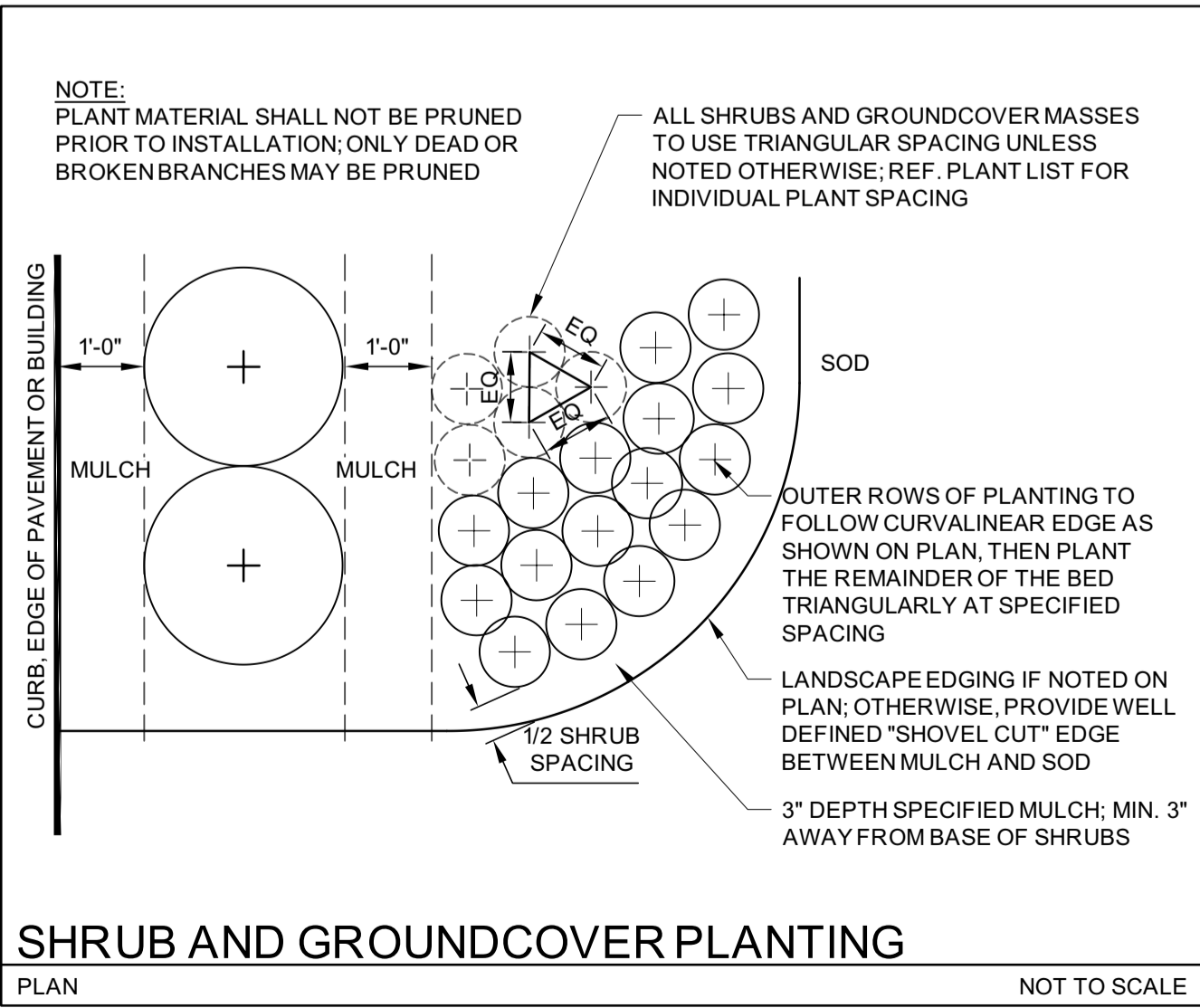
TYPICAL SHRUB OFFSET AT BUILDING / CURB SECTION NOT TO SCALE



SHRUB AND GROUND COVER PLANTING SECTION NOT TO SCALE



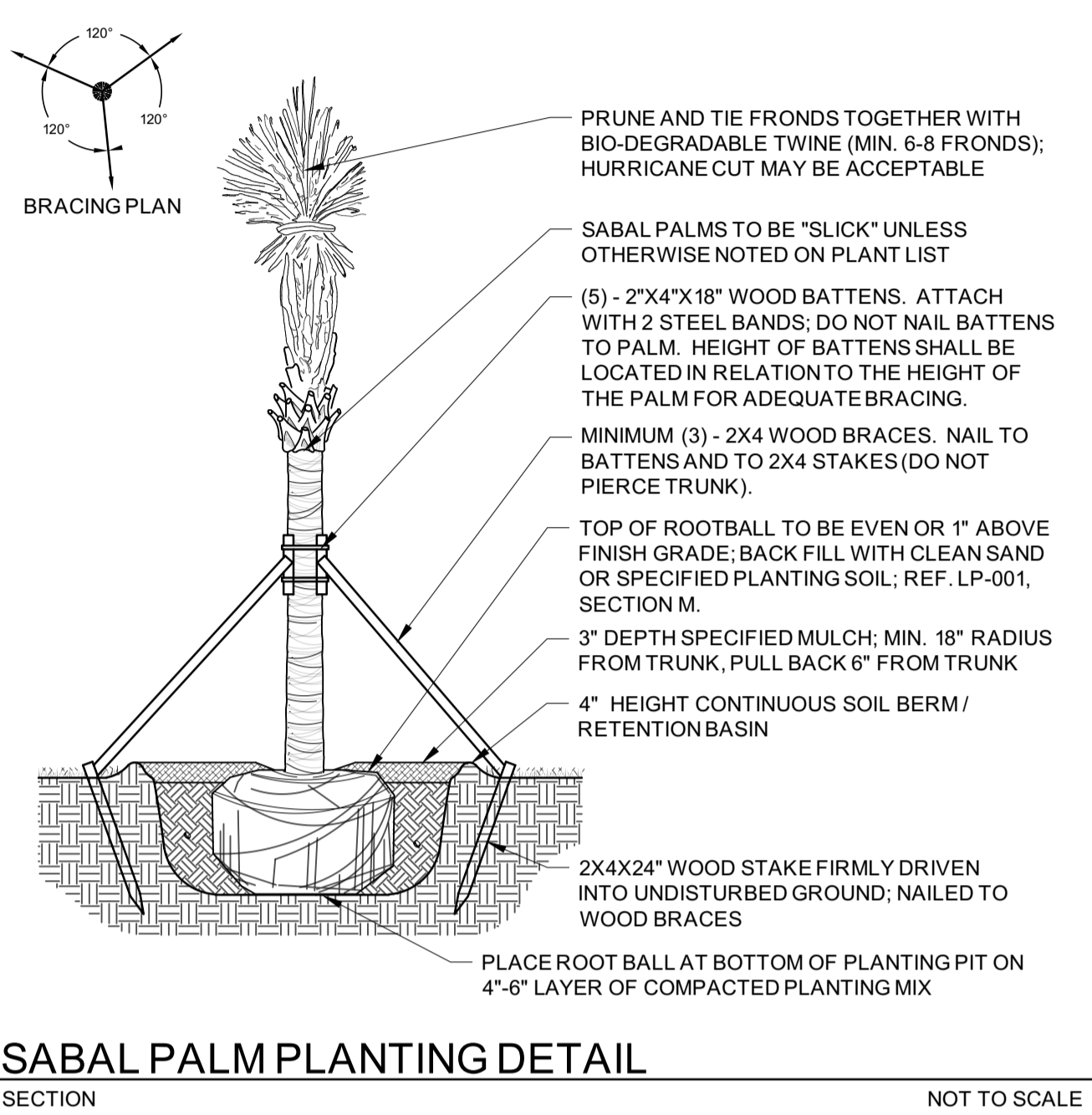
VERTICAL ROOT BARRIER DETAIL SECTION NOT TO SCALE



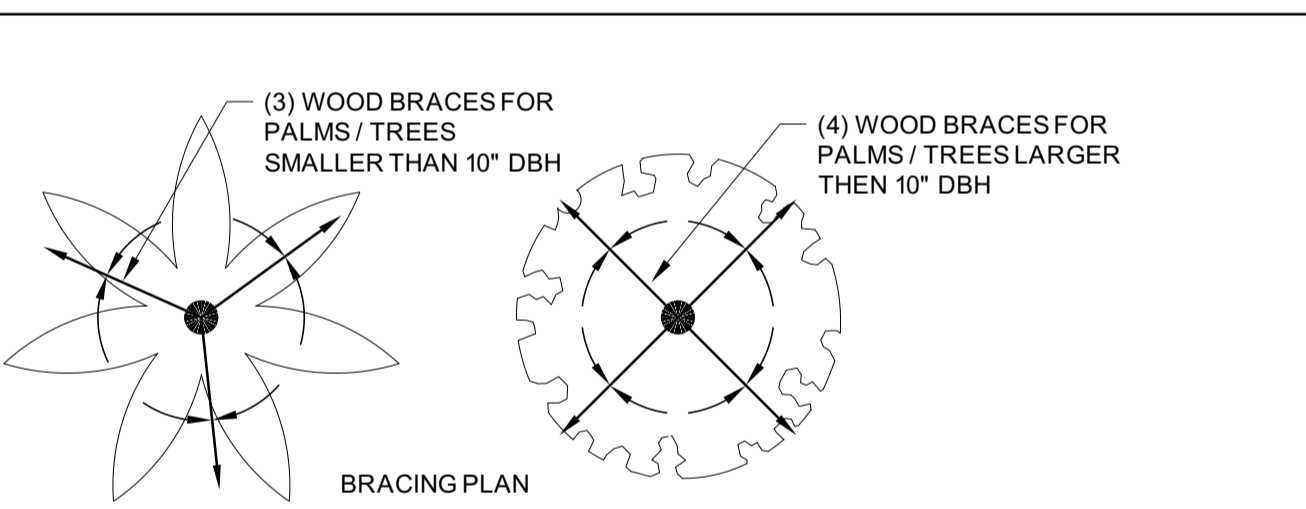
SHRUB AND GROUND COVER PLANTING PLAN NOT TO SCALE

**NOTE:**

- REF. LP-101 FOR ADDITIONAL REQUIREMENTS.
- ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTION TO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

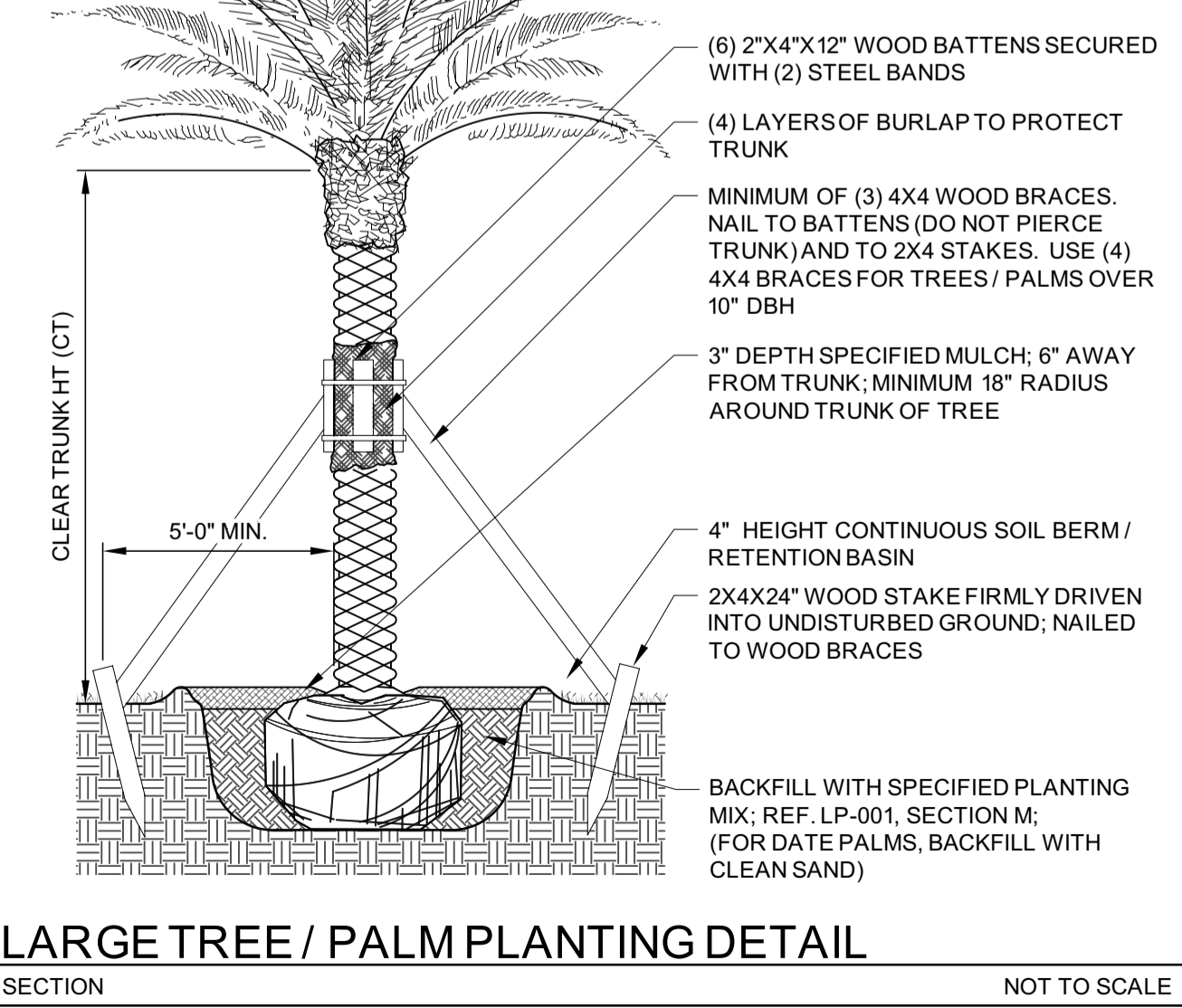


SABAL PALM PLANTING DETAIL SECTION NOT TO SCALE

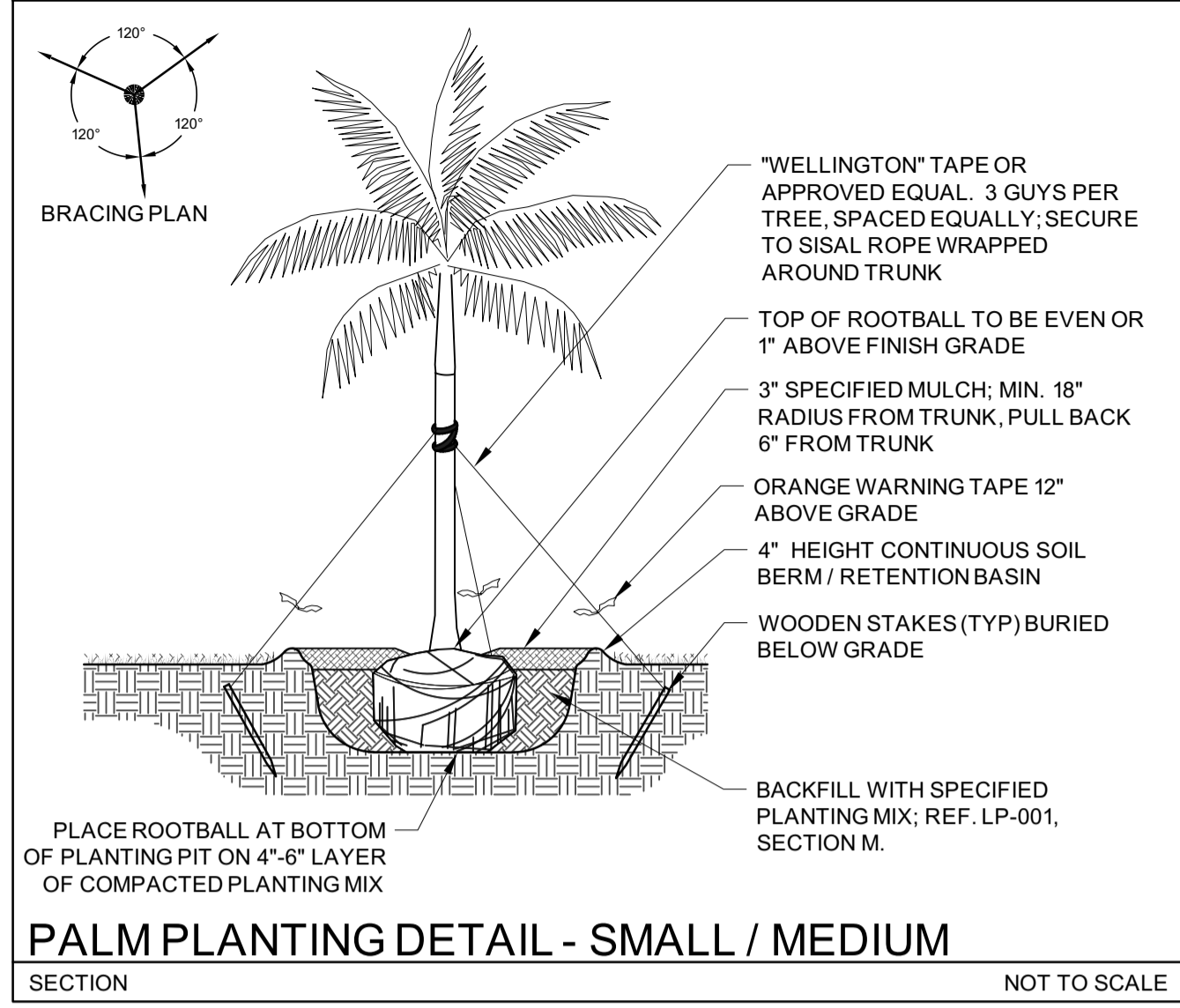


**NOTES:**

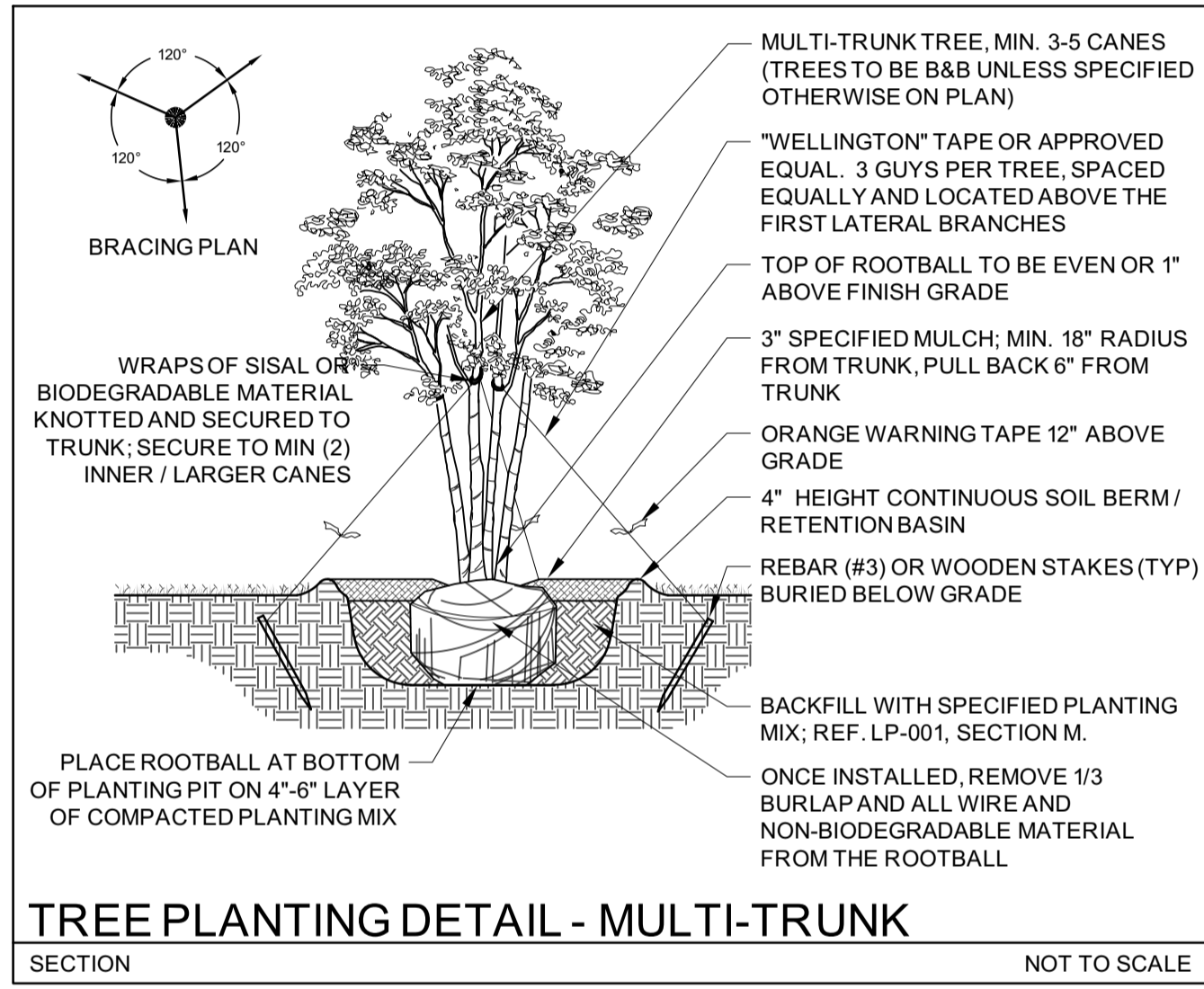
- FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY LANDSCAPE ARCHITECT
- ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION



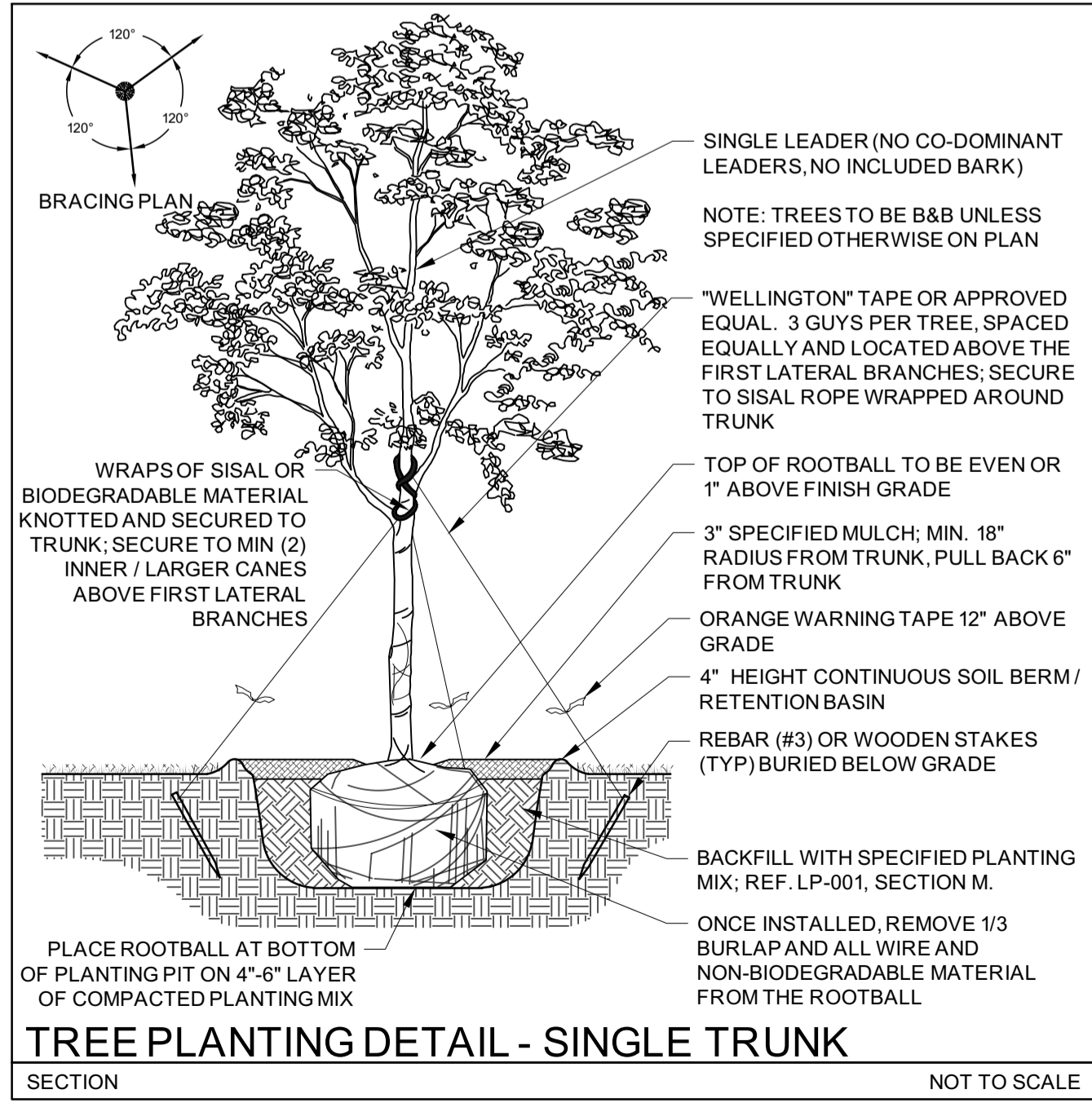
LARGE TREE / PALM PLANTING DETAIL SECTION NOT TO SCALE



PALM PLANTING DETAIL - SMALL / MEDIUM SECTION NOT TO SCALE



TREE PLANTING DETAIL - MULTI-TRUNK SECTION NOT TO SCALE



TREE PLANTING DETAIL - SINGLE TRUNK SECTION NOT TO SCALE



301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO. :

**REVISIONS**

NO.	DESCRIPTION	DATE

**SABBIA BEACH - PARCEL B**  
NE 7<sup>th</sup> COURT AND SR A-1-A  
POMPA NO BEACH, FL 33062

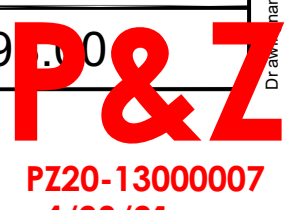
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DATE ISSUED: NOVEMBER 2020  
DRAWN BY: JR  
DESIGNED BY: JR, MP  
CHECKED BY: MP

Michael J. Phillips  
Digitally signed by Michael J. Phillips  
Date: 2021.03.10 13:15:19 -05'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

**SHEET TITLE**  
LANDSCAPE DETAILS

**SHEET NUMBER**  
LP-501







301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO.:

REVISIONS  
NO. DESCRIPTION DATE

**SABBIA BEACH -  
PARCEL B**

NE 7<sup>TH</sup> COURT AND SR A-1-A  
POMPAÑO BEACH, FL 33062

SCALE: AS NOTED

DATE ISSUED: NOVEMBER 2020

DRAWN BY: JR

DESIGNED BY: JR, MP

CHECKED BY: MP

Digitally signed  
by Michael J  
Phillips  
Date: 2021.03.10  
13:11:32 -05'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

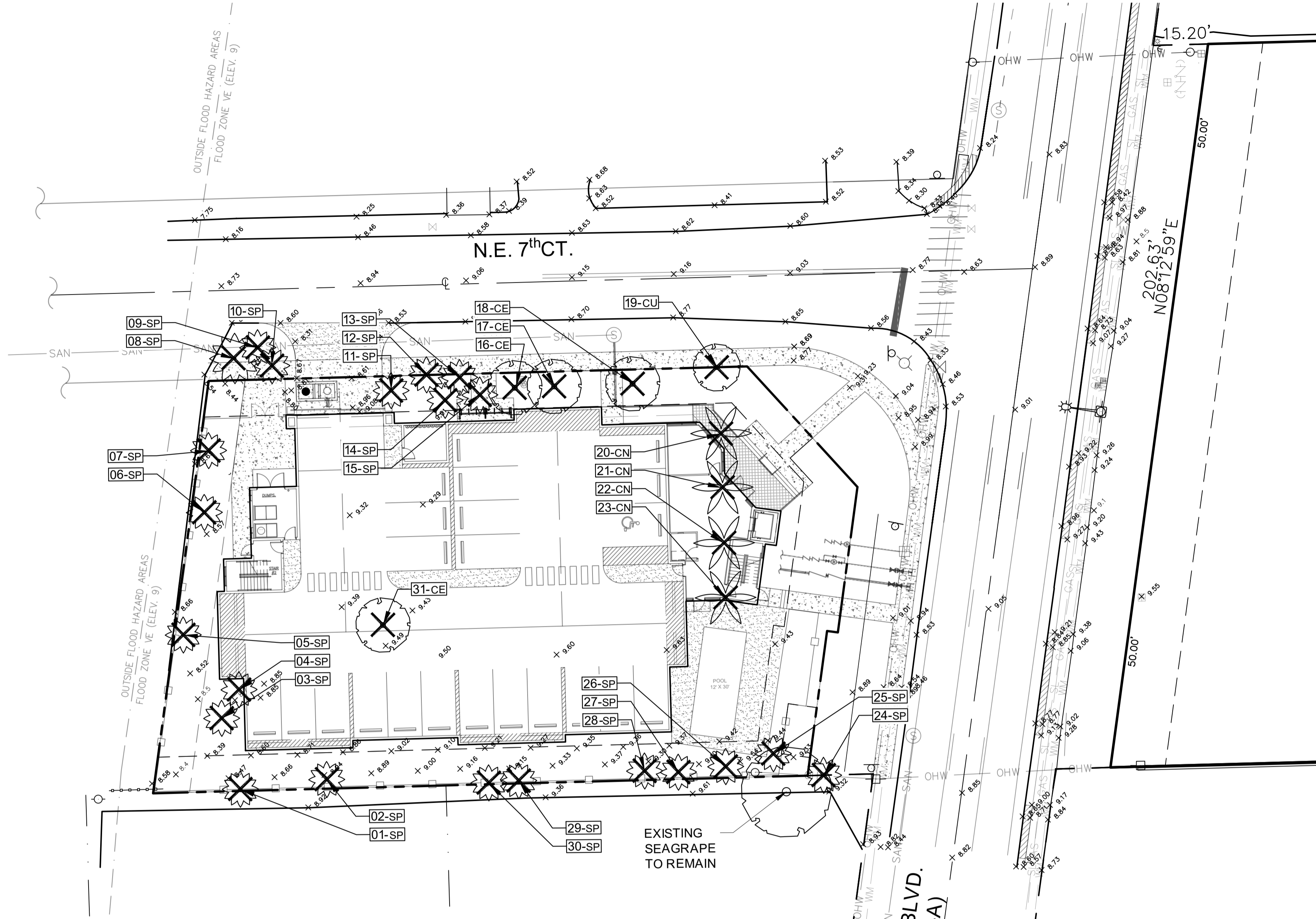
SHEET TITLE

**TREE  
DISPOSITION  
PLAN**

SHEET NUMBER

LD-101

PROJECT NO. 11898.00



**TREE DISPOSITION LEGEND**

SYMBOL	DESCRIPTION
(No symbol)	EXISTING TREE / PALM TO REMAIN (NO SYMBOL) TO BE PROTECTED DURING CONSTRUCTION
△	EXISTING TREE / PALM TO RELOCATE. REFER TO LANDSCAPE PLAN FOR NEW LOCATION
✕	EXISTING TREE / PALM TO REMOVE. REMOVE ALL CAT 1 INVASIVE EXOTICS. (EX: BRAZ, PEPPER)
XXX-xx	EXISTING TREE / PALM NUMBER. REFER TO TREE DISPOSITION TABLE ON LD-102

**TREE DISPOSITION NOTES**

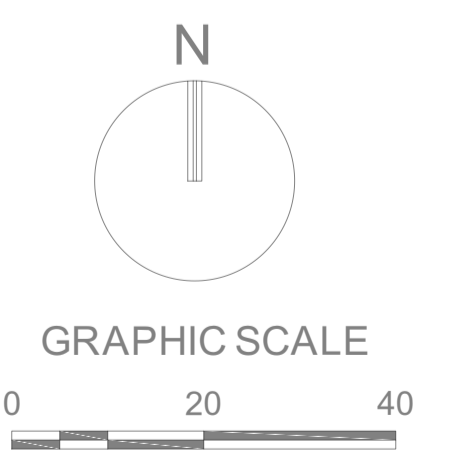
- EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS, REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'.
- SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY.
- CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.
- TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.
- ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER.
- BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS.
- REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.
- ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.

**TREE DISPOSITION TABLE**

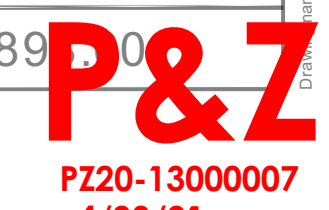
PROJECT #: 11898.00 PROJECT NAME: Sabbia Beach - Parcel B

TREE #	COMMON NAME	SCIENTIFIC NAME	DBH (INCHES)	HT (FEET)	CANOPY SPREAD (FEET)	TREE JELLY (INCHES)	TREE ESTIMATED (PG. 34, B.C.R.)	TREE APPRAISAL (MITIGATION)	COMMENTS
1	CABBAGE PALM	"Sabal palmetto"	15	12' CT	12	75	REMOVE	PALM	BOOTED, UTILITY LINES, SCHEFFLERA WRAPPED AT BASE
2	CABBAGE PALM	"Sabal palmetto"	15	10' CT	12	75	REMOVE	PALM	BOOTED, UTILITY LINES
3	CABBAGE PALM	"Sabal palmetto"	12	16' CT	12	70	REMOVE	PALM	FICUS WRAPPED AROUND
4	CABBAGE PALM	"Sabal palmetto"	12	15' CT	12	70	REMOVE	PALM	TRUNK WOUND
5	CABBAGE PALM	"Sabal palmetto"	12	18' CT	12	80	REMOVE	PALM	
6	CABBAGE PALM	"Sabal palmetto"	12	16' CT	12	75	REMOVE	PALM	MINOR CONSTRUCTION
7	CABBAGE PALM	"Sabal palmetto"	12	18' CT	12	65	REMOVE	PALM	CONSTRUCTION, THIN
8	CABBAGE PALM	"Sabal palmetto"	12	10' CT	20	80	REMOVE	PALM	SABAL PALM CLUSTER, 5 TRUNKS
9	CABBAGE PALM	"Sabal palmetto"	7	20' CT	12	65	REMOVE	PALM	VERY THIN
10	CABBAGE PALM	"Sabal palmetto"	7	18' CT	12	65	REMOVE	PALM	VERY THIN, CURVED TRUNK
11	CABBAGE PALM	"Sabal palmetto"	12	12' CT	12	70	REMOVE	PALM	
12	CABBAGE PALM	"Sabal palmetto"	10	10' CT	12	70	REMOVE	PALM	
13	CABBAGE PALM	"Sabal palmetto"	12	12' CT	12	70	REMOVE	PALM	
14	CABBAGE PALM	"Sabal palmetto"	9	14' CT	12	70	REMOVE	PALM	
15	CABBAGE PALM	"Sabal palmetto"	9	12' CT	12	70	REMOVE	PALM	
16	BUTTONWOOD	"Conocarpus erectus"	7	25	15	70	REMOVE	7"	EXPOSED ROOTS, LEANING, SHARED CANOPY
17	BUTTONWOOD	"Conocarpus erectus"	7	22	15	70	REMOVE	8"	ONE-SIDED CANOPY, CO-DOMINANT
18	BUTTONWOOD	"Conocarpus erectus"	8	22	15	75	REMOVE	7"	
19	SEAGRAPE	"Coccoloba uvifera"	7	15	15	65	REMOVE	7"	TRUNK WOUND, LEANING, OPEN CANOPY, WIND DMG
20	COCONUT PALM	"Cocos nucifera"	8	16' CT	15	75	REMOVE	PALM	
21	COCONUT PALM	"Cocos nucifera"	8	12' CT	15	60	REMOVE	PALM	MAJOR TRUNK WOUND
22	COCONUT PALM	"Cocos nucifera"	8	12' CT	15	70	REMOVE	PALM	THIN
23	COCONUT PALM	"Cocos nucifera"	7	8' CT	15	75	REMOVE	PALM	
24	CABBAGE PALM	"Sabal palmetto"	10	9' CT	12	75	REMOVE	PALM	UTILITY LINES
25	CABBAGE PALM	"Sabal palmetto"	12	15' CT	12	75	REMOVE	PALM	UTILITY LINES
26	CABBAGE PALM	"Sabal palmetto"	12	15' CT	12	75	REMOVE	PALM	UTILITY LINES
27	CABBAGE PALM	"Sabal palmetto"	12	15' CT	12	75	REMOVE	PALM	UTILITY LINES
28	CABBAGE PALM	"Sabal palmetto"	12	15' CT	12	75	REMOVE	PALM	UTILITY LINES
29	CABBAGE PALM	"Sabal palmetto"	12	8' CT	12	75	REMOVE	PALM	BOOTED, UTILITY LINES
30	CABBAGE PALM	"Sabal palmetto"	12	4' CT	12	75	REMOVE	PALM	BOOTED
31	BUTTONWOOD	"Conocarpus erectus"	5	15	15	80	REMOVE	5"	CO-DOMINANT

TREE REMOVAL SUMMARY		
((1)caliper inch required per (1)DBH inch removed, Non-Specimen)	TOTAL DBH TO BE REMOVED	34.0
	TOTAL QTY OF PALMS TO BE REMOVED	25
	TOTAL QTY OF PALMS TO BE RELOCATED	0
PROPOSED TREE SUMMARY		
	TOTAL CALIPER INCHES OF PROPOSED TREES	63
	TOTAL NUMBER OF PALMS PROPOSED	35



SCALE: 1"=20'  
NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



PZ20-13000007  
4/28/21



301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

SABBIA BEACH -  
PARCEL B

NE 7<sup>th</sup> COURT AND SR A-1-A  
POMpano BEACH, FL 33062

SCALE: AS NOTED

DATE ISSUED: NOVEMBER 2020

DRAWN BY: JR

DESIGNED BY: JR, MP

CHECKED BY: MP

Digitally signed  
by Michael J  
Phillips  
Date: 2021.03.10  
13:12:15 -05'00'

MICHAEL J. PHILLIPS, R.L.A.  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

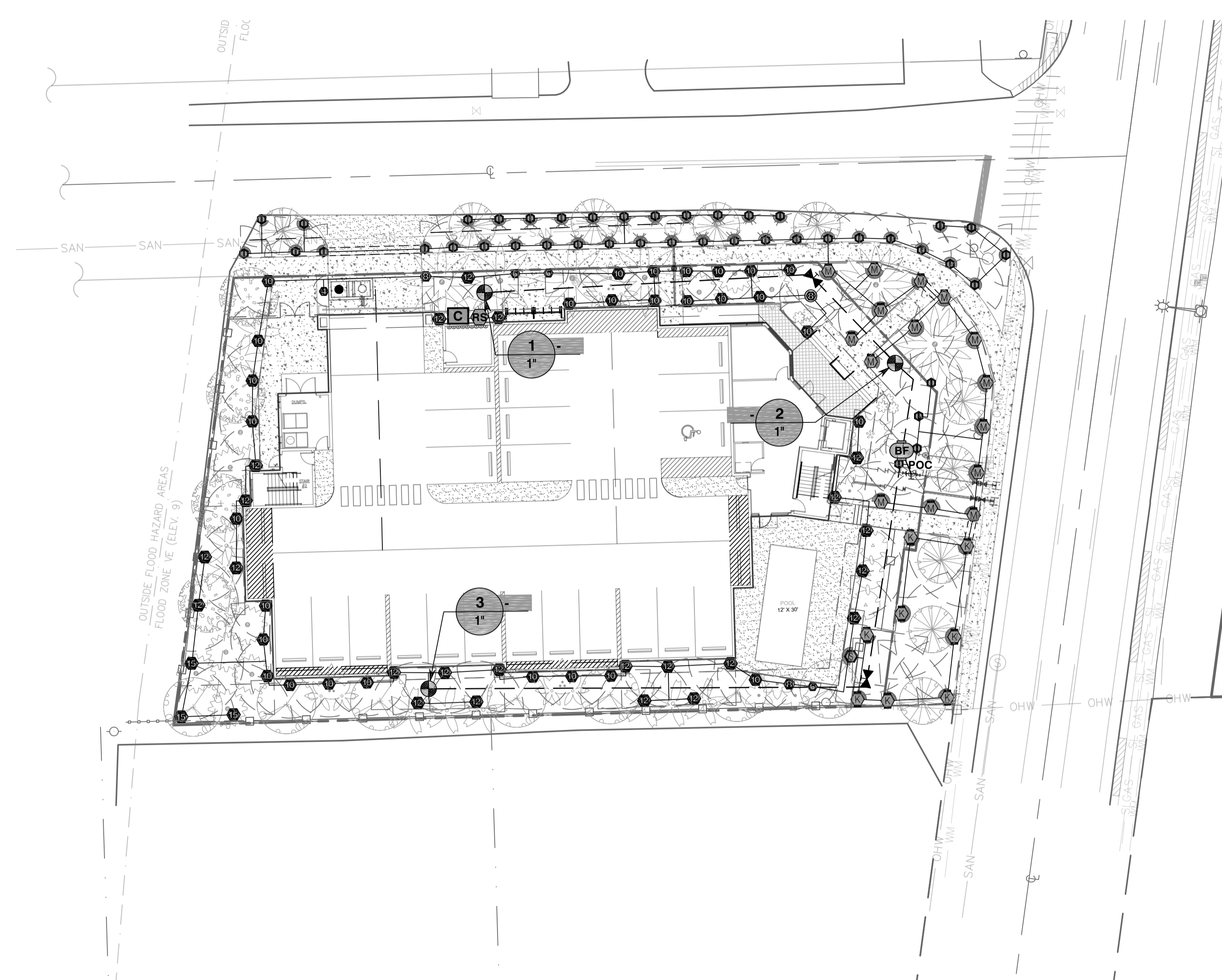
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IRRIGATION PLAN

SHEET NUMBER

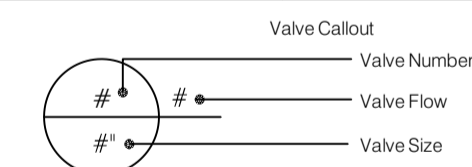
LI-101

PROJECT NO. 1189



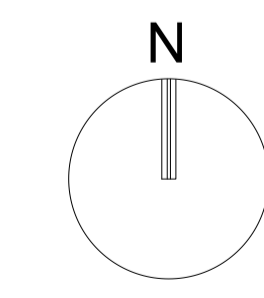
IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
	HUNTER PROS-12 8' RADIUS SHRUB SPRAY, 12.0' POP-UP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	1
	HUNTER PROS-12 ADJUSTABLE ARC SHRUB SPRAY, 12.0' POP-UP, CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	61
	HUNTER MP STRIP PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	1
	HUNTER MP1000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	15
	HUNTER MP2000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	8
	HUNTER MP800SR PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	42
	HUNTER PCB 10 FLOOD BUBBLER, 1/2" FIPT. ADD 2 BUBBLERS PER TREE, BUBBLERS PLAN WILL BE PROVIDED ON NEXT SUBMITTAL.	1
	HUNTER ICV-G 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	3
	LEEMCO DLMV-1111BB 110MM X 110MM LHM-BB SERIES MAINLINE GATE VALVE. THE BELL X BELL VERSION PROVIDES IN-LINE ISOLATION WHERE THE LOCATION IS NOT NEAR A MAINLINE DUCTILE IRON FITTING.	2
	FEBCO 765 1-1/2" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1
	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	1
	HUNTER SOLAR-SYNC SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE. CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. WIRED.	1
	POINT OF CONNECTION 1-1/2"	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,431 L.F.
	IRRIGATION MAINLINE: PVC SCHEDULE 40	319.1 L.F.
	PIPE SLEEVE: PVC CLASS 200 SDR 21	32.7 L.F.



VALVE SCHEDULE NUMBER	MODEL	SIZE	TYPE	GPM
1	HUNTER ICV-G	1"	SHRUB SPRAY	0.00
2	HUNTER ICV-G	1"	TURF ROTARY	0.00
3	HUNTER ICV-G	1"	SHRUB SPRAY	0.00

- NOTES:
- ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEM USING AN APPROVED WATER SOURCE.
  - A RAIN SENSOR MUST BE INSTALLED TO OVER-RIDE THE CONTROLLER.
  - BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
  - CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND IRRIGATION SPECIFICATION ATTACHED TO THIS PLAN. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
  - INVESTIGATE TO DETERMINE AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION.
  - REFER TO SHEET LI-501 FOR ADDITIONAL IRRIGATION SPECIFICATIONS AND DETAILS.



GRAPHIC SCALE

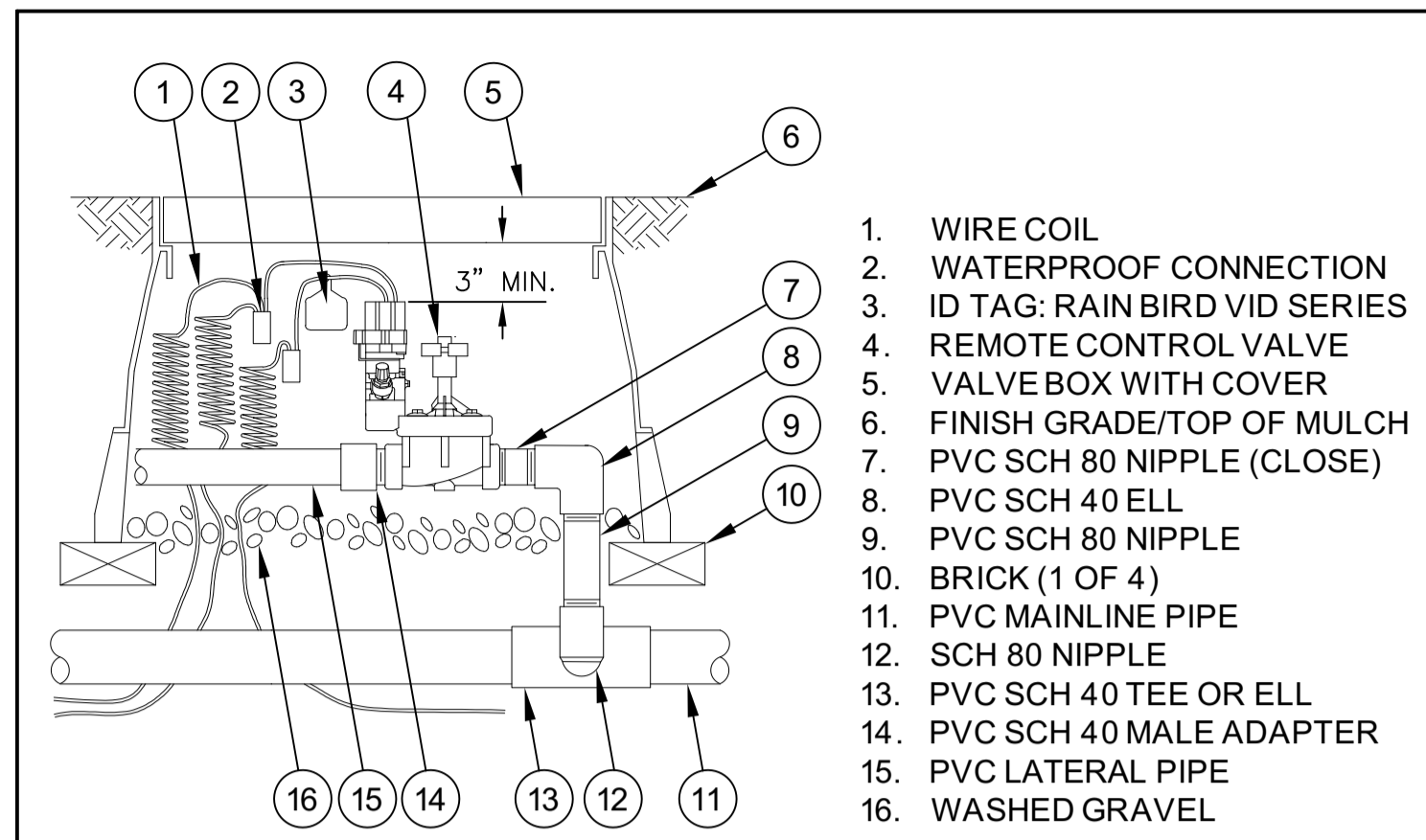


SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.

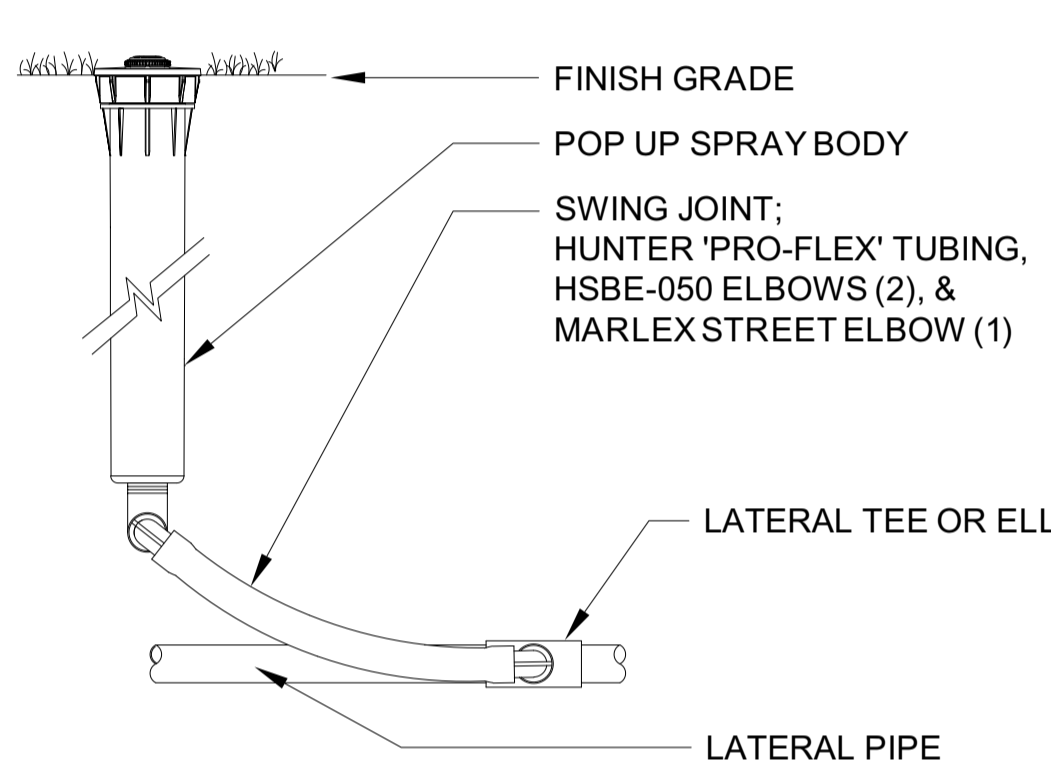


PZ20-13000007  
4/28/21



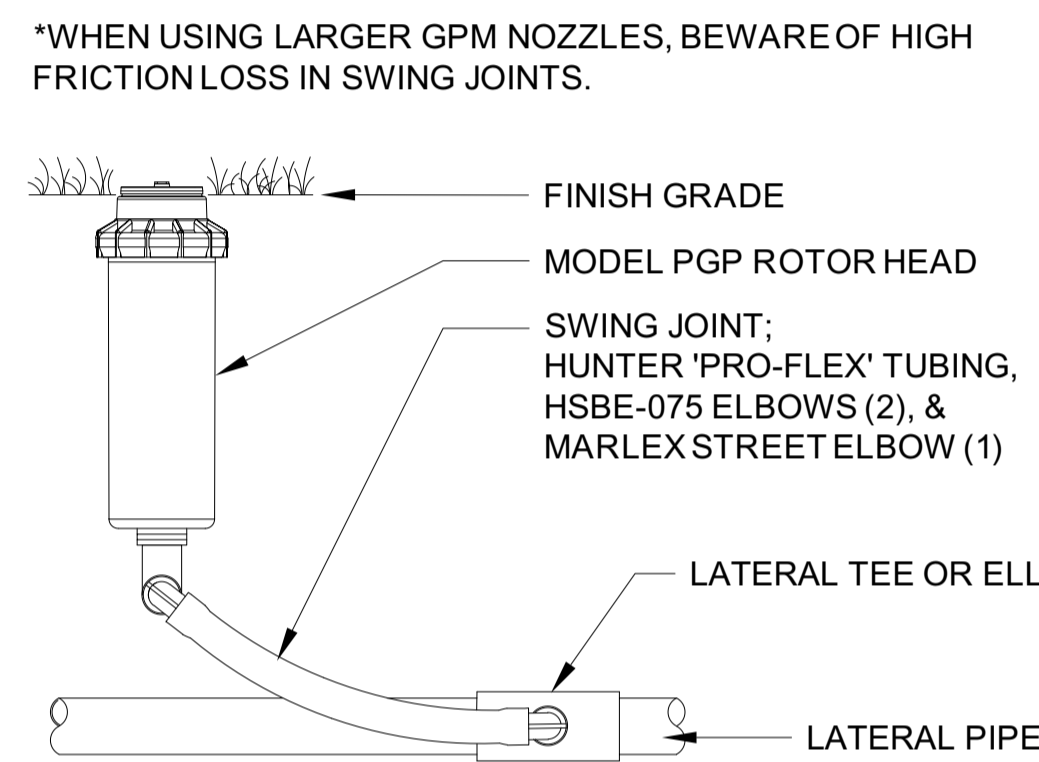
1. WIRE COIL
2. WATERPROOF CONNECTION
3. ID TAG: RAIN BIRD VID SERIES
4. REMOTE CONTROL VALVE
5. VALVE BOX WITH COVER
6. FINISH GRADE/TOP OF MULCH
7. PVC SCH 80 NIPPLE (CLOSE)
8. PVC SCH 40 ELL
9. PVC SCH 80 NIPPLE
10. BRICK (1 OF 4)
11. PVC MAINLINE PIPE
12. SCH 80 NIPPLE
13. PVC SCH 40 TEE OR ELL
14. PVC SCH 40 MALE ADAPTER
15. PVC LATERAL PIPE
16. WASHED GRAVEL

**ELECTRIC ZONE VALVE / BOX**



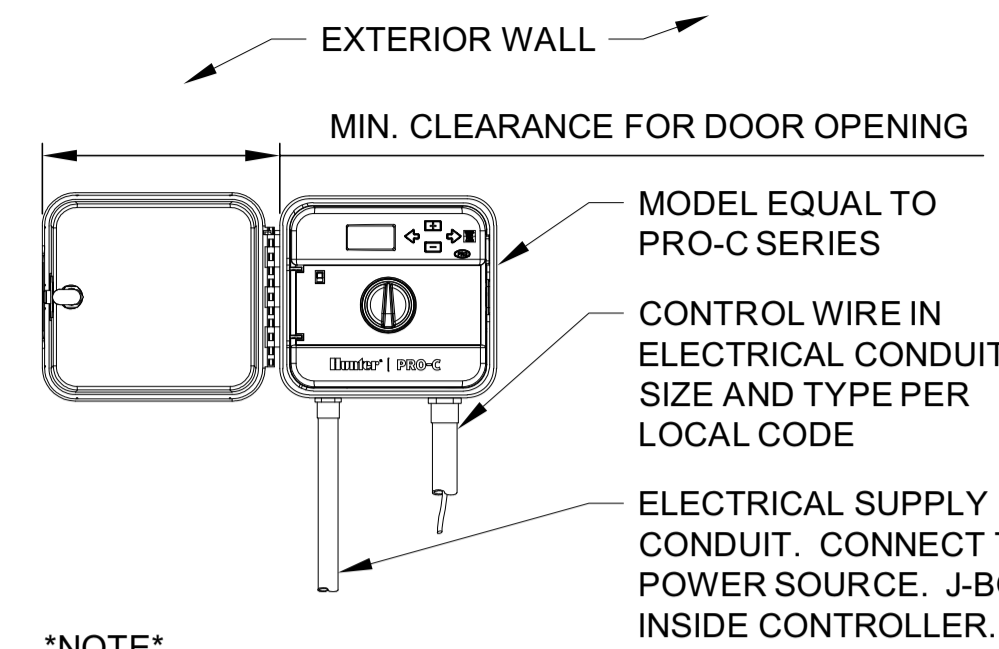
**12" POP-UP SPRAY HEAD**

Hunter IRRIGATION DETAIL NOT TO SCALE



**ROTOR HEAD**

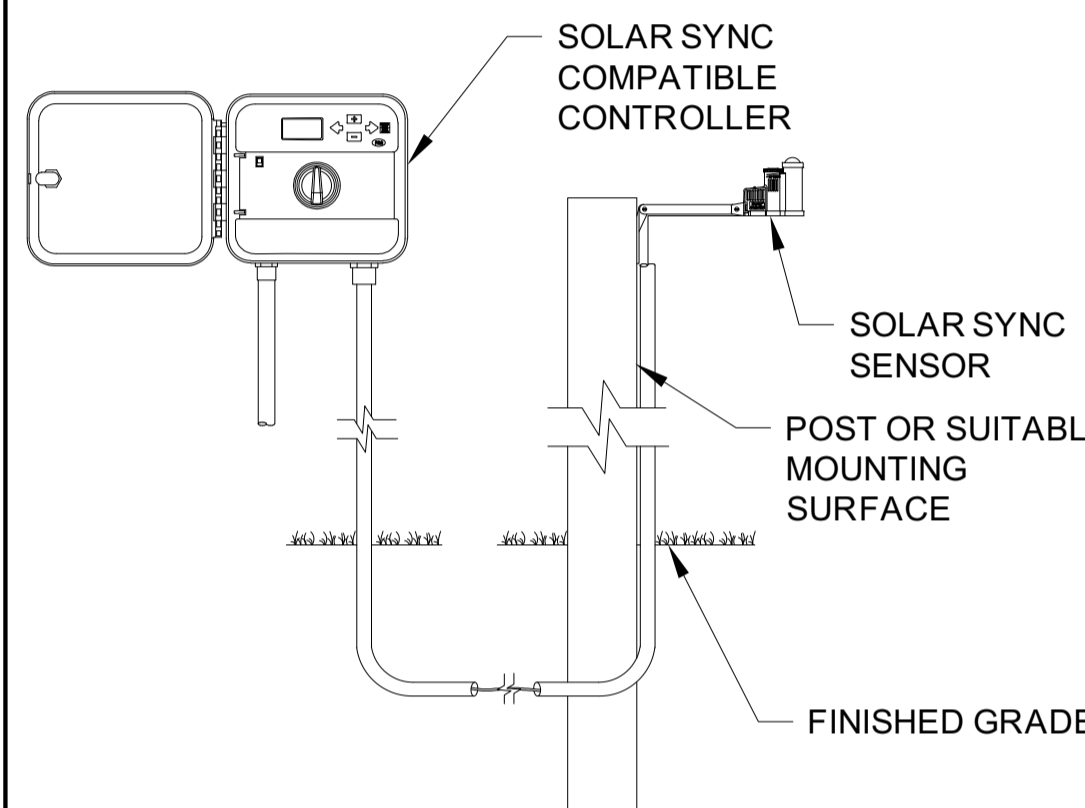
Hunter IRRIGATION DETAIL NOT TO SCALE



\*NOTE\* SPECIFY 4,7,10,13,16 STATION MODEL CONTROLLER. MOUNT CONTROLLER WITH LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC SOURCE.

**CONTROLLER**

Hunter IRRIGATION DETAIL NOT TO SCALE

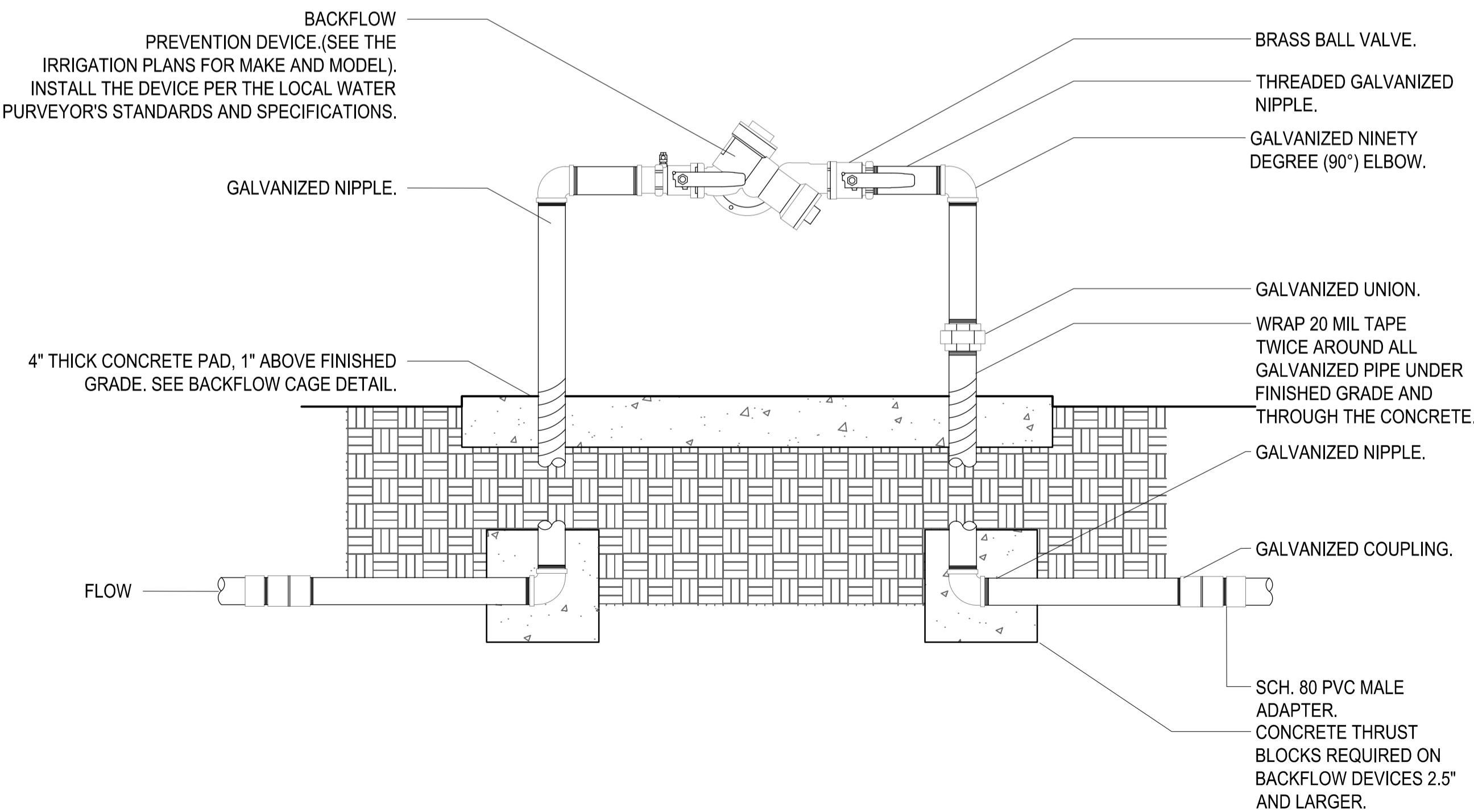


**SOLAR SYNC W/ WALL MOUNT CONTROLLER**

Hunter IRRIGATION DETAIL NOT TO SCALE

**IRRIGATION NOTES**

1. THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
2. IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVING SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITY PROVIDERS TO VERIFY LOCATIONS. THE CONTRACTOR IS ENCOURAGED TO VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
4. VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
5. PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
6. THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
7. ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
8. SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC. SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG UNCURBED ROADWAYS.
9. ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 18" BELOW FINISH GRADE.
10. CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
11. PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
12. ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
13. SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
14. WATERING TIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
15. IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 100% OVERLAP MIN. PROVIDE BUBBLERS FOR ALL NEW AND RELOCATED TREES AND PALMS.
16. RUST CONTROL SYSTEM TO BE INSTALLED WITH PUMP STATION (IF FROM WELL).
17. THE IRRIGATION SYSTEM IN THE RIGHT-OF-WAY IS TO INCORPORATE LOW TRAJECTORY SPRAY HEADS TO MINIMIZE OVERSPRAY.
18. AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.



**BACKFLOW PREVENTOR**



301 East Atlantic Boulevard  
Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of  
Authorization # - 7928

BID / CONTRACT NO. :

REVISIONS

NO.	DESCRIPTION	DATE

**SABBIA BEACH - PARCEL B**

NE 7<sup>th</sup> COURT AND SR A-1-A  
POMPAHO BEACH, FL 33062

SCALE: AS NOTED

DATE ISSUED: NOVEMBER 2020

DRAWN BY: JR

DESIGNED BY: JR, MP

CHECKED BY: MP

Michael J. Phillips  
Digitally signed by Michael J. Phillips  
Date: 2021.03.10 13:12:52 -05'00'

MICHAEL J. PHILLIPS, RLA  
FLORIDA REG. NO. LA0001540  
(FOR THE FIRM)

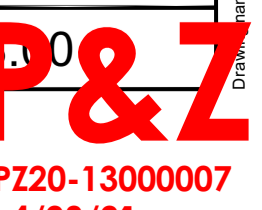
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**IRRIGATION  
DETAILS & NOTES**

SHEET NUMBER

LI-501

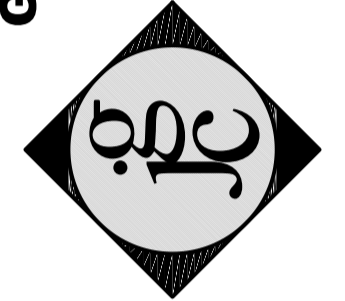
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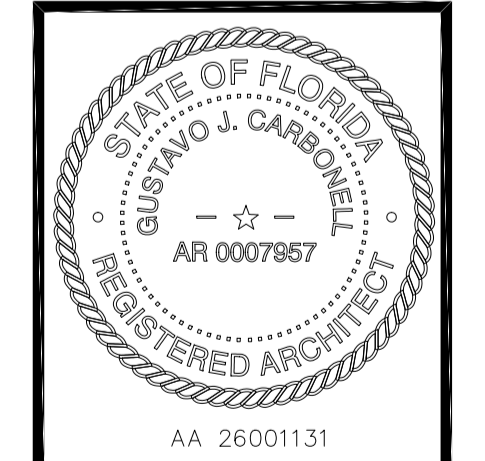
PZ20-13000007  
4/28/21

REVISION	BY:
03-11-2021	M.J.G.

**GUSTAVO J. CARBONELL, P.A.**  
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 1457 N.E. 4th AVE, 33304  
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 AR NO. 0007957  
 AA NO. 26001131

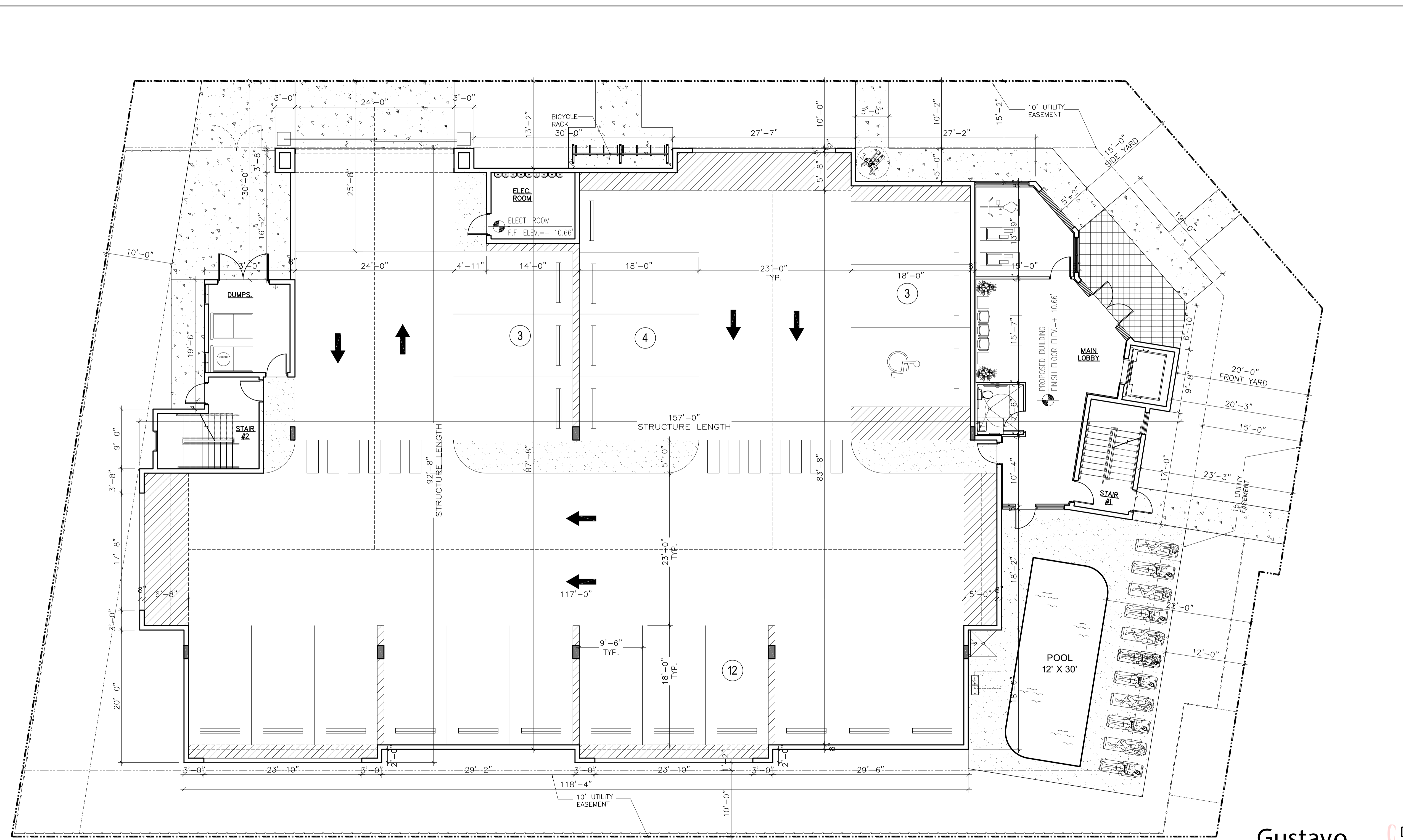


**PROPOSED MULTIFAMILY DEVELOPMENT FOR:  
 SABBIA BEACH PARCEL B**  
 723 N. OCEAN BOULEVARD  
 Pompano Beach, Florida



DRAWN	M.J.G.
CHECKED	G.J.C.
DATE	JUNE 2020
SCALE	AS NOTED
JOB. NO.	20-025

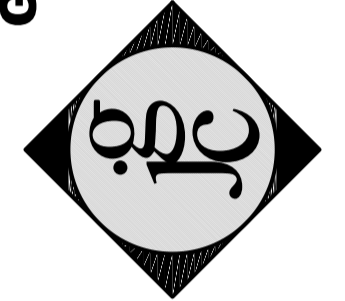
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 OF 1 SHEETS  
**P&Z**  
 PZ20-13000007  
 4/28/21



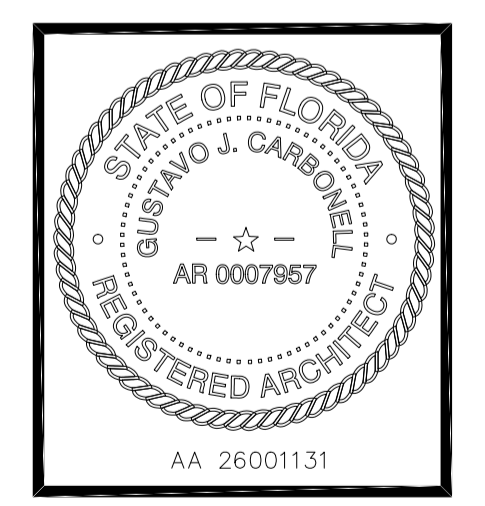
**Gustavo  
 Jose  
 Carbonell**  
 Digitally signed by  
 Gustavo Jose  
 Carbonell  
 Date: 2021.03.15  
 12:03:20 -04'00'

REVISION	BY:
03-11-2021	M.J.G.

**GUSTAVO J. CARBONELL, P.A.**  
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**PROPOSED MULTIFAMILY DEVELOPMENT FOR:**  
**SABBIA BEACH PARCEL B**  
 723 N. OCEAN BOULEVARD  
 Pompano Beach, Florida



DRAWN	M.J.G.
CHECKED	G.J.C.
DATE	JUNE 2020
SCALE	AS NOTED
JOB. NO.	20-025

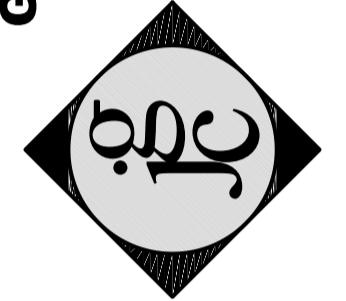
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 OF 1 SHEETS  
**P&Z**  
 PZ20-13000007  
 4/28/21



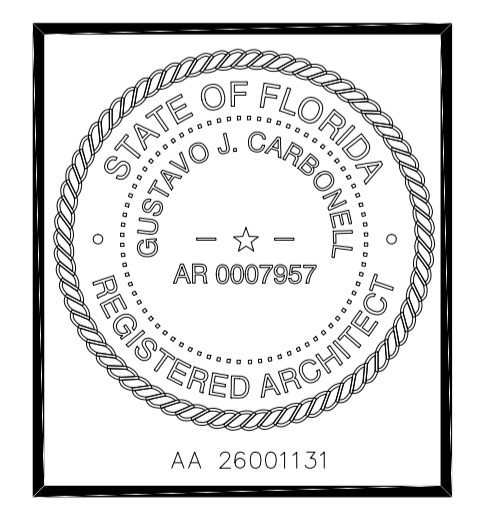
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REVISION	BY:
03-11-2021	M.J.G.

**GUSTAVO J. CARBONELL, P.A.**  
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 FLORIDA REGISTRATION  
 AR NO. 0007957  
 AA NO. 26001131



**PROPOSED MULTIFAMILY DEVELOPMENT FOR:**  
**SABBIA BEACH PARCEL B**  
 723 N. OCEAN BOULEVARD  
 Pompano Beach, Florida



DRAWN	M.J.G.
CHECKED	G.J.C.
DATE	JUNE 2020
SCALE	AS NOTED
JOB. NO.	20-025

**A-3**  
 OF 1 **P&Z** SHEETS  
 PZ20-13000007  
 4/28/21



Gustavo Jose Carbonell  
 Digitally signed by Gustavo Jose Carbonell  
 Date: 2021.03.15 12:04:40 -04'00'

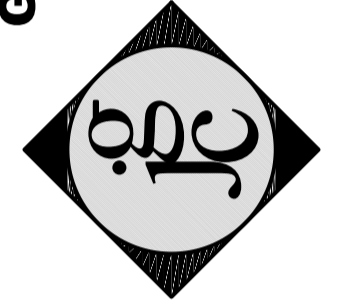
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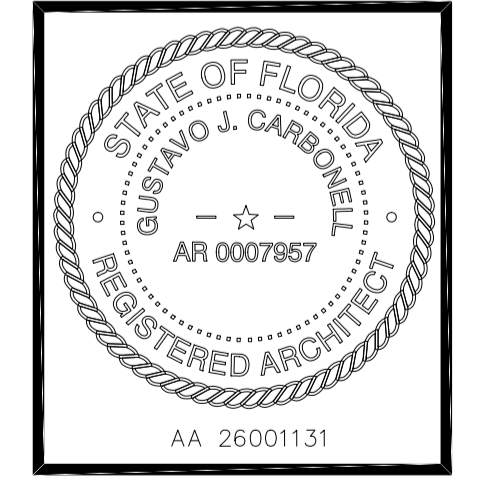


REVISION	BY:
1	03-11-2021 M.J.G.

**GUSTAVO J. CARBONELL, P.A.**  
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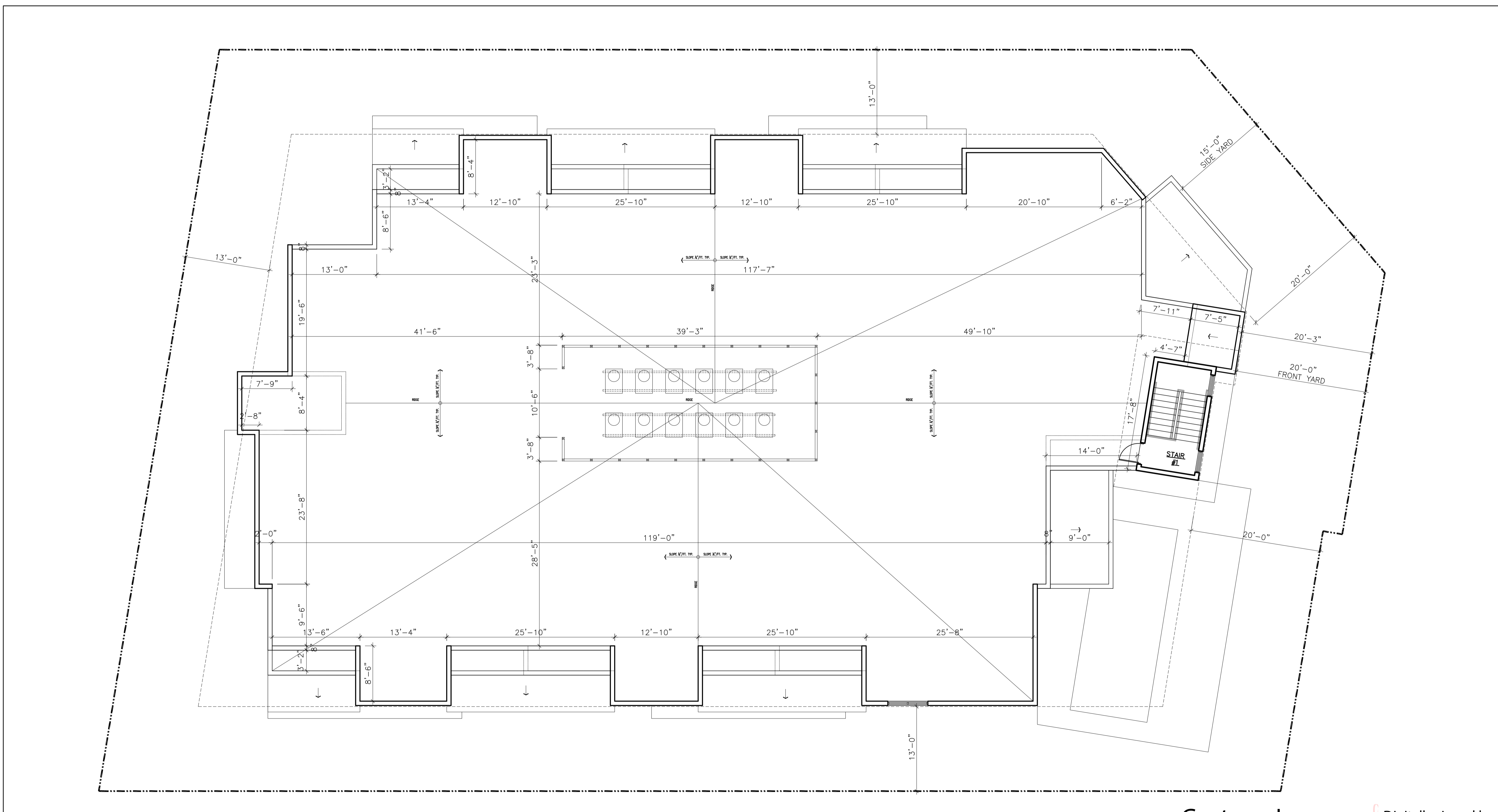


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 Pompano Beach, Florida



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DATE	JUNE 2020
SCALE	AS NOTED
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 OF 1 SHEETS  
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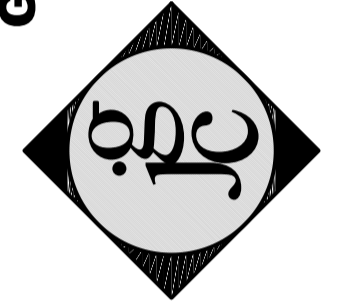


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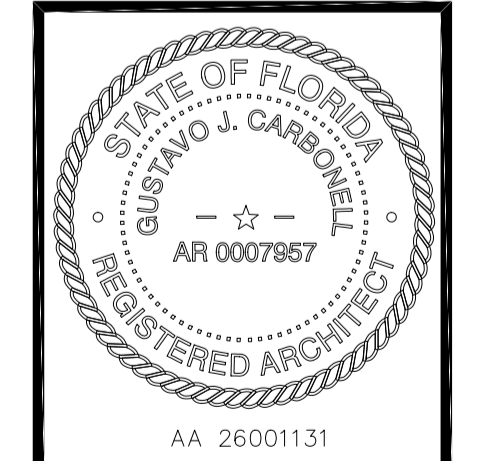


REVISION	BY:
03-11-2021	M.J.G.

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 AA. NO. 26001131

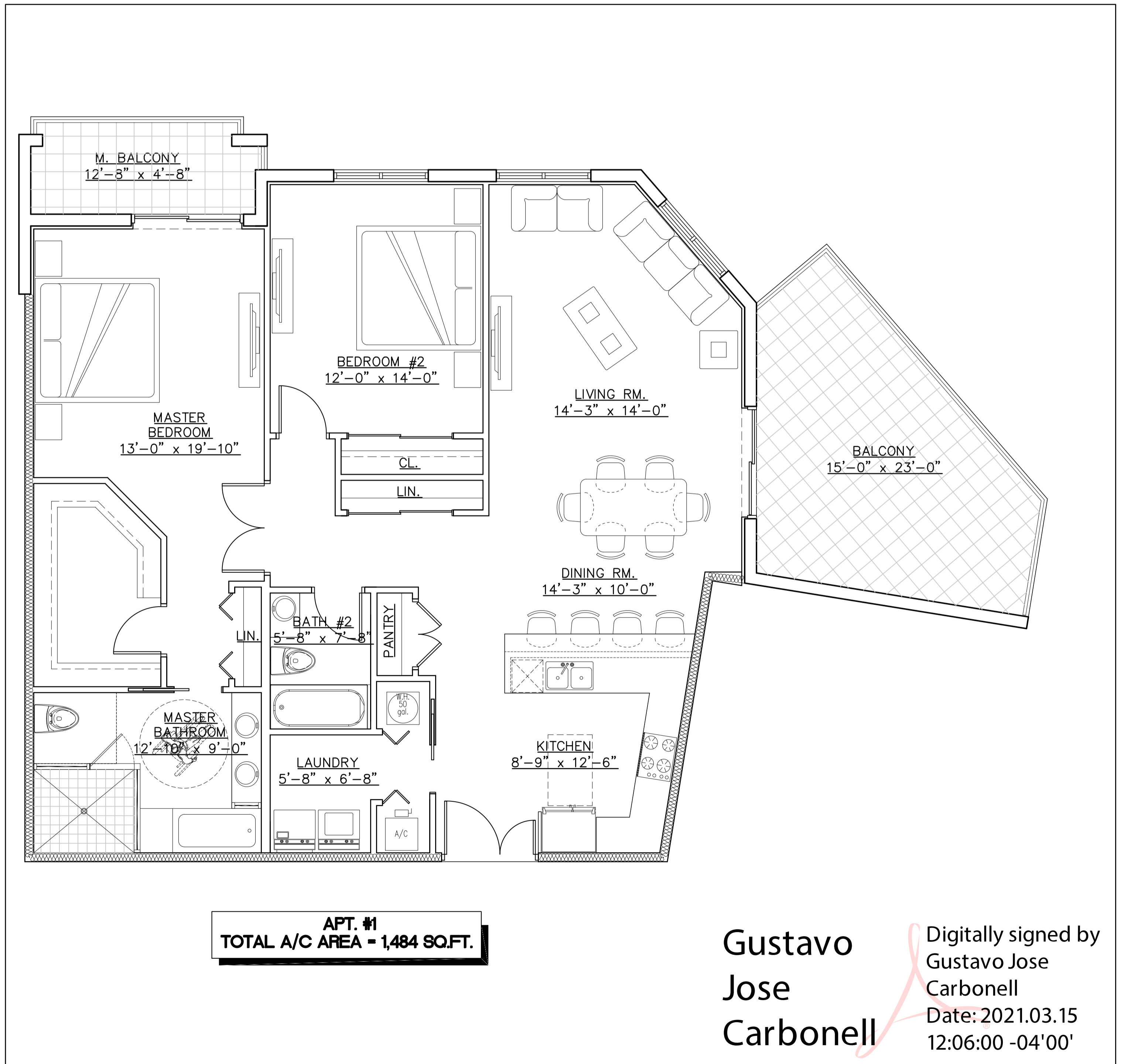
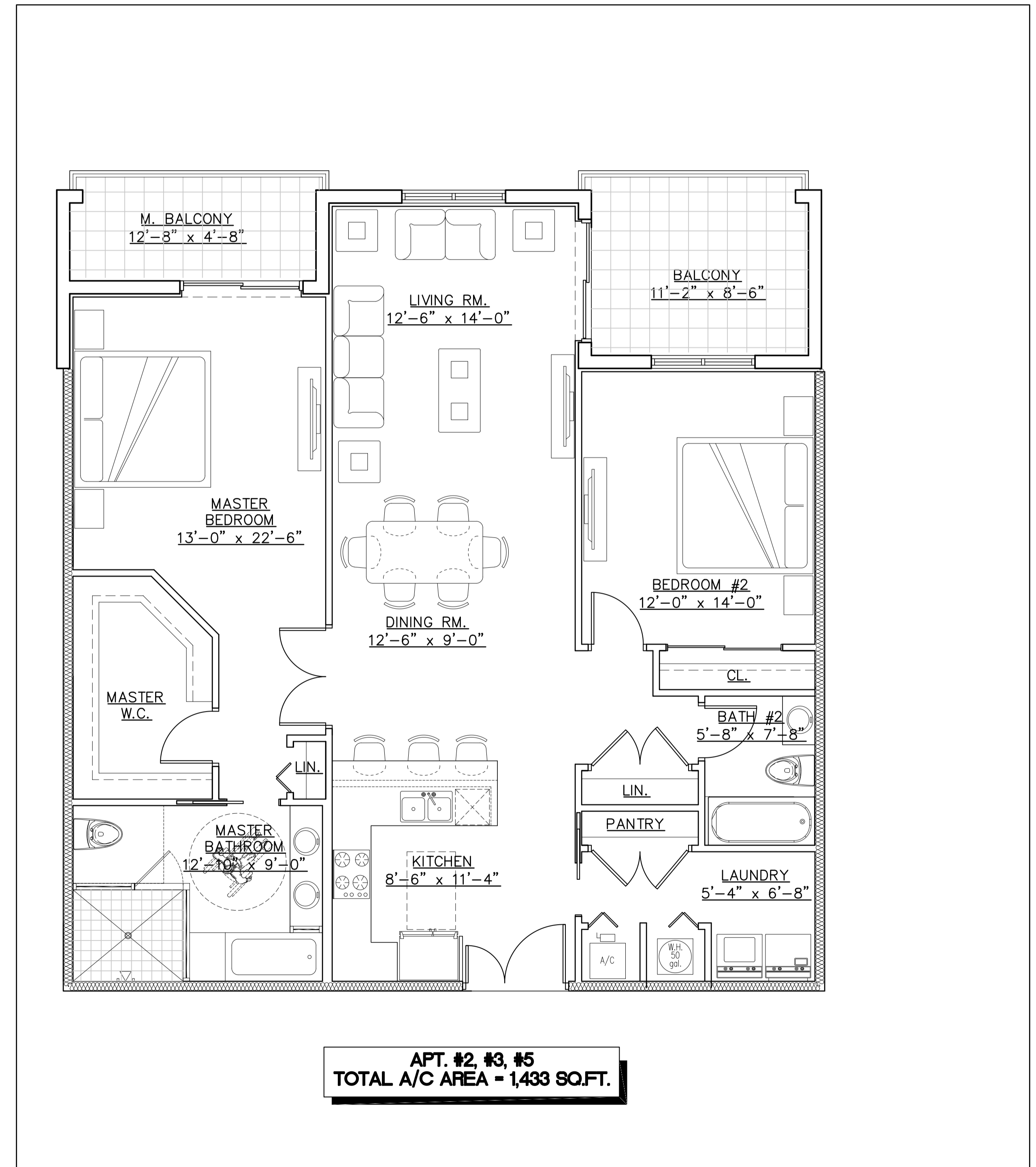


**PROPOSED MULTIFAMILY DEVELOPMENT FOR:**  
**SABBIA BEACH PARCEL B**  
 723 N. OCEAN BOULEVARD  
 Pompano Beach, Florida



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DATE	JUNE 2020
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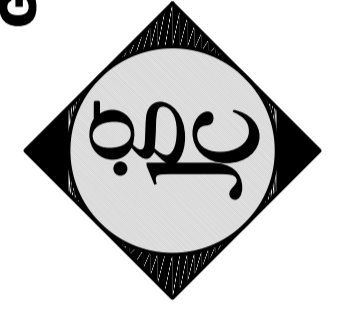
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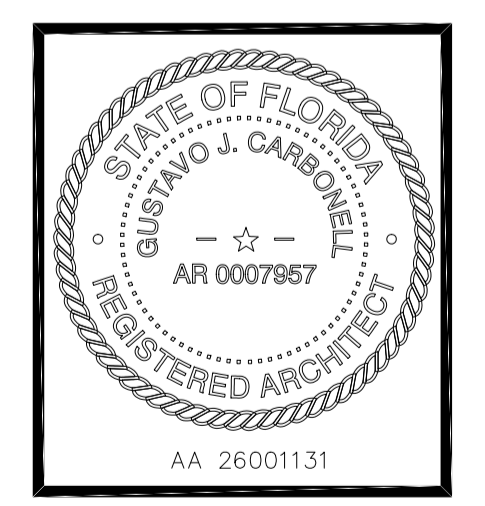
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 Digitally signed by Gustavo Jose Carbonell  
 Date: 2021.03.15 12:06:00 -04'00'

REVISION	BY:
03-11-2021	M.J.G.

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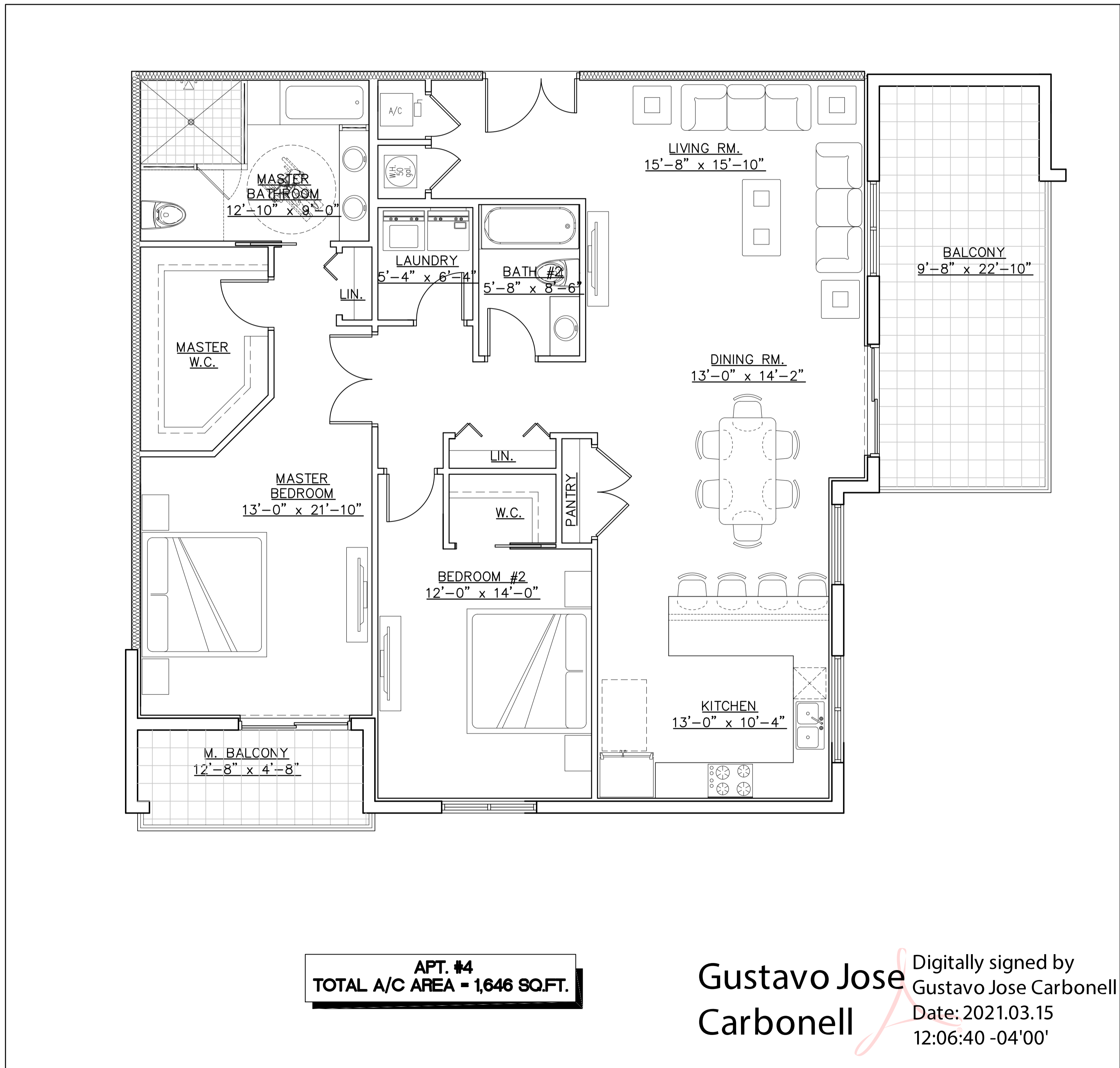
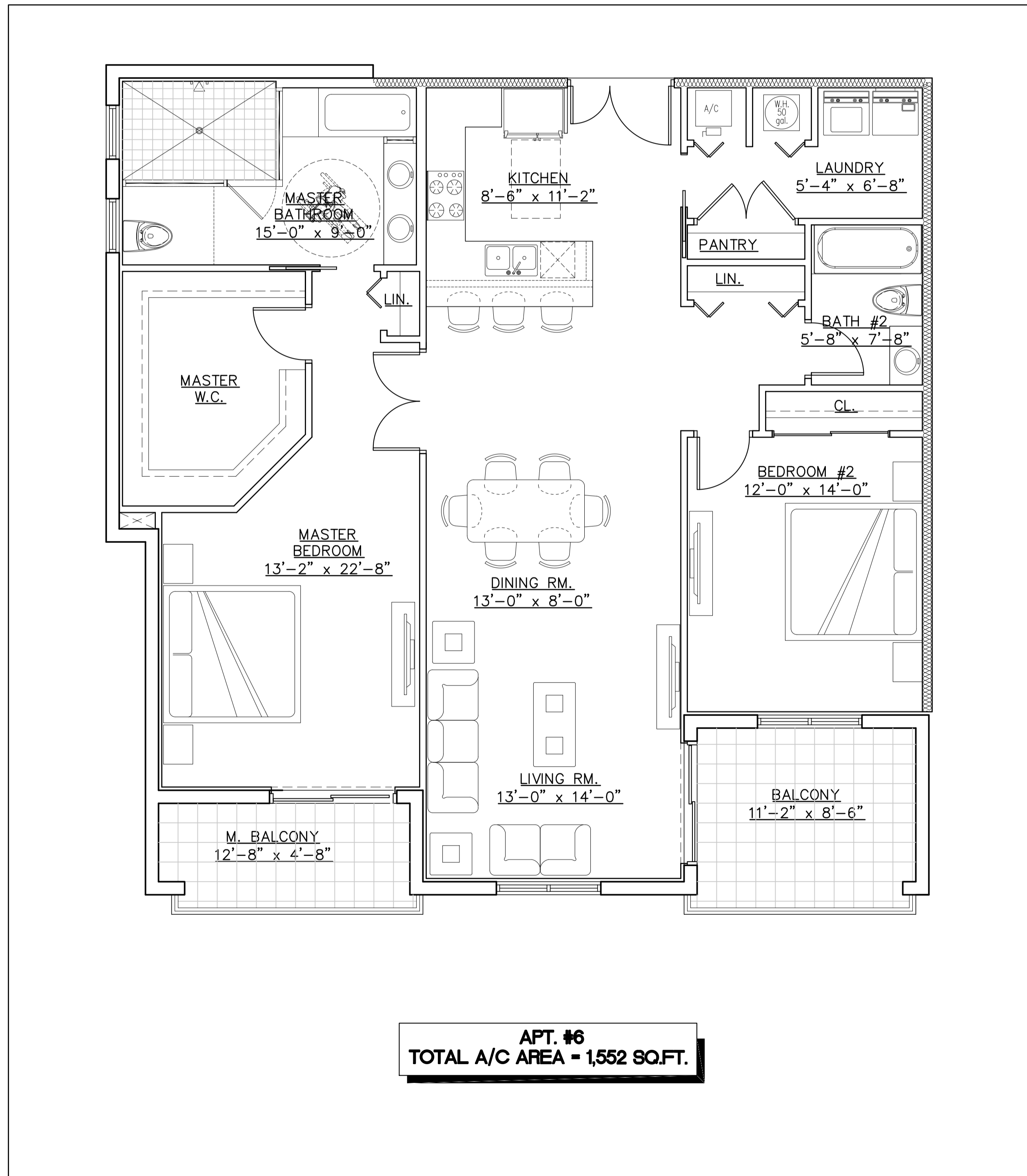


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 OF 1 SHEETS  
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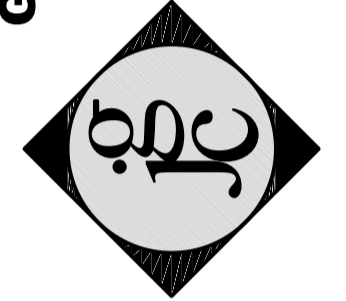


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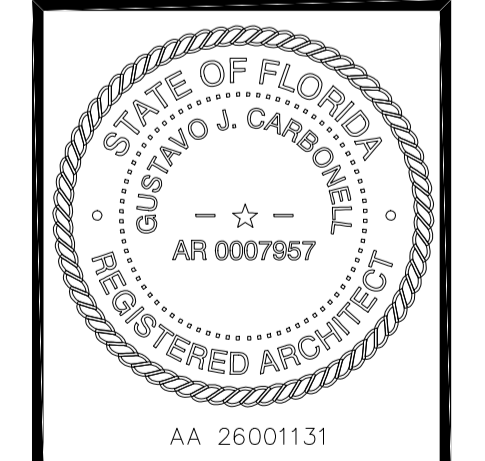


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03-11-2021	M.J.G.

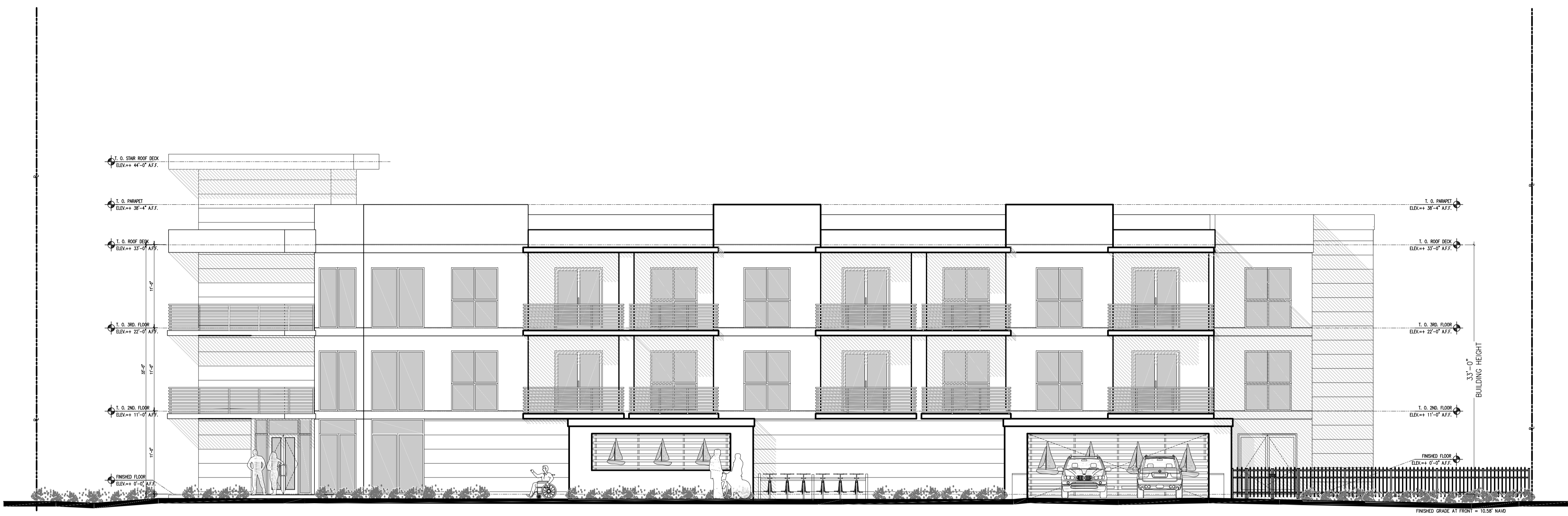
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OF 1	P&Z SHEETS



**2 NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



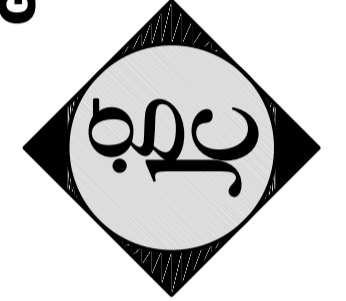
NOTE:  
 FINISH GRADE AT FRONT OF BUILDING IS AT LOBBY.  
 FINISH FLOOR ELEV. = 0'-0"

**1 EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"

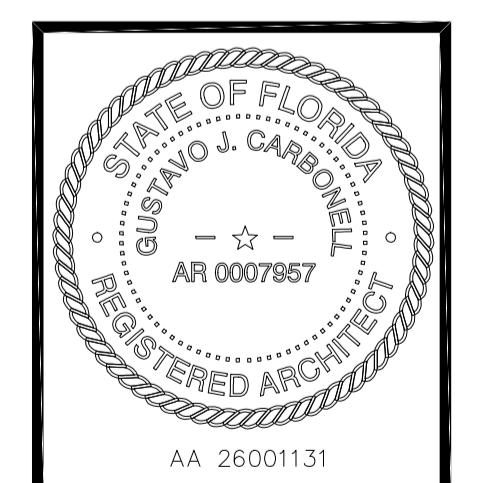
Gustavo Jose Carbonell  
 Digitally signed by Gustavo Jose Carbonell  
 Date: 2021.03.15 13:25:15 -04'00'

REVISION	BY:
03-11-2021	M.J.G.

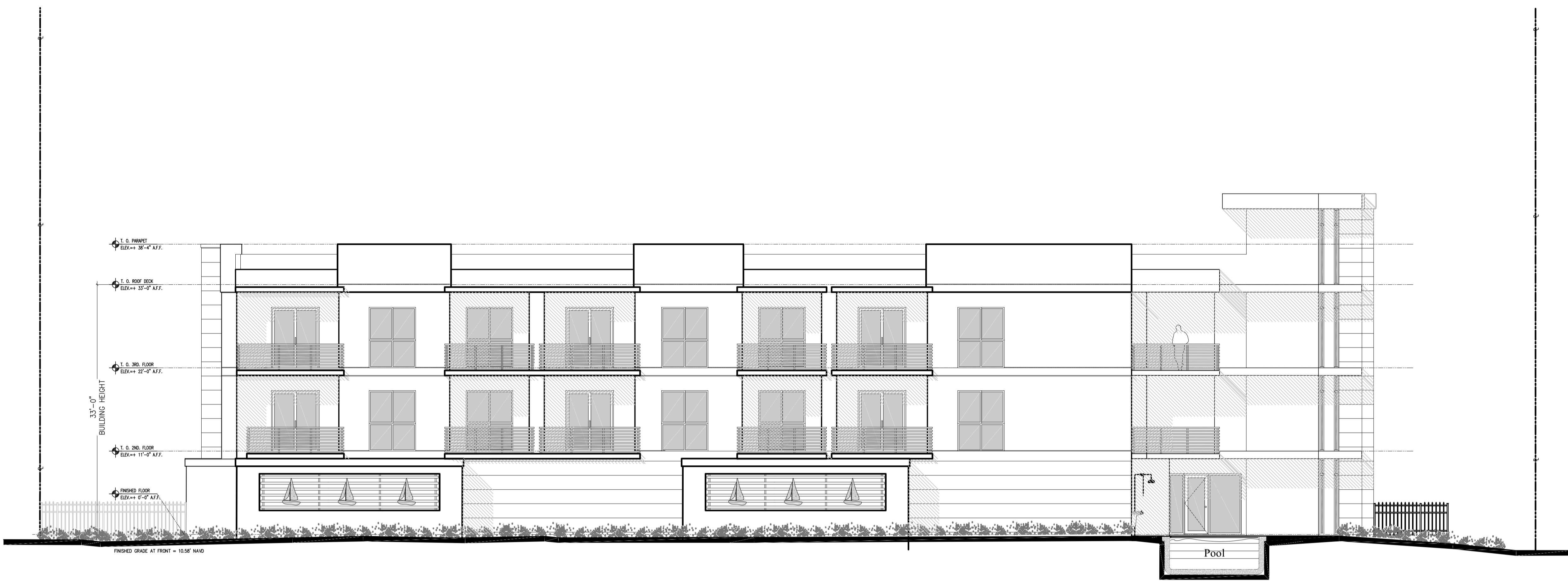
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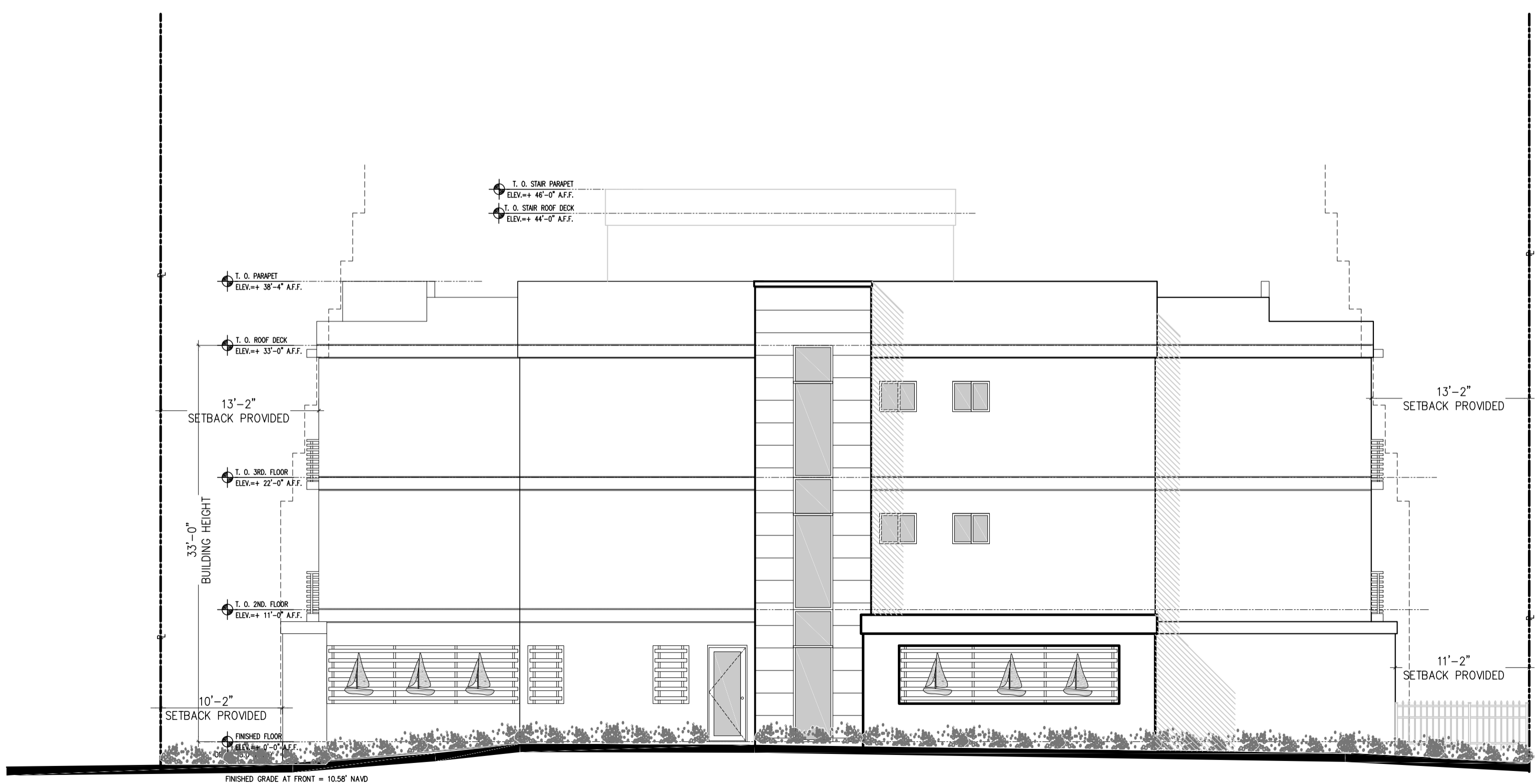
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**SABBIA BEACH PARCEL B**  
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OF 1	P&Z SHEETS



**2 SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"



NOTE:  
 FINISH GRADE AT FRONT OF BUILDING IS AT LOBBY.  
 FINISH FLOOR ELEV. = 0'-0"

**Gustavo Jose Carbonell** Digitally signed by Gustavo Jose Carbonell  
 Date: 2021.03.15 13:25:37 -04'00'

**1 WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"





**P&Z**

PZ20-1300007  
4/28/21



**P&Z**

PZ20-1300007

4/28/21

















