

DEVELOPER’S AGREEMENT

Return to: (enclose self-addressed stamped envelope)

Name: Ele Zachariades, Esq.

Address:

Dunay, Miskel & Backman,LLP
14 S.E. 4th Street, Ste. 36
Boca Raton, Florida 33432

This Instrument Prepared by:

Ele Zachariades, Esq.
Dunay, Miskel & Backman,LLP
14 S.E. 4th Street, Ste. 36
Boca Raton, Florida 33432

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THIS DEVELOPER’S AGREEMENT ("Agreement") is made and entered into this ____ day of _____, 2017, by and between HERITAGE AT POMPANO HOUSING PARTNERS, LP., a Florida Limited Partnership, with an address at 800 North Point Parkway, Suite 125, Alpharetta, GA 30005, its heirs, successors, grantees and assigns ("Developer"), and the CITY OF POMPANO BEACH, a municipal corporation of the State of Florida, with an address at 100 West Atlantic Boulevard, Pompano Beach, Florida, 33060 ("City") (hereinafter collectively referred to as the “Parties”).

WITNESSETH:

WHEREAS, Developer is the fee simple owner of approximately 1.51 acres, legally described on the attached **Exhibit A** (the “Property”); and

WHEREAS, the Property is located within the City limits; and

WHEREAS, on May 25, 2016, the Planning and Zoning Board of the City of Pompano Beach approved a site plan (“Site Plan”) for construction of a 116 unit low income residential development (the “Project”) on the Property (P&Z No. 16-12000001) (“Approval”); and

WHEREAS, in accordance with the Site Plan, the City required certain offsite

improvements be implemented on N. Flagler Avenue (hereinafter “Improvements”);

WHEREAS, the City as Lessee and FEC as Lessor executed a Real Estate Lease on January 14, 2002 (hereinafter the “Lease”);

WHEREAS, in accordance with the Lease, the City is the Lessee of the portion of N. Flagler Avenue where the Improvements are to be located;

WHEREAS, in order to implement the Improvements on N. Flagler Avenue, FEC will need to approve of the Improvements and amend the Lease to include such approval;

WHEREAS, FEC has voiced their interest in working directly with the City in lieu of the Developer;

WHEREAS, the the City believes there is a benefit for public/private cooperation and is desirous of finalizing a Developer’s Agreement which outlines a plan to ensure the Improvements are constructed on N. Flagler Avenue as denoted on the approved Site Plan; and

WHEREAS, this Agreement is the culmination of negotiations held by the Parties, and the Parties wish to establish by agreement the terms under which the Improvements may be performed.

NOW, THEREFORE, for and in consideration of the above and other good and valuable considerations, the receipt and sufficiency of which are hereby acknowledged, the Parties hereto agree as follows:

1. Recitals. The foregoing recitations are true and correct and are hereby incorporated herein by reference. All exhibits to this Agreement are hereby deemed a part hereof.
2. Purpose. The purpose of this Agreement is to set forth payment and responsibilities for the consent, construction, installment and maintenance of improvements on N. Flagler Avenue.
3. Authority. This Agreement is entered into under the authority of the Florida Constitution (including Article VIII, Section 2(b) thereof), the general powers conferred upon municipalities by statute and otherwise and the City’s Charter.

4. Improvements on N. Flagler Avenue. As a requirement of approval of the Project, part of the Site Plan denotes improvements to N. Flagler Avenue that are required by the City. The following are those specific improvements on the approved Site Plan (collectively “Improvements on N. Flagler Avenue”): 1. The Site Plan, attached hereto as **Exhibit B**, denotes the construction of parallel parking spaces and the construction of a sidewalk; 2. Within the Site Plan package, the Street Lighting Illumination Plan, attached hereto as **Exhibit C**, denotes the construction and installment of street lights; 3. The Landscape Plan, attached hereto as **Exhibit D**, denotes the planting of various trees and associated shrubs and groundcover along N. Flagler Avenue; 4. The Irrigation Plan, attached hereto as **Exhibit E**, provides for certain irrigation to be installed to support the proposed plant material planted along N. Flagler Avenue; 5. The Paving, Grading and Drainage Plan, attached hereto as **Exhibit F**, provides for construction on N. Flagler Avenue either at surface or below ground; and 6. The Water and Sanitary Sewer Plan, attached hereto as **Exhibit G**, provides for certain underground watermain, catch basins and pipes to be installed.

5. Payment for Installation and Construction. FEC has indicated to the parties that they prefer that the City be the applicant for same in lieu of the Developer. The City has agreed to be the applicant for such purposes and approvals. Given the financial implications associated with such FEC approvals and the conditions imposed by the Planning and Zoning Board in recommending approval of this Project, City has agreed to pay all application fees and costs associated with obtaining FEC approval. The Developer agrees to provide the City with all the necessary information regarding the Project which is required to submit the FEC application, including, but not limited to , City approved design plans, requested by FEC in connection with the application process. City agrees that Developer has provided the above information to City for review and City has approved the contemplated offsite improvements. . Any reasonable requests for information, from FEC to City regarding the City’s application shall be addressed by Developer within ten 10 business days if the requested information is within the possession of the Developer.

In accordance with the cost estimate, attached hereto as **Exhibit H**, the estimated cost of the Improvements on N. Flagler Avenue is \$188,270.50, as itemized by improvement type and certified by both the City and Developer's licensed professional engineer and approved by the Development Services Director in compliance with Section 155.5901 of the City's Code. The Developer shall, within thirty (30) days of the Effective Date of this Development Agreement, submit a surety bond with the City in the amount of \$235,338.13, which represents 125% of the estimated cost of construction and installation of the Improvements on N. Flagler Avenue.

6. Negotiations with FEC. Upon formal acceptance by City of this Development Agreement City will have six (6) months to secure the necessary approvals and consents from FEC to construct, install and maintain the Improvements on N. Flagler Avenue. If the City is unable to secure the necessary approvals and consents from FEC within the six (6) month timeframe, the Developer and City agree that Developer will construct the alternative improvements as depicted in the attached **Exhibit I**. ("Alternative Improvements"). Failure to receive these necessary approvals and consent shall have no effect on the approved Site Plan and the Developer may proceed with development as if the Improvements on N. Flagler Avenue were never part of the approved Site Plan, with the obligation to construct the Alternative Improvements in lieu of the original Improvements. If FEC denies consent to approval of the Improvements within the six (6) month timeframe, the surety bond will be immediately returned to the Developer.

7. Construction and Maintenance. If and when the City receives approval and consent from FEC for the Improvements on N. Flagler Avenue, the Developer shall, within six (6) months of approval and consent, begin construction and installation of the Improvements on N. Flagler Avenue. The Developer shall coordinate and be fully responsible to ensure the Improvements on N. Flagler Avenue are constructed and oversee said construction. Upon completion of said Improvements, all maintenance obligations will be turned over to the City for acceptance. after all building inspections and permits have been granted approval by City and closed out. Provided

City receives written approval from FEC within the six (6) month time period, upon completion of the said Improvements, the performance guaranteed in the form of a surety bond will be returned to the Developer within the applicable time period provided for under the law.

8. Insurance. Owner shall not commence Project Improvements under the terms of this License Agreement until certification or proof of insurance detailing terms and provisions has been received and approved in writing by the City's Risk Manager who can be reached by phone (954-786-4636) should you have any questions regarding the terms and conditions set forth in this Article. Proof of the insurance coverage required hereunder shall be mailed to Risk Management, P.O. Box 1300, Pompano Beach, FL 33061.

Owner is responsible to deliver to the City's Risk Manager for his timely review and written approval/disapproval Certificates of Insurance which evidence that all insurance required hereunder is in full force and effect and which name on a primary basis, the City as an additional insured on all such coverage.

Throughout the term of this Agreement, City, by and through its Risk Manager, reserve the right to review, modify, reject or accept any insurance policies required by this Agreement, including limits, coverages or endorsements. City reserves the right, but not the obligation, to review and reject any insurer providing coverage because of poor financial condition or failure to operate legally.

Failure to maintain the required insurance shall be considered an event of default. The requirements herein, as well as City's review or acceptance of insurance maintained by Owner, are not intended to and shall not in any way limit or qualify the liabilities and obligations assumed by Owner under this Agreement.

Throughout the term of this Agreement, (i) Owner shall, at its sole expense, maintain in full force and effect, General Liability, Excess Liability and Real and Personal Property insurance, in accordance with the following coverage requirements, and (ii) during the

performance of any construction, Owner’s contractors and all subcontractors or other agents hereunder, shall, at their sole expense, maintain in full force and effect, the following insurance coverages and limits described herein, including endorsements.

A. Worker’s Compensation Insurance covering all employees and providing benefits as required by Florida Statute, Chapter 440, regardless of the size of the company (number of employees) or the state in which the work is to be performed or of the state in which Contractor is obligated to pay compensation to employees engaged in the performance of the work. Contractor further agrees to be responsible for employment, control and conduct of its employees and for any injury sustained by such employees in the course of their employment.

B. Liability Insurance.

(1) Naming the City of Pompano Beach as an additional insured as City’s interests may appear, on General Liability Insurance only, relative to claims which arise from Contractor’s negligent acts or omissions in connection with Contractor’s performance under this Agreement.

(2) Such Liability insurance shall include all of the following types of insurance and indicated minimum policy limits.

Type of Insurance	Limits of Liability
GENERAL LIABILITY:	Minimum \$1,000,000 Per Occurrence and \$2,000,000 Per Aggregate
*Policy to be written on a claims incurred basis	
___ comprehensive form	bodily injury and property damage
___ premises – operations	bodily injury and property damage
___ explosion & collapse hazard	
___ underground hazard	
___ products/completed operations hazard	bodily injury and property damage combined
___ contractual insurance	bodily injury and property damage combined

broad form property damage bodily injury and property damage combined
 independent contractors personal injury
 personal injury

AUTOMOBILE LIABILITY: Minimum \$1,000,000 Per Occurrence and Aggregate.
 Bodily injury (each person) bodily injury (each
 accident), property damage, bodily injury and property
 damage combined.

comprehensive form
 owned
 hired
 non-owned

REAL & PERSONAL PROPERTY:

comprehensive form Agent must show proof they have this coverage

EXCESS LIABILITY:

		Per Occurrence	Aggregate
<input type="checkbox"/> other than umbrella	bodily injury and property damage combined	\$1,000,000	\$1,000,000

PROFESSIONAL LIABILITY:

	Per Occurrence	Aggregate
<input type="checkbox"/> *Policy to be written on a claims made basis	\$1,000,000	\$1,000,000

(3) If Professional Liability insurance is required, Owner agrees the indemnification and hold harmless provisions of this Agreement shall survive the termination or expiration of the Agreement for a period of three (3) years unless terminated sooner by the applicable statute of limitations.

C. Employer's Liability. Owner and all subcontractors shall, for the benefit of their employees, provide, carry, maintain and pay for Employer's Liability Insurance in the minimum amount of One Hundred Thousand Dollars (\$100,000.00) per employee, Five Hundred Thousand Dollars (\$500,000) per aggregate. Owner may self-insure for

Employer's Liability Insurance, provided such self-insurance is in compliance with all applicable laws.

D. Policies: Whenever, under the provisions of this Agreement, insurance is required of the Owner, the Owner shall promptly provide the following:

- (1) Certificates of Insurance evidencing the required coverage;
- (2) Names and addresses of companies providing coverage;
- (3) Effective and expiration dates of policies; and
- (4) A provision in all policies affording City thirty (30) days written notice by a carrier of any cancellation or material change in any policy.

E. Insurance Cancellation or Modification. Should any of the required insurance policies be canceled before the expiration date, or modified or substantially modified, the issuing company shall provide thirty (30) days written notice to the City.

F. Waiver of Subrogation. Contractor hereby waives any and all right of subrogation against the City, its officers, employees and agents for each required policy. When required by the insurer, or should a policy condition not permit an insured to enter into a pre-loss agreement to waive subrogation without an endorsement, then Contractor shall notify the insurer and request the policy be endorsed with a Waiver of Transfer of Rights of Recovery Against Others, or its equivalent. This Waiver of Subrogation requirement shall not apply to any policy which includes a condition to the policy not specifically prohibiting such an endorsement, or voids coverage should Owner enter into such an agreement on a pre-loss basis.

9. Effective Covenants. The burdens of this Agreement shall run with the land and shall be binding upon, and the benefits of this Agreement shall inure to, all successors in interest of the parties to this Agreement.

10. Duration of Agreement. This Agreement shall remain in full force and effect in perpetuity.

11. Recording. This Agreement shall be recorded in the Public Records of Broward County by the Developer within Fourteen (14) days after execution by the Parties.

12. Effective Date. This Agreement shall become effective upon execution and recordation in the Public Records of Broward County, Florida.

13. Miscellaneous.

(a) Entire Agreement. This Agreement sets forth all of the promises, covenants, agreements, conditions and understandings between the parties hereto, and supersedes all prior and contemporaneous agreements, understandings, inducements or conditions, express or implied, oral or written, except as herein contained. The City shall not request any additional improvements or contributions except for those as expressly set forth in this Agreement.

(b) Modification. No modification of this Agreement shall be valid or binding unless such modification is in writing, duly dated and signed by the parties hereto, or their respective successors in interest, and is in compliance with Section 163.3225, Florida Statutes.

(c) Pronouns. All pronouns and any variations thereof shall be deemed to refer to the masculine, feminine and neuter, singular or plural, as the identity of the party or parties, personal representatives, successor or assigns may require.

(d) Severability. The invalidity of any provision hereof shall in no way affect or invalidate the remainder of the Agreement.

(e) Counterparts. This Agreement may be executed in one or more counterparts, each of which shall be deemed an original, but all of which shall together constitute one in the same instrument.

(f) Governing Law. This Agreement shall be construed in accordance with the laws of the State of Florida, and any proceeding arising between the parties in any manner pertaining to this Agreement shall, to the extent permitted by law, be held in Broward County, Florida.

(g) Binding Effect. The obligations imposed pursuant to this Agreement upon the City, Developer and/or upon the Property run with and bind the Property as covenants running with the Property and this Agreement shall be binding upon and enforceable by and against the Parties hereto, their personal representatives, heirs, successors, grantees and assigns. Notwithstanding anything contained herein to the contrary, the parties hereby acknowledge and agree that other than the obligations and rights imposed herein specific to the Improvements, this Agreement shall have no other effect on the interests of the parties.

(h) Attorneys' Fees. Should any Party hereto bring an action against the other to enforce the terms and provisions hereof, then the Party prevailing in said action shall be entitled to a judgment against the other for reasonable attorneys' fees and costs at both the trial and appellate levels.

(i) Force Majeure. "Force Majeure" means the occurrence of any of the following for the period of time, if any, that the performance of a party's material obligations under this Agreement is delayed or prevented thereby: acts of God, acts of the public enemy, insurrections, wars or war-like action, arrests or other restraints of government (civil or military), blockades, embargoes, strikes, labor unrest or disputes, unavailability of labor or materials, epidemics, landslides, lightning, earthquakes, fires, hurricanes, storms, floods, wash-outs, explosions, any delays occasioned by litigation related to the Property, civil disturbance or disobedience, riot,

sabotage, terrorism, threats of sabotage or terrorism or any other cause, whether of the kind herein enumerated or otherwise, that is not within the reasonable anticipation or control of the party claiming the right to delay performance on account of such occurrence and which, in any event, is not a result of the intentional act, negligence or willful misconduct of the party claiming the right to delay performance on account of such occurrence.

Signatures on following page

“CITY”:

Witnesses:

CITY OF POMPANO BEACH

By: _____
LAMAR FISHER, MAYOR

By: _____
GREGORY P. HARRISON, CITY MANAGER

Attest:

ASCELETA HAMMOND
CITY CLERK

(SEAL)

Approved As To Form:

MARK E. BERMAN
CITY ATTORNEY

STATE OF FLORIDA
COUNTY OF BROWARD

The foregoing instrument was acknowledged before me this _____ day of _____, 2017 by **LAMAR FISHER** as Mayor, **GREGORY P. HARRISON** as City Manager and **ASCELETA HAMMOND** as City Clerk of the City of Pompano Beach, Florida, a municipal corporation, on behalf of the municipal corporation, who are personally known to me.

NOTARY’S SEAL:

NOTARY PUBLIC, STATE OF FLORIDA

(Name of Acknowledger Typed, Printed or Stamped)

Commission Number

STATE OF FLORIDA)
) ss:
COUNTY OF BROWARD)

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, the foregoing instrument was acknowledged before me by Lamar Fisher, as Mayor of the City of Pompano, a Florida municipal corporation, on behalf of the City, freely and voluntarily under authority duly vested in him by said municipal corporation and that the seal affixed thereto is the true corporate seal of said municipal corporation. She is personally known to me or has produced _____ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this ___ day of _____, 2017.

Notary Public, State of Florida

My Commission Expires:

Typed, printed or stamped name of Notary Public

STATE OF FLORIDA)
) ss:
COUNTY OF BROWARD)

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgments, the foregoing instrument was acknowledged before me by Greg Harrison, as City Manager of the City of Pompano, a Florida municipal corporation, on behalf of the City, freely and voluntarily under authority duly vested in him by said municipal corporation and that the seal affixed thereto is the true corporate seal of said municipal corporation. He is personally known to me or has produced _____ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this ___ day of _____, 2017.

Notary Public, State of Florida

My Commission Expires:

Typed, printed or stamped name of Notary Public

Exhibit A

page 1 of 2

DESCRIPTION:

ALL OF BLOCK 6, CORRECTED PLAT OF PERRY & WELLS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THE ABANDONED ALLEY LYING BETWEEN LOTS 1 THROUGH 15, AND LOTS 16 THROUGH 32:

LESS AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

THE WEST 10.00 FEET OF LOT 16:

THE WEST 10.00 FEET OF LOT 15:

THE NORTH 10.00 FEET OF LOTS 1 THROUGH 15, BLOCK 6:

THE EAST 10.00 FEET OF LOT 1:

THE EAST 10.00 FEET OF LOT 32:

THE EAST 10.00 FEET OF THAT CERTAIN 10.00 FOOT ALLEY LYING BETWEEN LOTS 1 AND 32:

THE SOUTH 10.00 FEET OF LOTS 16 THROUGH 32:

THE WEST 10.00 FEET OF THAT CERTAIN 10.00 FOOT ALLEY LYING BETWEEN LOTS 15 AND 16:

ALSO LESS AND EXCEPT THEREFROM THE FOLLOWING DESCRIBED PROPERTY:

COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 02°01'12" EAST, ALONG THE EAST LINE OF SAID BLOCK 6, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88°25'45" WEST, A DISTANCE OF 10.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 02°01'12" EAST, ALONG THE WEST LINE OF THE 10.00 FOOT WIDE RIGHT-OF-WAY PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 42046, PAGE 165 OF SAID PUBLIC RECORDS, A DISTANCE OF 265.43 FEET; THENCE SOUTH 88°23'46" WEST, ALONG A NORTH LINE OF THE 10.00 FOOT WIDE RIGHT-OF-WAY PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 42046, PAGE 165 OF SAID PUBLIC RECORDS, A DISTANCE OF 143.00 FEET; THENCE NORTH 01°36'51" WEST, A DISTANCE OF 265.51 FEET; THENCE NORTH 88°25'45" EAST, ALONG A SOUTH LINE OF THE 10.00 FOOT WIDE RIGHT-OF-WAY PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 42046, PAGE 165 OF SAID PUBLIC RECORDS, A DISTANCE OF 141.12 FEET TO THE POINT OF BEGINNING.

ALL LYING IN BLOCK 6, CORRECTED PLAT OF PERRY & WELLS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

CONTAINS 65,955 SQUARE FEET OR 1.514 ACRES MORE OR LESS.

THE ABOVE PARCEL IS ALSO DESCRIBED AS FOLLOWS:

A PORTION OF BLOCK 6, CORRECTED PLAT OF PERRY & WELLS SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, PAGE 21, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

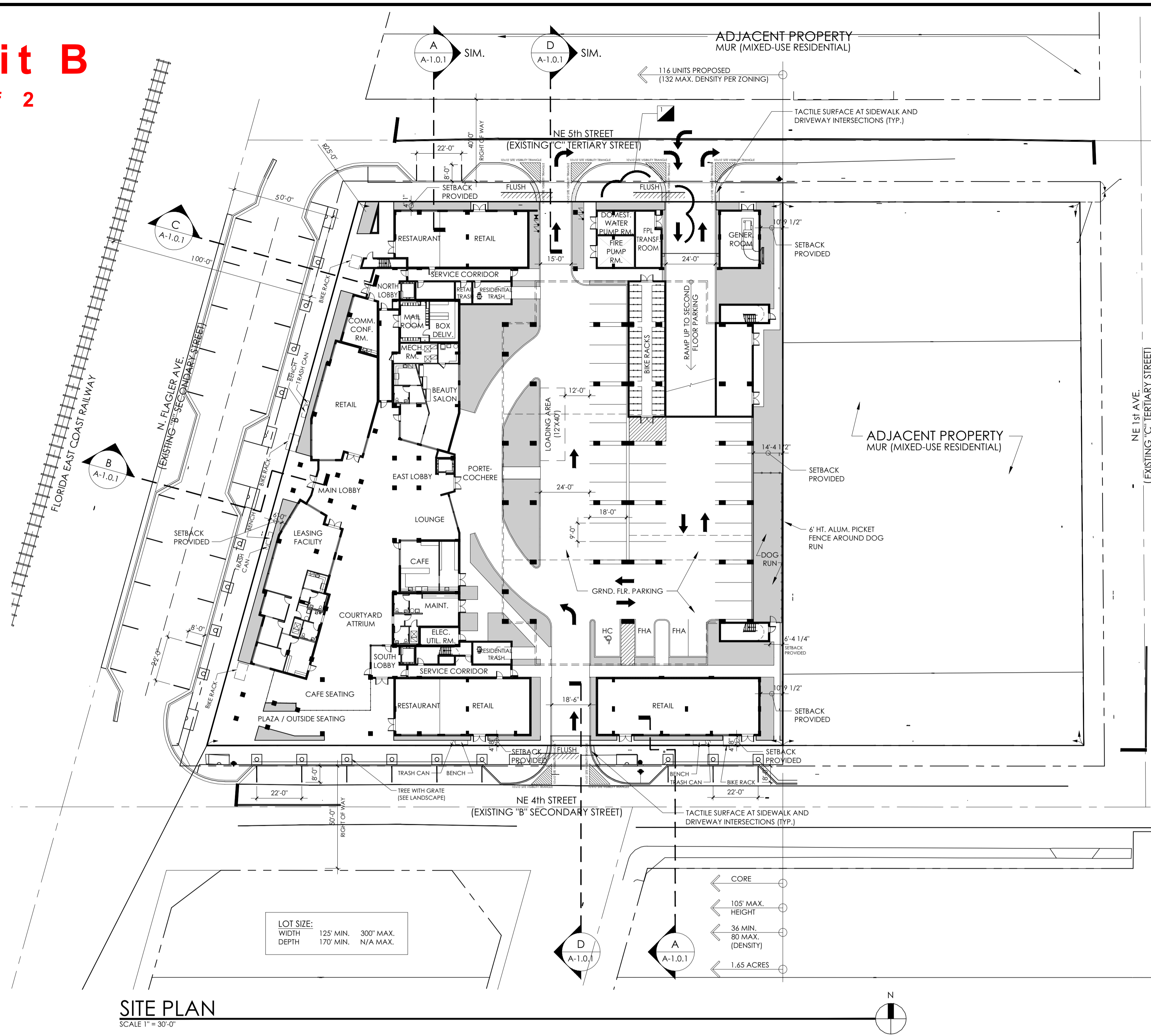
COMMENCE AT THE NORTHEAST CORNER OF SAID LOT 1; THENCE SOUTH 02°01'12" EAST, ALONG THE EAST LINE OF SAID BLOCK 6, A DISTANCE OF 10.00 FEET; THENCE SOUTH 88°25'45" WEST, A DISTANCE OF 151.12 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 01°36'51" EAST, A DISTANCE OF 265.51 FEET; THENCE SOUTH 88°23'46" WEST,

Exhibit A

page 2 of 2

ALONG A NORTH LINE OF THE 10.00 FOOT WIDE RIGHT-OF-WAY PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 42046, PAGE 165 OF SAID PUBLIC RECORDS, A DISTANCE OF 285.34 FEET; THENCE NORTH 13°57'06" EAST, ALONG THE EAST LINE OF A 10.00 FOOT WIDE RIGHT-OF-WAY & EASEMENT FOR DRIVEWAY PURPOSES DESCRIBED IN DEED BOOK 283, PAGE 548, AND THE EAST LINE OF THAT PARCEL OF LAND DESCRIBED IN A WARRANTY DEED RECORDED IN OFFICIAL RECORDS BOOK 3015, PAGE 54, BOTH OF SAID PUBLIC RECORDS, A DISTANCE OF 275.73 FEET; THENCE NORTH 88°25'45" EAST, ALONG A SOUTH LINE OF THE 10.00 FOOT WIDE RIGHT-OF-WAY PARCEL DESCRIBED IN OFFICIAL RECORDS BOOK 42046, PAGE 165 OF SAID PUBLIC RECORDS, A DISTANCE OF 211.35 FEET TO THE POINT OF BEGINNING.

SAID LANDS SITUATE, LYING AND BEING IN THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA AND CONTAINS 65,955 SQUARE FEET OR 1.514 ACRES MORE OR LESS.



SITE PLAN
SCALE 1" = 30'-0"

SITE PLAN/ BUILDING DATA

PROJECT DESCRIPTION:
(1) FIVE TO SEVEN-STORY MIXED-USE BUILDING, (1) THREE-STORIES ABOVE GRADE PARKING STRUCTURE WITH POOL AND DECK.

A. LAND USE DESIGNATION: MUR- MIXED-USE RESIDENTIAL

B. ZONING DESIGNATION: DPTOC ZONING DISTRICT

C. SITE AREA: 64,877.25 SQUARE FEET = 1.4894 ACRES

D. WATER/ WASTEWATER SERVICE PROVIDER: CITY OF POMPANO BEACH

E. MUR DEVELOPMENT:
NUMBER OF DWELLING UNITS: 116 TOTAL UNITS
TYPE OF UNITS - 4 TYPES
UNIT A ONE BEDROOM (52 UNITS) 811 S.F. A/C
UNIT A-UFAS ONE BEDROOM (6 UNITS) 874 S.F. A/C
UNIT B TWO BEDROOM (52 UNITS) 1060 S.F. A/C
UNIT B-UFAS TWO BEDROOM (6 UNITS) 1140 S.F. A/C
MAX. SITE DENSITY ALLOWED: 36-80 UNITS PER ACRE X 1.4894 ACRES = 119 UNITS
MAX. SITE DENSITY PROPOSED: 116 UNITS / 1.4894 ACRES = 77.88 D.U./ACRE
LEASING AREA = 2,358 S.F.
RESTAURANT AREA = 1,355 S.F.
RETAIL AREA = 5,315 S.F.

F. GROSS SQUARE FOOTAGE PER FLOOR:
GROUND FLOOR (INCLUDES GARAGE) = 43,069 S.F.
SECOND FLOOR (INCLUDES 18,032 S.F. GARAGE) = 47,322 S.F.
THIRD FLOOR (INCLUDES 18,032 S.F. GARAGE) = 47,322 S.F.
FOURTH FLOOR (INCLUDES 18,032 S.F. GARAGE) = 47,322 S.F.
FIFTH FLOOR = 35,326 S.F.
SIXTH FLOOR = 18,889 S.F.
SEVENTH FLOOR = 18,889 S.F.
TOTAL = 257,970 S.F.

G. BUILDING FOOTPRINT:
TOTAL BUILDING FOOTPRINT (INCLUDES GARAGE) = 43,069 S.F.

H. ADDITIONAL IMPERVIOUS AREAS (AT GRADE)
V.U.A. AREA / PEDESTRIAN WALKWAYS = 14,855 S.F.
TOTAL IMPERVIOUS AREAS (INCLUDES BUILDING FOOTPRINT) = 89.3% 57,924 S.F.

I. MAXIMUM LOT COVERAGE 90% 58,389 S.F.
AS PER POMPANO BCH. FL. DOWNTOWN OVERLAY DISTRICT (CORE/CENTER)
LOT COVERAGE PROPOSED (INCLUDES BUILDING AND GARAGE) 66% 43,069 S.F.

J. MINIMUM OPEN AREA REQUIRED 10% 6,488 S.F.
AS PER POMPANO BCH. FL. DOWNTOWN OVERLAY DISTRICT (CORE/CENTER)
OPEN AREA PROPOSED (SEE SHEET A-1.0.2 FOR DIAGRAM) 15.9% 10,340 S.F.
MINIMUM PERVIOUS AREA REQUIRED 10% 6,488 S.F.
AS PER POMPANO BCH. FL. DOWNTOWN OVERLAY DISTRICT
PERVIOUS AREA PROPOSED 10.7% 6,953 S.F.

K. PARKING DATA: AS PER POMPANO BCH. FL. DPTOC ZONING DISTRICT REGULATIONS
RESIDENTIAL UNITS
1 SPACE PER ONE-BEDROOM UNIT (58 D.U.) = 58 SPACES REQUIRED
1.5 SPACES PER TWO-BEDROOM UNIT (58 D.U.) = 87 SPACES REQUIRED
TOTAL RESIDENTIAL SPACES REQUIRED = 145 SPACES REQUIRED
TOTAL ACCESSIBLE SPACES REQUIRED = (3 SPACES IN TOTAL PROVIDED PER F.H.A. ACCESSIBLE GUIDELINES)
LEASING AREA 1 SPACE/300 GROSS S.F. (2,358 S.F./300) = 8 SPACES REQUIRED
RESTAURANT AREA 6 SPACES PER 1,000 S.F. (1,355 S.F./1,000 = 1.355 x 6 SPACES) = 9 SPACES REQUIRED
RETAIL AREA 1 SPACE/300 GROSS S.F. (5,315 S.F./300) = 18 SPACES REQUIRED
TOTAL PARKING SPACES REQUIRED = 180 SPACES
PARKING PROVIDED:
GROUND FLOOR GARAGE (PUBLIC PARKING) = 34 SPACES (INCLUDES 1 A.D.A. ACCESSIBLE SPACES.)
GARAGE LEVEL (SECURED) RESIDENTIAL PARKING = 133 SPACES
ON-STREET (PARALLEL) PARKING = 16 SPACES
TOTAL PARKING SPACES PROPOSED = 203 SPACES
BICYCLE PARKING PROVIDED: = 116 SPACES

L. NUMBER OF STORIES: 7 STORIES (MAX.)

M. STOREFRONT STANDARDS

N. CORE/CENTER LOT STANDARDS: LINER BUILDING TYPE

	MIN	MAX	PROVIDED
A. LOT WIDTH	125'	300'	207'-4"
B. LOT DEPTH	170'	N/A	265'-0"
C. LOT COVERAGE	N/A	90%	66.0%
D. PERVIOUS AREA	10%	N/A	12.2%
F. FRONT SETBACK	0'	20'	4'-8"
G. CORNER SIDE SETBACK	0'	20'	6'-0"
H. INTERIOR SIDE SETBACK	0'	N/A	10'-9"
I. REAR SETBACK	0'	N/A	4'-1"

PASQUALE KURITZKY ARCHITECTURE, INC.
Urban • Residential • Commercial

5101 N.W. 21ST AVENUE, SUITE 360
FORT LAUDERDALE, FL 33309
T: (954) 332-0184
F: (954) 332-0187
AA0002517

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ANY FORM WITHOUT PERMISSION.

DESIGNED: PKA
DRAWN: PKA
CHECKED: PKA

JOSEPH JOHN PASQUALE, JR.
AR 0009261
HARLAN L. KURITZKY
AR 0006886

Digitally signed by Joseph Pasquale
DN: cn=Joseph Pasquale,
o=Pasquale Kuritzky Architecture,
ou=AR0009261, email=joseph@pkarchi-
tecture.com, c=US
Date: 2016.05.04 15:24:34 -0400

Joseph Pasquale

HERITAGE AT POMPANO STATION

33 NE 4th. STREET
POMPANO BEACH, FL. 33030

PROJECT NO. 1554
DATE: 10/30/15

REVISION

DATE	REVISION
11-5-15	REVISION PER MEETING ON 11-4-2015
12-30-15	PRELIMINARY SITE PLAN
1-6-16	ISSUED BUILDING PLANS
1-15-16	PRE D.R.C. SUBMITTAL
2-4-16	D.R.C. SUBMITTAL
3-31-16	A.A.C. SUBMITTAL DRC RESPONSE SUBMITTAL P & Z SUBMITTAL
05-03-16	D.R.C. COMMENT RESPONSE SUBMITTAL

REVISED OPEN AREAS - INCLUDED PERVIOUS AREAS.
REVISED P/L TRANSF. ROOM DOOR.
ADDED SIDEWALK/DRIVE INTERSECTION NOTES AND SECTION CALLOUT

Exhibit B
page 1 of 2

NOTES

- FIRST FLOOR SLAB OF ALL BUILDINGS TO BE 18" ABOVE THE HIGHEST POINT OF THE CROWN OF ALL STREETS ADJACENT. PER FLOODPLAIN REGULATIONS: 152.24(C)(1).
- WHERE A SIDEWALK CROSSES A DRIVEWAY THE INTERSECTION MUST BE CLEARLY MARKED AND LIGHTED FOR SAFETY.
- THE SIDEWALK MUST BE CONTINUOUS AND REMAIN AT A CONSTANT LEVEL AT ALL INSTANCES (DRIVEWAY MUST RISE TO THE SIDEWALK LEVEL).
- A CHANGE OF TACTILE SURFACE MUST BE INSTALLED.
- STREET INTERSECTIONS MUST BE IMPROVED WITH CURB EXTENSIONS SUFFICIENT TO PROVIDE FULLY ACCESSIBLE LANDINGS AND PEDESTRIAN REST AREA. REST AREAS MUST BE FURNISHED WITH WAY FINDING/DIRECTIONAL SIGNAGE, SUFFICIENT CLEARANCE FOR WHEELCHAIRS, AND PEDESTRIAN AMENITIES SUCH AS BENCHES, BIKE RACKS.
- UTILITY CONNECTIONS AND SERVICE BOXES MUST BE PLACED ON SECONDARY WALLS AND AWAY FROM CORNERS.

CODE INFORMATION

APPLICABLE CODES:
- 2010 FLORIDA BUILDING CODE
- 2009 NFPA 101 LIFE SAFETY CODE.

OCCUPANCY CLASSIFICATIONS (F.B.C. CHAPTER 3):

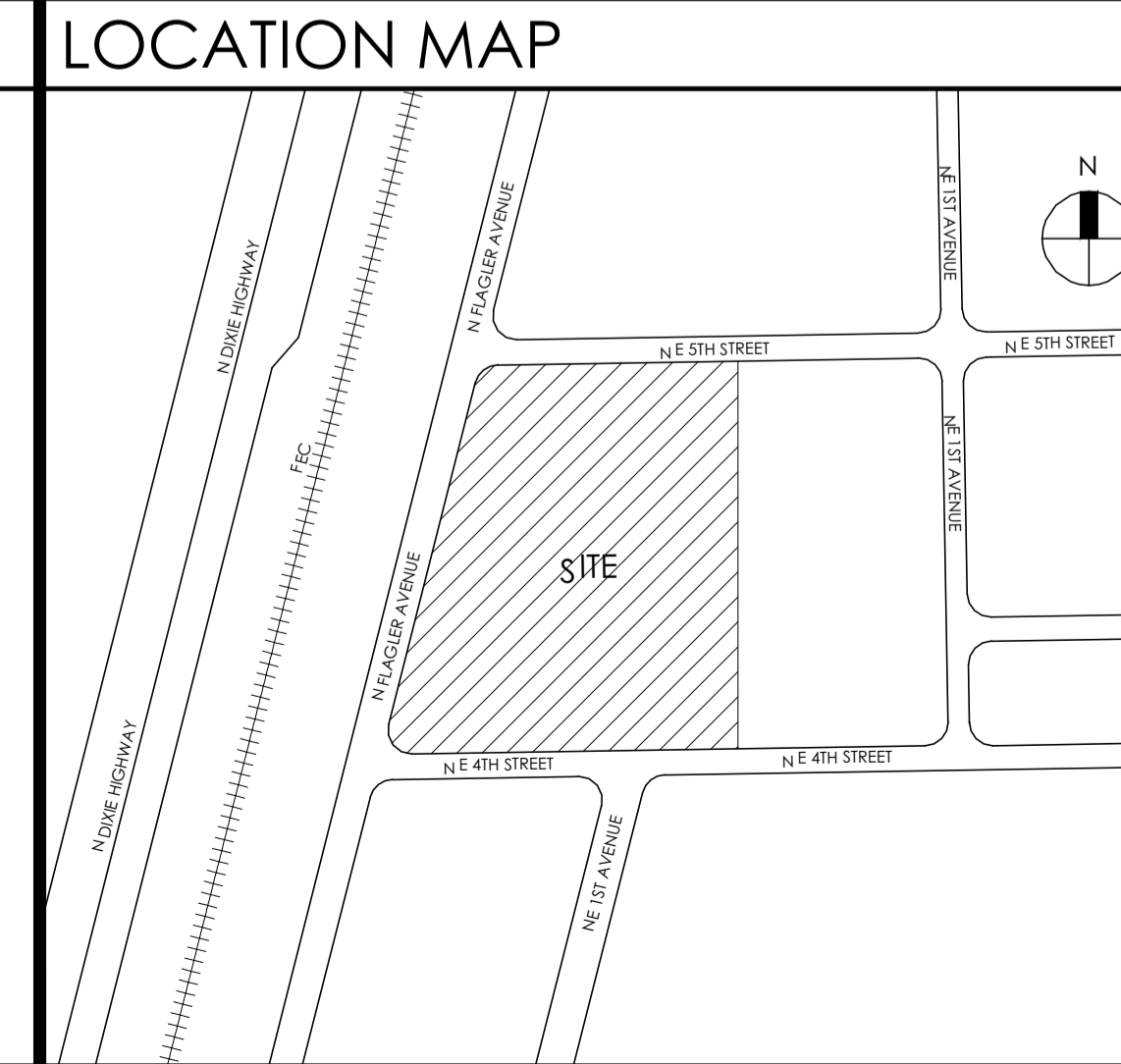
- SEVEN STORY APARTMENT BUILDING:** RESIDENTIAL, GROUP R-2 (APARTMENT HOUSES)
- FOUR STORY PARKING STRUCTURE:** MIXED - SEPARATE USES: STORAGE, GROUP S-2 (OPEN-AIR PARKING GARAGE)

TYPES OF CONSTRUCTION (F.B.C. CHAPTER 6):

- SEVEN STORY (MAX.) APARTMENT BUILDING:** TYPE I-A (FULLY SPRINKLERED - NFPA 13 SYSTEM)
- FOUR STORY PARKING STRUCTURE:** TYPE II-A (FULLY SPRINKLERED - NFPA 13 SYSTEM)

LEGAL DESCRIPTION

PERRY & WELLS SUB CORR PLAT 4-21 B LOT 16 TO 22 BLK 6, LESS S 10 EXCEPT W 10 PER OR 42046/165 TOG WITH A POR OF VAC ALLEY PER ORD 2007-10 OR 43901/1103



SETBACK CHART

FRONT SETBACK (SOUTH) REQUIRED	0'(MIN)	20'(MAX)
FRONT SETBACK (SOUTH) PROVIDED		4'-8"
CORNER SIDE (WEST) SETBACK REQUIRED	0'(MIN)	20'(MAX)
CORNER SIDE (WEST) SETBACK PROVIDED		6'-0"
INTERIOR SIDE (EAST) SETBACK REQUIRED	0'(MIN)	N/A(MAX)
INTERIOR SIDE (EAST) SETBACK PROVIDED	VARIABLES:	6'-4" @ STAIR 10'-9" @ RETAIL 14'-4" @ GARAGE
REAR SETBACK (NORTH) REQUIRED	0'(MIN)	N/A(MAX)
REAR SETBACK (NORTH) PROVIDED		4'-1"

CODE INFORMATION

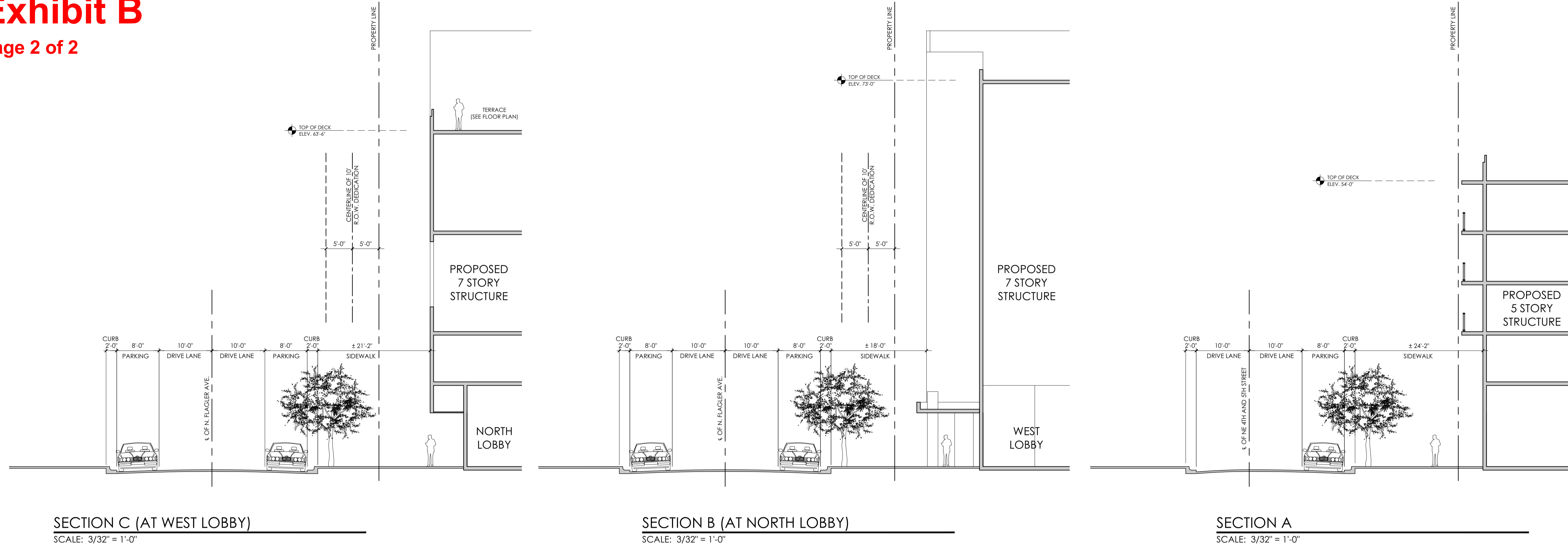
APPLICABLE CODES:
2014 FLORIDA BUILDING CODE,
2012 NFPA 101 LIFE SAFETY CODE,
NFPA 1, CHAPTER 18.

SITE PLAN

P&Z
DESIGN DEVELOPMENT
PZ16-12008001
MAY 25 2016

Exhibit B

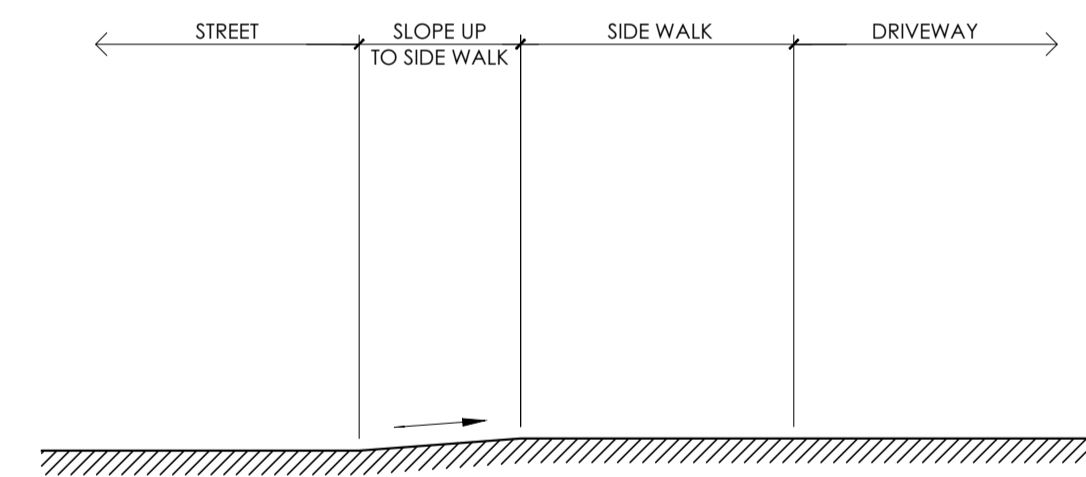
page 2 of 2



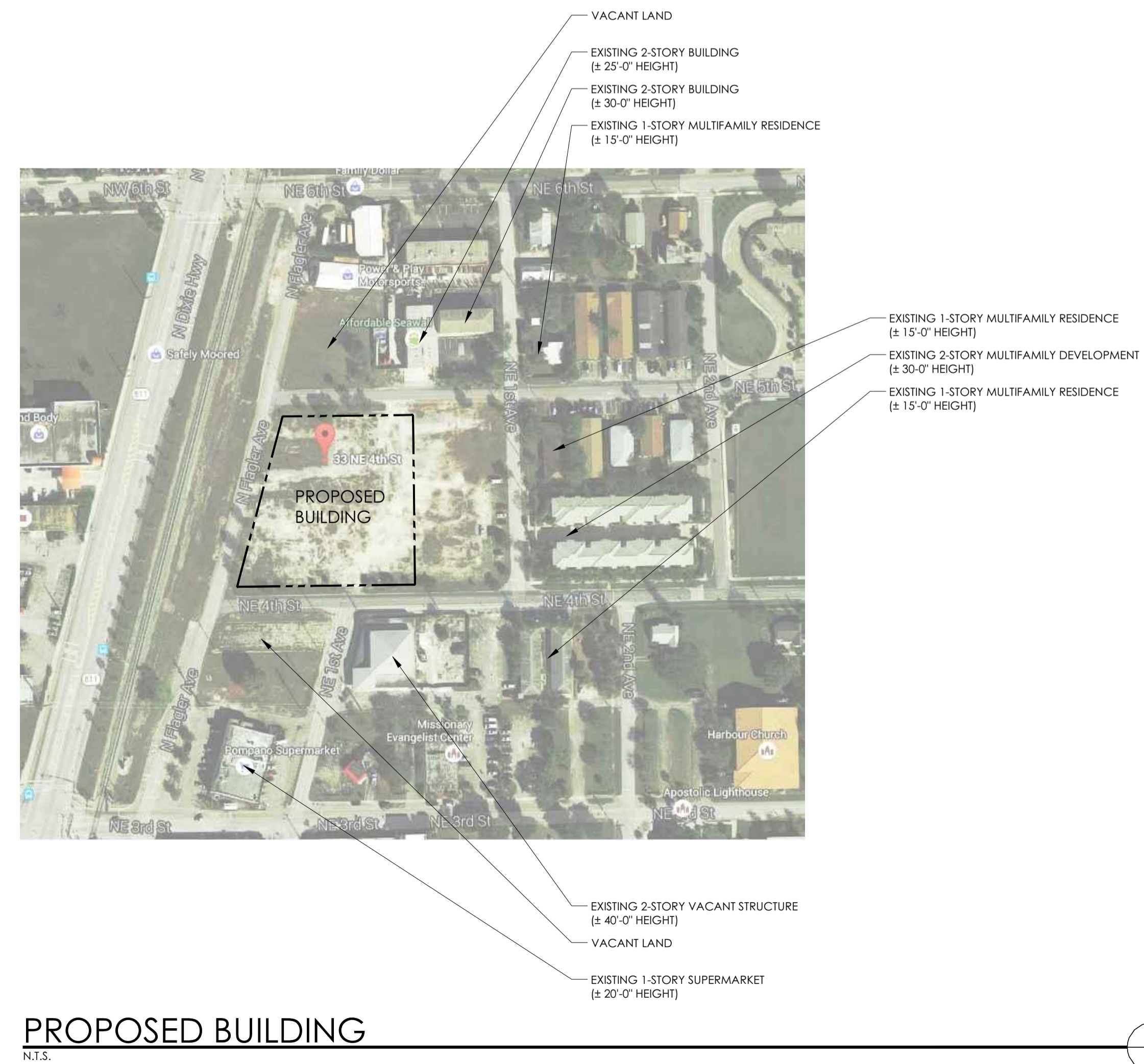
SECTION C (AT WEST LOBBY)
SCALE: 3/32" = 1'-0"

SECTION B (AT NORTH LOBBY)
SCALE: 3/32" = 1'-0"

SECTION A
SCALE: 3/32" = 1'-0"



(SEE CIVIL FOR GRADE ELEVATIONS)
SECTION D - STREET/ SIDEWALK DETAIL
NOT TO SCALE

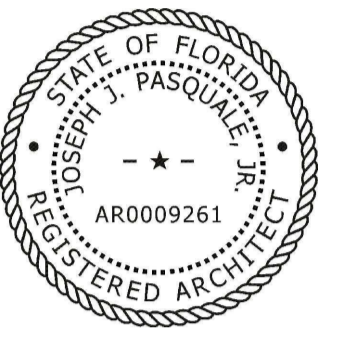


PROPOSED BUILDING
N.T.S.

5101 N.W. 21ST AVENUE, SUITE 360
FORT LAUDERDALE, FL 33309
T: (954) 332-0184
F: (954) 332-0187
AA0002517

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DESIGNED PKA
DRAWN PKA
CHECKED PKA
JOSEPH JOHN PASQUALE, JR.
AR 0009261
HARLAN L. KURITZKY
AR 000686



Digitally signed by
Joseph Pasquale
DN: cn=Joseph Pasquale,
o=Pasquale Kuritzky Architecture,
ou=AR0009261,
email=joe@pkarchi
ecture.com, c=US
Date: 2016.05.04
15:24:55 -0400

HERITAGE AT POMPANO STATION

33 NE 4th. STREET
POMPANO BEACH, FL. 33030
PROJECT NO. 1554
DATE: 10/30/15

REVISIONS	
11-5-15	REVISION PER MEETING ON 11-4-2015
12-30-15	PRELIMINARY SITE PLAN
1-6-16	ISSUED BUILDING PLANS
1-15-16	PRE D.R.C. SUBMITTAL
2-4-16	D.R.C. SUBMITTAL
3-31-16	A.A.C. SUBMITTAL DRC RESPONSE SUBMITTAL P & Z SUBMITTAL
05-03-16	D.R.C. COMMENT RESPONSE SUBMITTAL 4-21-15

Exhibit B
page 2 of 2

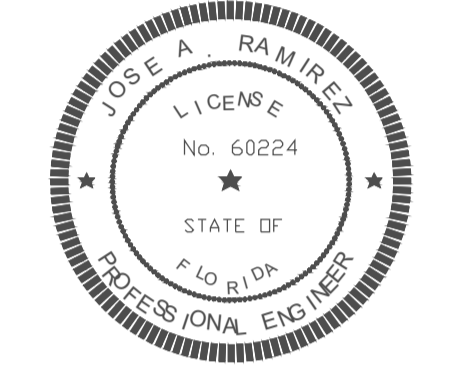
Exhibit C

5101 N.W. 21ST AVENUE, SUITE 360
 FORT LAUDERDALE, FL 33309
 T: (954) 332-0184
 F: (954) 332-0187
 AA0002517

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VITAL ENGINEERING, INC.
 CONSULTING ENGINEERS
 JOSE A. RAMIREZ, P.E.
 Electrical Engineer - State of Florida P.E. 0060224
 7100 SW 99th Ave., Suite 202 - Miami, FL 33175
 Phone: (305) 412-6000 - Fax: (305) 412-6005
 E-mail: vitaleng@aol.com

Certificate of Authorization Number: 6514



HERITAGE AT POMPANO STATION

POMPANO BEACH, FL

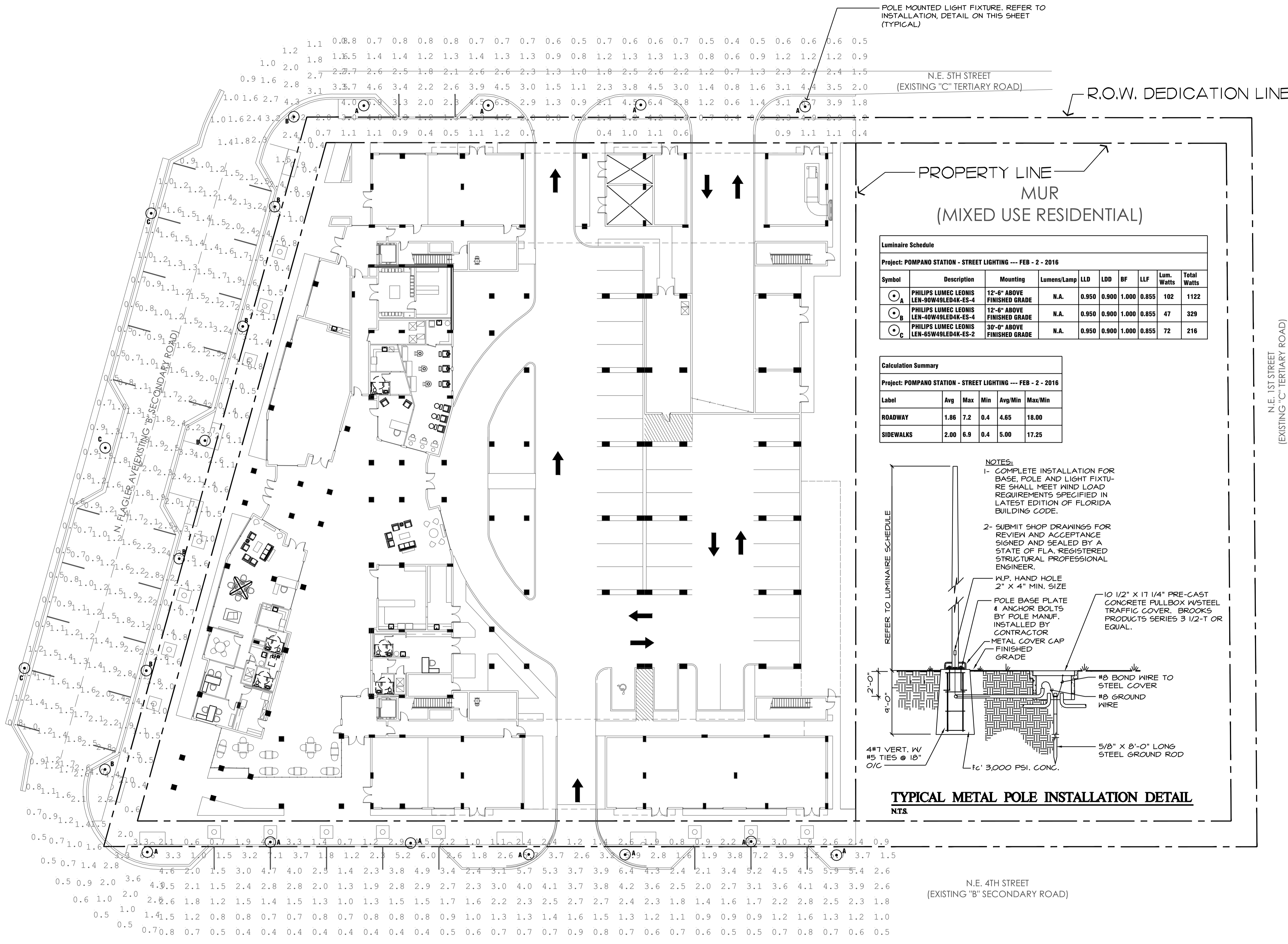
PROJECT NO. 1554
 DATE: 02/04/16

REVISIONS
 2-04-16 D.R.C. SUBMITTAL

Jose Ramirez
Jose Ramirez
 Licensed to the accuracy and integrity of this document.
 Feb 3 2016 11:28 AM

STREET LIGHTING ILLUMINATION PLAN

P&Z
 P716-12000001
 MAY 25 2016



POLE MOUNTED LIGHT FIXTURE. REFER TO INSTALLATION DETAIL ON THIS SHEET (TYPICAL)

N.E. 5TH STREET
 (EXISTING "C" TERTIARY ROAD)

R.O.W. DEDICATION LINE

PROPERTY LINE
 MUR
 (MIXED USE RESIDENTIAL)

Luminaire Schedule

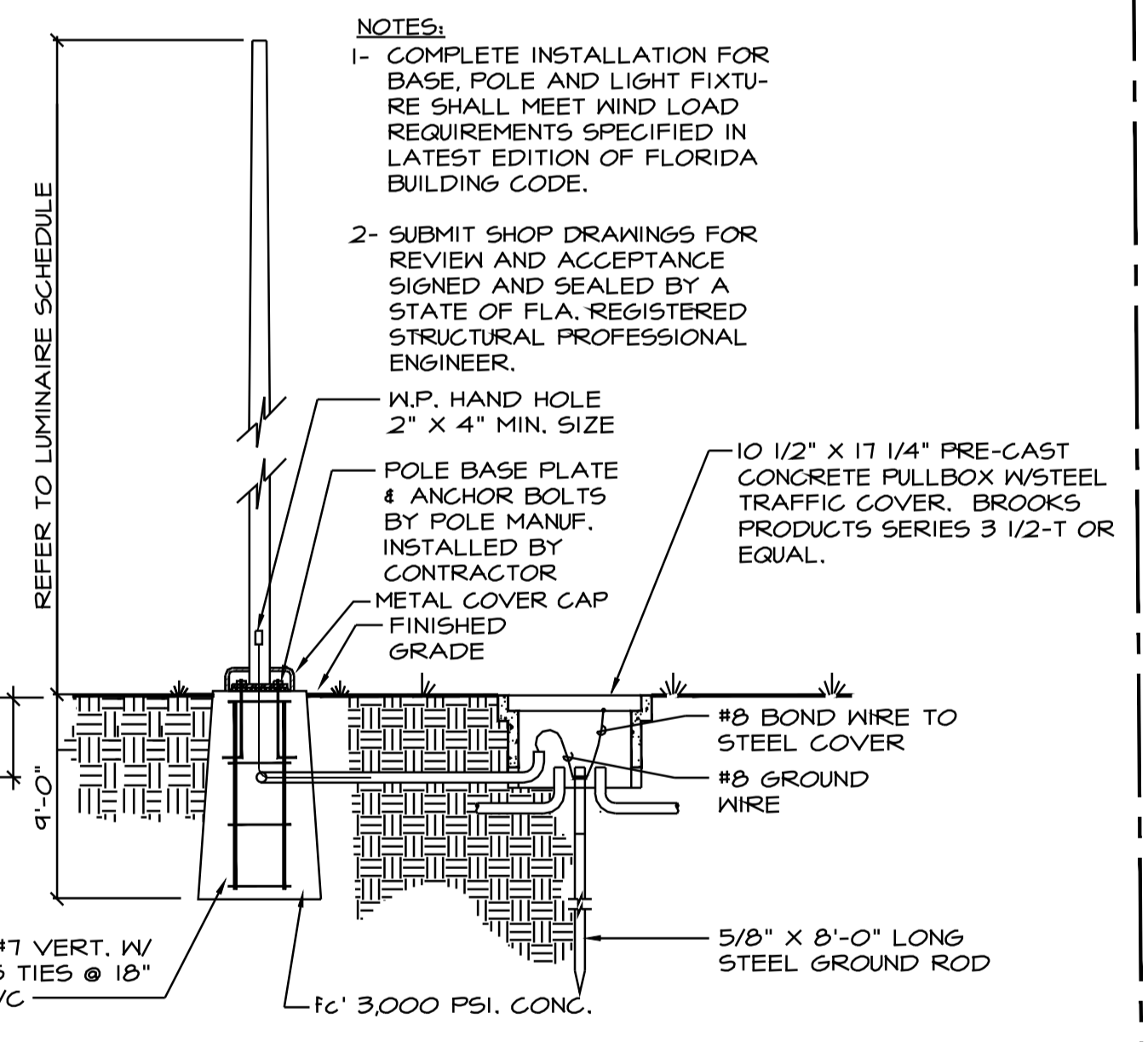
Project: POMPANO STATION - STREET LIGHTING --- FEB - 2 - 2016

Symbol	Description	Mounting	Lumens/Lamp	LLD	LDD	BF	LLF	Lum. Watts	Total Watts
⊙ A	PHILIPS LUMEC LEONIS LEN-90W4LED4K-ES-4	12'-8" ABOVE FINISHED GRADE	N.A.	0.950	0.900	1.000	0.855	102	1122
⊙ B	PHILIPS LUMEC LEONIS LEN-40W4LED4K-ES-4	12'-8" ABOVE FINISHED GRADE	N.A.	0.950	0.900	1.000	0.855	47	329
⊙ C	PHILIPS LUMEC LEONIS LEN-65W4LED4K-ES-2	30'-0" ABOVE FINISHED GRADE	N.A.	0.950	0.900	1.000	0.855	72	216

Calculation Summary

Project: POMPANO STATION - STREET LIGHTING --- FEB - 2 - 2016

Label	Avg	Max	Min	Avg/Min	Max/Min
ROADWAY	1.86	7.2	0.4	4.65	18.00
SIDEWALKS	2.00	6.9	0.4	5.00	17.25



TYPICAL METAL POLE INSTALLATION DETAIL
 N.T.S.

N.E. 4TH STREET
 (EXISTING "B" SECONDARY ROAD)

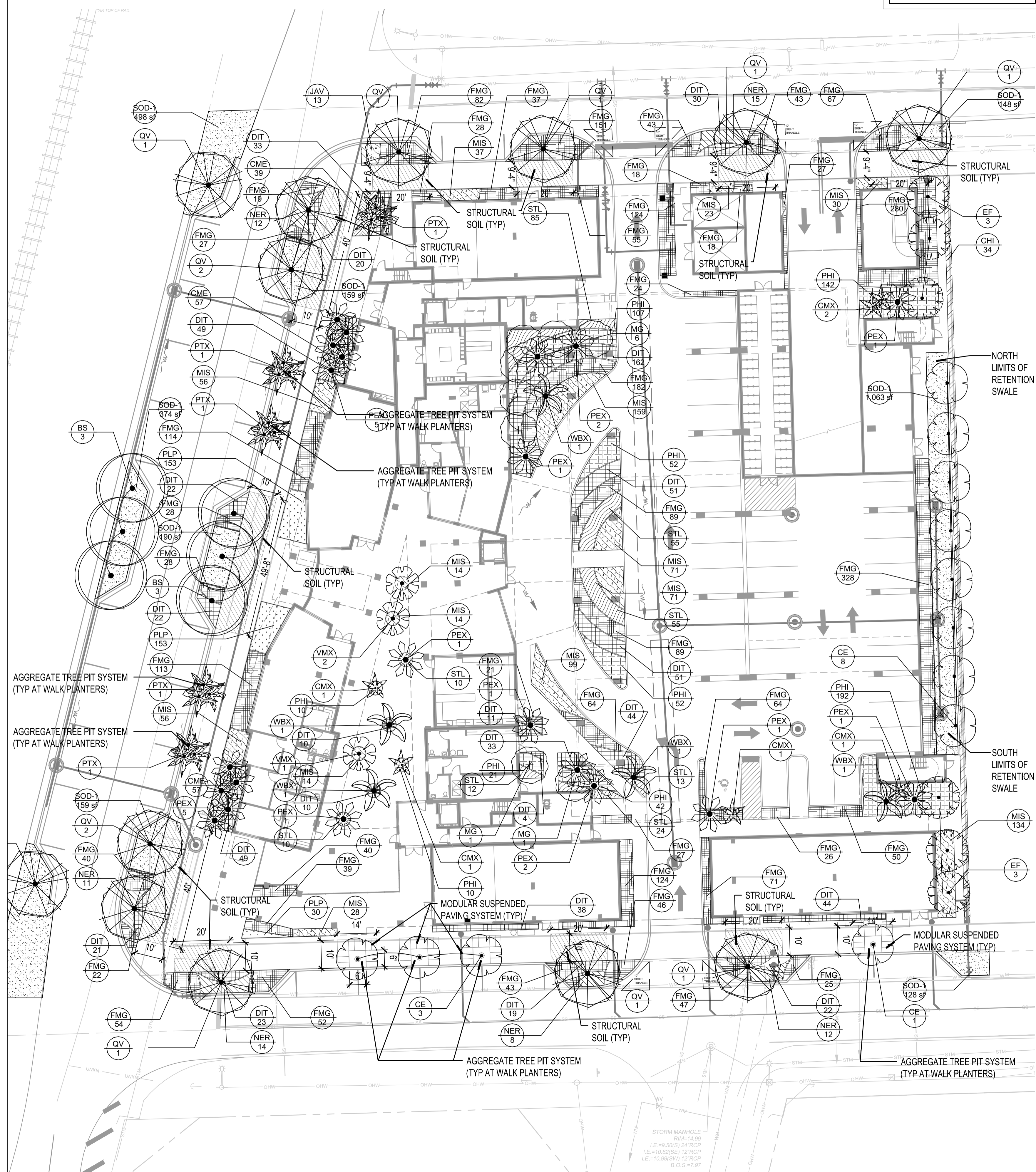
STREET LIGHTING ILLUMINATION PLAN
 SCALE: 1"=20'-0"



Exhibit D

KEY:

- STRUCTURAL SOIL SEE DETAIL 6 / LA-2
- MODULAR SUSPENDED PAVING SYSTEM SEE DETAIL 5 / LA-2



PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	REMARKS	NATIVE	NATIVE % OF TOTAL REQ. TREES (53 req. trees)
	BS	6	Bursera simaruba	Gumbo Limbo	4" CAL., 16' HT X 8' SPRD		YES	6%
	CE	12	Conocarpus erectus	Green Buttonwood	4" CAL., 16' HT X 8' SPRD		YES	26%
	EF	6	Eugenia foetida	Spanish Stopper	2.5" CAL., 12' HT X 4' SPRD		YES	11%
	MG	8	Magnolia virginiana	Sweetbay Magnolia	3" DBH, 14' Ht. x 6' Sprd.		YES	15%
	QV	13	Quercus virginiana	Live Oak	4" CAL., 16' HT X 8' SPRD		YES	21%
PALM TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATION	REMARKS		
	CMX	6	Caryota mitis	Fishtail Palm	14" O.A. HT.	Full to Ground Min. 5 Trunks		9%
	PTX	5	Ptychosperma elegans	Solitaire Palm	3" CAL., 22' OA HT	Triple Trunk		17%
	PEX	21	Ptychosperma elegans	Solitaire Palm	3" CAL., 22'-25' OA HT	Staggered Heights		13%
	VMX	3	Veitchia montgomeryana	Montgomery Palm	3.5-4" Cal., 16-18' HT X 9' SPRD			16%
	WBX	5	Wodyetia bifurcata	Foxtail Palm	3.5-4" Cal., 16-18' HT X 9' SPRD			3%
SHRUB AREAS	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS	
	CME	153	Carissa macrocarpa 'Emerald Blanket'	Emerald Blanket Carissa	12" HT. X 12" SPRD.	18" o.c.		
	CHI	34	Chrysobalanus icaco 'Redtip'	Red Tip Cocoplum	48" X 24" SPREAD	48" o.c.	YES	
	DIT	768	Dianella tasmanica	Flax Lily	18" HT X 18" SPRD.	18" o.c.		
	FMG	2,869	Ficus microcarpa 'Green Island'	Green Island Ficus	12" HT. X 12" SPRD	15" o.c.		
	JAV	13	Jasmine volubile	Wax Jamine	18" HT X 18" SPRD.	24" o.c.		
	MIS	806	Microsorium scolopendrum	Wart Fern	12" HT. X 12" SPRD	15" o.c.		
	NER	72	Nerium oleander 'Petite Pink'	Petite Pink Oleander	24" HT. X 24" SPRD.	30" o.c.		
	PLP	336	Pentas lanceolata 'Purple'	Dwarf Purple Pentas	12" HT. X 12" SPRD	12" o.c.	PURPLE	
	PHI	628	Philodendron x xanadu	Philodendron	12" HT. X 12" SPRD	18" o.c.		
	STL	264	Sansevieria trifasciata 'Laurentii'	Sansevieria	18" HT X 12" SPRD.	18" o.c.	24"-30" OA	
SOD/SEED	CODE	QTY	BOTANICAL NAME	COMMON NAME	SPECIFICATIONS	SPACING	REMARKS	
	SOD-1	3,494 sf	Stenotaphrum secundatum 'Floritam'	Floritam St. Augustine Sod	sod			

75% OF REQUIRED TREES ARE NATIVE TREES
TREES WEST OF FLAGLER NOT INCLUDED

DATE:	05-03-16
SCALE:	1"=20'-0"
DESIGN BY:	DJS
DRAWN BY:	DJS
CHECKED BY:	JDH
APPROVED BY:	DJS

HERITAGE AT POMPANO STATION
POMPANO BEACH, FLORIDA

PREPARED FOR:
.....

CRAVEN - THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3963 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL.: (954) 739-6400
FAX: (954) 739-6409
FLORIDA LICENSED ENGINEERS, SURVEYORS & MAPPING BUSINESS NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C000114
CRAVEN - THOMPSON AND ASSOCIATES, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN CONSENT OF CRAVEN - THOMPSON AND ASSOCIATES, INC.

Douglas J. Schultz
s.j. Schultz
Douglas J. Schultz
Florida RLA 6666937

ACT NO. 0090
LA-1
SHEET 1 OF 3

Landscape Data Table

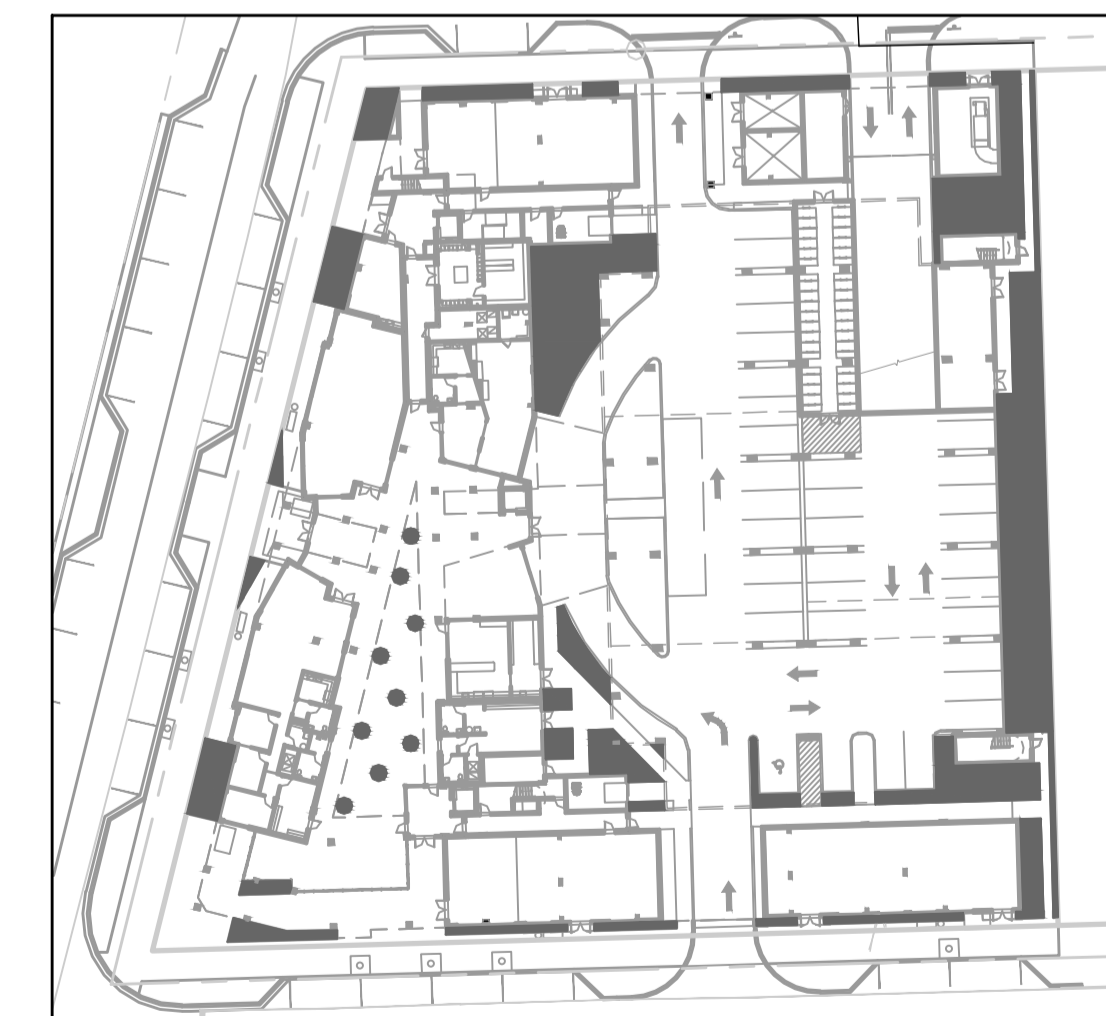
Zoning: TO Transit Oriented
Land Use: DPTOC

Project Size: 64,877 sf (1.49 AC)

	Required	Provided
155.3708.G.3 Pervious Area:	10% (6,488 sf)	10.7% (6,953sf)
155.5203.C Minimum Site Landscaping:		
Trees (1 per 3,000 sf of lot area)	22 Trees	23 Trees
Shrubs (5 per 3,000 sf of lot area)	109 Shrubs	Provided
155.5203.D Vehicular Use Area:		
East 100' of Parking		
Trees (1 per 40 lf)	3 Trees	3 Trees
Continuous hedge	Required	Provided
Perimeter Landscape Strip Width 10'	Required	10'
155.5203.E Building Base Plantings		Provided
155.5203.F.3 Perimeter Buffer:		
East 285' (1 tree per 30 lf)	10 Trees	11 Trees
East 285'(continuous 4' hedge)	N/A	Provided
East 285'(1 shrub per 10 lf)	29 Shrubs	Provided
Street Trees		
North 168' (1 tree per 40 lf)	4 Trees	4 Trees
West 276' (1 tree per 40 lf)	7 Trees	7 Trees
South 266' (1 tree per 40 lf)	7 Trees	7 Trees

Note: Distances shown are without drive access aisles.

Totals: 53 Trees 55 Trees
Note: Provided Trees include 29 Native Canopy Trees and 13 Native Understory Trees
46 Non Native Palms (counted at 3:1) provides the additional 15 trees



Pervious Area Diagram

***A PRE-CONSTRUCTION MEETING WITH THE URBAN FORESTER IS REQUIRED PRIOR TO ANY PLANT MATERIAL BEING INSTALLED ON SITE.

ALL OVERHEAD UTILITIES TO BE RELOCATED AND UNDERGROUND PER FPL COMPLIANCE.***

PER CITY ORDINANCES 50.02(A)(4) AND 100.35(E), STREET TREES SHALL NOT BE PLACED ON TOP OF OR 5' OF EITHER SIDE OF ANY CITY OWNED UTILITY INFRASTRUCTURE.

NO TREES, SHRUBBERY OR OBSTRUCTION SHALL BE PLACED WITHIN A 3' PERMANENTLY MAINTAINED AND OWNED SEWER LATERAL CLEANOUT OR WATER &/OR REUSE METER+

SCALE: 1"=20'-0"

P&Z

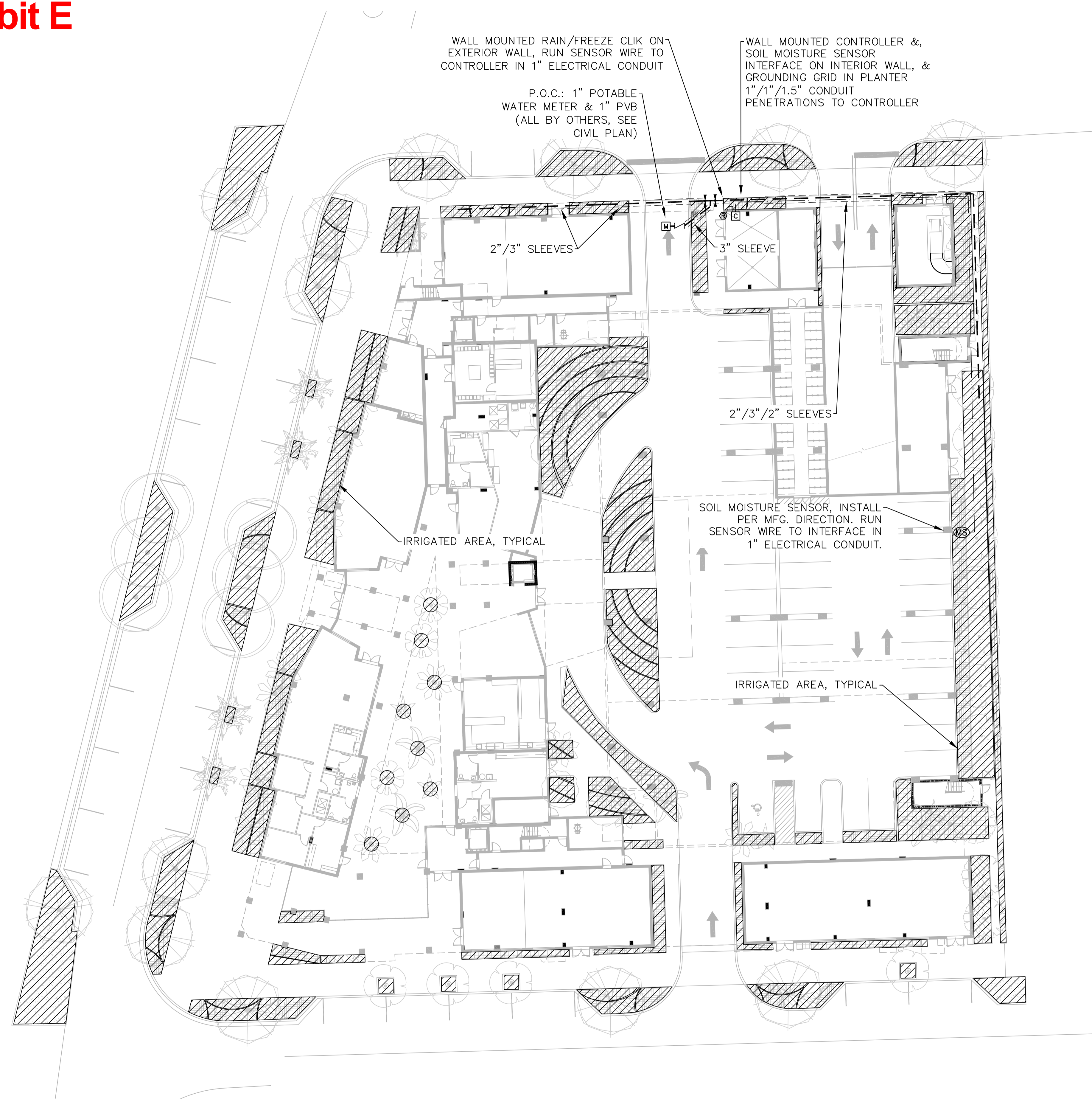
PZ16-12000001
MAY 25 2016

Exhibit E

Masuen Consulting LLC
 Water Resource Consultants
 32801 Hwy 441 North, #293
 Okeechobee, FL 34951
 Telephone (866) 928-1533
 Fax (800) 928-1534

PROUDLY DESIGNED AND PRODUCED IN THE USA

DATE:	5/3/16
SCALE:	1" = 20'-0"
DESIGN BY:	TM
DRAWN BY:	TM
CHECKED BY:	JJ
APPROVED BY:	TM



IRRIGATION LEGEND			
QTY	SYM	DESCRIPTION	DET.
		STATION NUMBER	
01		GALLONS PER MINUTE-CATALOG FLOW	
2.0	80	VALVE SIZE	
1	M	LINE SIZE BY 2" TAP, MAXIMUM 10' OF 2" POLYETHYLENE SERVICE LINE AND A PROPOSED 1" POTABLE WATER METER (BY OTHERS, SEE CIVIL PLANS)	A
1	V	1" FEBCO 765 PRESSURE VACUUM BREAKER (BY OTHERS, SEE CIVIL PLANS)	A
		RAIN BIRD PEB SERIES RCV (SIZED PER PLAN) WITH A NIBCO T-113 GATE VALVE IN A CARSON 1220 JUMBO VALVE BOX WITH BOLT DOWN LID. (QTY TO BE DETERMINED)	B1
1	C	RAIN BIRD ESP-LXME WALL MOUNT 8 STATION CONTROLLER, GROUNDING GRID, AND BASELINE WATERTEC S100 SOIL MOISTURE SENSOR INTERFACE MOUNTED ADJACENT TO CONTROLLER	C1
1	R	EAVE MOUNTED HUNTER RAIN FREEZE CLIK SENSOR MODEL RFC	C2
1	MS	BASELINE WATERTEC S100 SOIL MOISTURE SENSOR bISENORb INSTALLED ON SITE PER MANUFACTURER'S RECOMMENDATIONS. COMMUNICATION WIRE TO BE CONNECTED TO SMS INTERFACE AT CONTROLLER VIA 1" CONDUIT	C3
2		NIBCO T-113 BRASS MAINLINE ISOLATION VALVE (LINE SIZE) IN A CARSON 1419 VALVE BOX.	D
		CLASS 200 PVC LATERAL LINE W/ SCH 40 SOLVENT-WELD PVC FITTINGS (SIZE PER PLAN, MINIMUM PIPE SIZE SHALL BE 3/4", NO 1/2" PIPES PERMITTED)	L
		1-1/2" SCHEDULE 40 SOLVENT-WELD PVC MAINLINE W/SCH 40 SOLVENT-WELD PVC FITTINGS	L
		SCH 40 GRAY PVC CONDUIT W/SCH 40 SOLVENT-WELD PVC FITTINGS, SHOWN WHERE NOT WITH MAINLINE (SIZE PER PLAN)	
		CLASS 200 PVC SLEEVES W/SCH 40 SOLVENT-WELD PVC FITTINGS (SIZE PER PLAN)	O
QUANTITIES GIVEN ARE FOR CONTRACTOR CONVENIENCE ONLY. THE ACCURACY IS NOT GUARANTEED. ALL QUANTITIES SHALL BE VERIFIED.			
*DET (ON THE LEGEND) - THE LETTER IN THIS COLUMN DENOTES THE CORRESPONDING DETAIL SHOWN ON THE DETAIL SHEET.			

- NOTES:
- ALL TREES AND PALMS SHALL RECEIVE BUBBLERS.
 - ALL IRRIGATION WILL PROVIDE 100% HEAD-TO-HEAD COVERAGE WITH A MINIMUM 50% OVERLAP.

GRAVEN - THOMPSON AND ASSOCIATES, INC.
 ENGINEERS • PLANNERS • SURVEYORS
 3563 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
 FAX: (954) 739-6409
 TEL: (954) 739-6400

FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS NO. 271
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C020114

MAINTAINING THE INTEGRITY OF THE ENVIRONMENT AND THE WELL-BEING OF THE COMMUNITY IS THE POLICY OF GRAVEN THOMPSON & ASSOCIATES, INC. AND SHALL NOT BE COMPROMISED. © 2016

HERITAGE AT POMPAÑO STATION
 POMPAÑO BEACH, FLORIDA

PREPARED FOR:

IRRIGATION PLAN

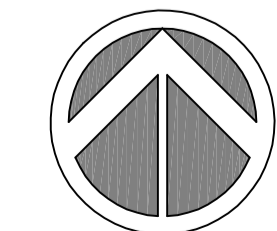
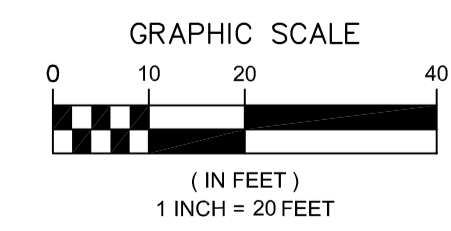
Douglas J. Schultz
 Florida RLA 6666937

CT NO.
 00090

IR-1
 SHEET 1 OF 3



MAINLINE LOCATION, WHERE SHOWN, IS FOR GRAPHIC CLARITY PURPOSES ONLY. INSTALL AT THE BACK OF CURB, FRONT OF WALK, BACK OF WALK, OR ADJACENT TO OTHER HARDSCAPES TO FACILITATE FUTURE LOCATION AND TO PROTECT FROM DAMAGE. ENSURE MAINLINE IS INSTALLED ACCORDING TO THE IRRIGATION SPECIFICATIONS AND DETAILS.



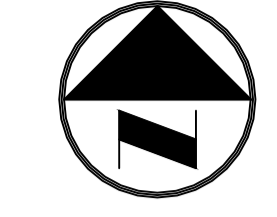
PROGRESS SUBMITTAL
 NOT FOR CONSTRUCTION

P&Z

PZ16-12000001
 MAY 25 2016

C:\MASUEN DESIGN FILES\GRAVEN THOMPSON\Heritage 2016_0331\05-0090-003-01-IR.dwg [R-1] May 02, 2016 12:33pm JUDY

Exhibit F



ALL PROPOSED AND EXISTING ELEVATIONS ARE SHOWN IN N.A.V.D. 1988 DATUM.

- NOTES:**
- ALL EXISTING DRAINAGE STRUCTURES AND PIPES SHALL BE CLEANED AND REPAIRED AS NECESSARY, PRIOR TO CONNECTING THEM WITH PROPOSED DRAINAGE FACILITIES.
 - THE CONTRACTOR IS RESPONSIBLE FOR PREPARING AND IMPLEMENTING A STORMWATER POLLUTION PREVENTION PLAN (SWPPP), INCLUDING BUT NOT LIMITED TO TURBIDITY BARRIERS, SILT FENCE, INLET PROTECTION, WATER MONITORING, ETC.
 - RAINWATER LEADER CLEANOUTS ARE SHOWN UP TO A POINT THAT IS 5' FROM THE EXTERIOR BUILDING WALL FOR CONTINUATION UPSTREAM OF THIS POINT REFER TO THE ARCHITECTURAL PLANS.

ABBREVIATIONS

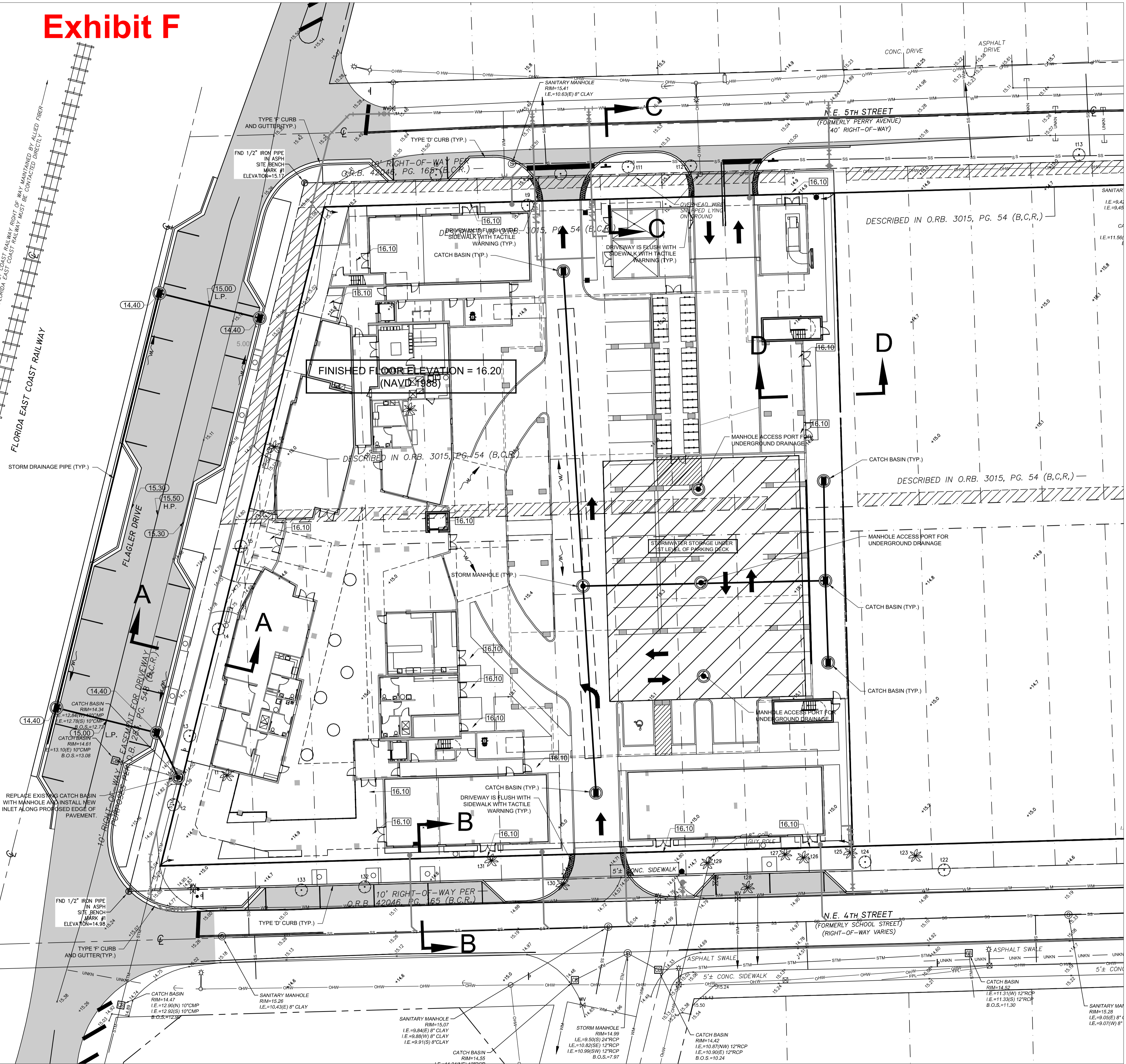
B.C.R.	BROWARD COUNTY RECORDS
BH	BUD HEIGHT
(C)	CALCULATED FROM PLAT
CATV	CABLE TELEVISION
C.B.	CATCH BASIN
C&G	CURB AND GUTTER
CONC.	CONCRETE
C.L.F.	CHAIN LINK FENCE
C.M.P.	CORRUGATED METAL PIPE
D.C.R.	DADE COUNTY RECORDS
ELEV.	ELEVATION
IRR	IRRIGATION
I.E.	INVERT ELEVATION
LB	LICENSED BUSINESS
MH	MANHOLE
OHW	OVERHEAD WIRES
O.R.B.	OFFICIAL RECORDS BOOK
P.B.	PLAT BOOK
P.G.	PAGE
P.R.M.	4"x4" CONCRETE MONUMENT
W/LB271	DISC
R.C.P.	REINFORCED CONCRETE PIPE
R.E.	RIM ELEVATION
RW	RIGHT-OF-WAY
(TYP.)	TYPICAL

EXISTING LEGEND

—TOP	TOP OF BANK	⊠	TRAFFIC SIGNAL PULLBOX
—TOE	TOE OF SLOPE	⊠	HOSE BIBB
—OHW	OVERHEAD WIRES	⊠	TELEPHONE MANHOLE
—FM	FORCE MAIN	⊠	GAS VALVE
—CLF	CHAIN LINK FENCE LINE	⊠	CATV PEDISTAL
—G	GUARDRAIL	⊠	FORCE MAIN VALVE
⊠	PALM TREE	⊠	ANCHOR
⊠	SHADE TREE	⊠	BOLLARD
⊠	SHADE TREE	⊠	WATER VALVE
⊠	PALM TREE	⊠	WOOD POWER POLE
⊠	CONCRETE LIGHT POLE	⊠	MAILBOX
⊠	CONCRETE POST	⊠	CATCH BASIN
⊠	CONCRETE POWER POLE	⊠	SANITARY MANHOLE
⊠	ELECTRICAL PANEL	⊠	SIGN
⊠	ELECTRICAL PULL BOX	⊠	MONITORING WELL
⊠	FIRE HYDRANT	⊠	STORM MANHOLE
⊠	SANITARY SEWER CLEANOUT	⊠	TRAFFIC POLE
⊠	IRRIGATION CONTROL VALVE	⊠	TRANSFORMER PAD
⊠	CONCRETE PARKING LIGHT 1' BULB	⊠	TRANS
+10.0	SPOT GROUND ELEVATION		
+10.0	SPOT HARD SURFACE ELEVATION		

PROPOSED DRAINAGE LEGEND

⊠	INDICATES MANHOLE
⊠	INDICATES CATCH BASIN
⊠	INDICATES YARD DRAIN
C.O.	INDICATES CLEANOUT
X-X	INDICATES STORM DRAIN STRUCTURE TYPE
R.E.=	INDICATES STORM DRAIN RIM ELEVATION
I.E.=	INDICATES STORM DRAIN INVERT ELEVATION
INDICATES STORM DRAIN STRUCTURE NUMBER	
PRB	INDICATES POLLUTION RETARDANT BAFFLE
5.35	INDICATES PAVEMENT SPOT ELEVATION
5.35	INDICATES CONCRETE SPOT ELEVATION
FLOW ARROW	
F.F.E.L.	INDICATES FINISH FLOOR ELEVATION
L.F.	INDICATES LINEAR FOOTAGE OF PIPE
INDICATES ASPHALT PAVEMENT	
INDICATES CONCRETE	



DATE: 01-18-15
 SCALE:
 DESIGN BY: CEE
 DRAWN BY: CEE
 CHECKED BY: CEE
 APPROVED BY: CEE

DESCRIPTION:

DATE: BY: DATE: BY: DATE: BY:

HERITAGE AT POMPANO STATION
 CITY OF POMPANO BEACH, FLORIDA
 HERITAGE AT POMPANO HOUSING PARTNERS, LP
 PAVING, GRADING AND DRAINAGE PLAN

PREPARED FOR:

Chad E. Edwards, P.E.
 Digitally signed by Chad E. Edwards, P.E.
 DN: cn=Chad E. Edwards, o=Craven Thompson and Associates, Inc., ou, email=cedwards@craven-thompson.com, c=US
 Date: 2016.05.04 10:24:18 -0400

Chad Everett Edwards
 Florida P.E. No. 59306
 May 4, 2016

PROJECT NO. 05-0990-003-01

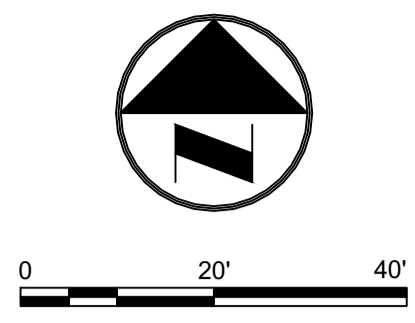
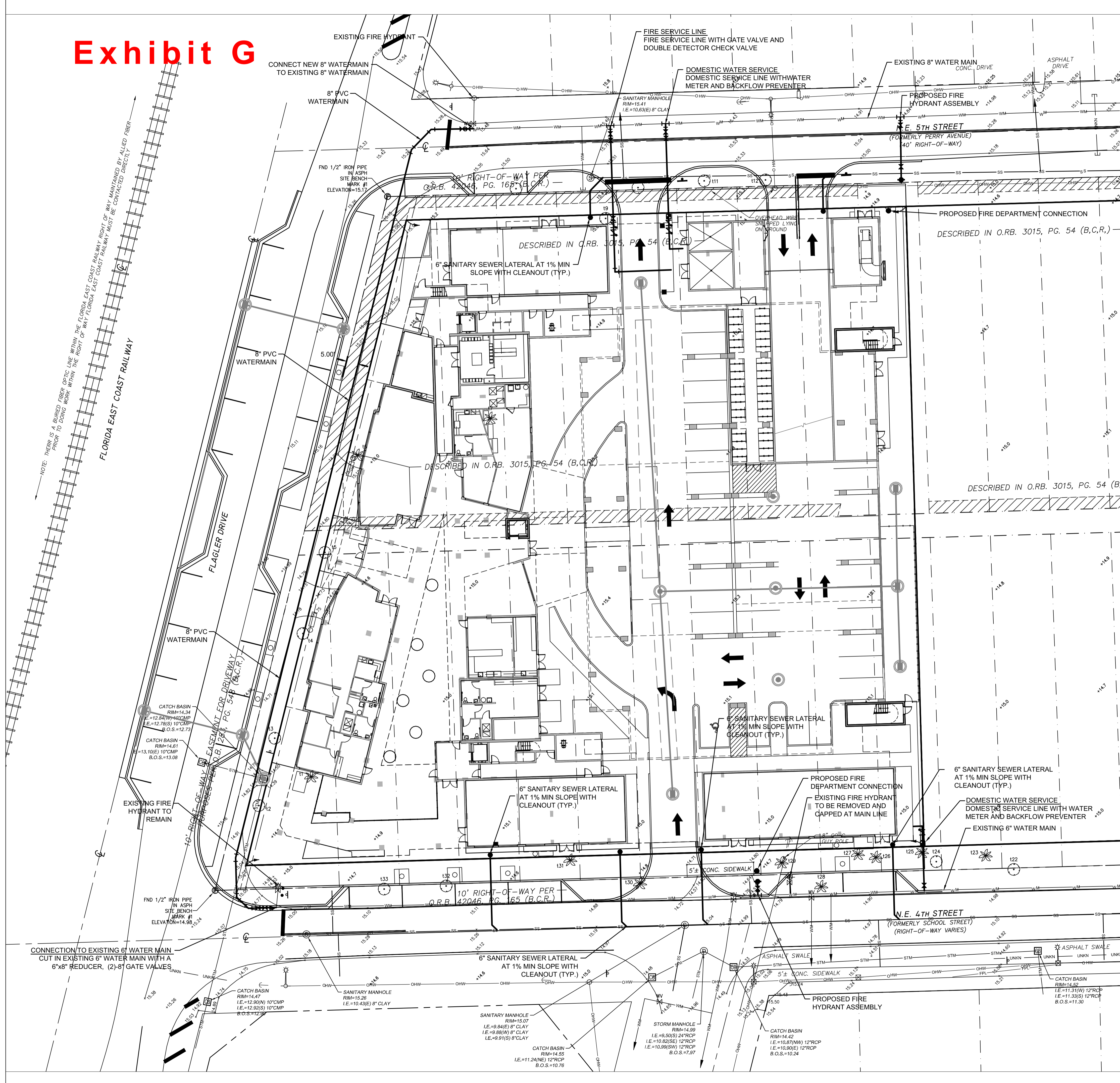
Sunshine P&Z
 Always call 811 two full business days before you dig.

PZ16-1200001
 MAY 25 2016

SHEET 4 OF 15

N:\dwgs\proj\05-0990-003-01 Heritage at Pompano Station\Drawings\05-0990-PGD.dwg [C-4] May 04, 2016 10:23am CEDWARDS

Exhibit G



FIRE LINE NOTES:

1. ALL PROPOSED FIRE LINES, I.E., MAINS, FIRE SERVICES, "SIAMESE" CONNECTION LINES ETC. TO BE DESIGNED AND INSTALLED BY STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 63.33.
2. ALL FIRE LINES TO BE INSPECTED BY CERTIFIED FIRE LINE INSPECTORS.
3. THE STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
4. SIAMESE CONNECTIONS TO BE INSTALLED WITH SINGAGE INDICATING BUILDING ADDRESS SERVED BY CONNECTION.

NOTES:

1. GRAVITY SEWER LINE IN PUBLIC RIGHTS-OF-WAY SHALL REMAIN IN SERVICE AT ALL TIMES DURING CONSTRUCTION.
2. ALL VALVES, BOXES AND STRUCTURES SHALL BE ADJUSTED TO FINISHED GRADE.
3. ALL EXISTING UTILITIES MAY NOT BE SHOWN ON THIS PLAN.
4. ALL EXISTING SEWER CONNECTION ELEVATIONS SHALL BE VERIFIED PRIOR TO START OF CONSTRUCTION.
5. WATER SERVICE MAINS 2" OR GREATER, AND GREATER THAN 50' IN LENGTH, MUST HAVE SAMPLE POINT AT TERMINATION.
6. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF TRAFFIC ALONG PUBLIC ROADS. CONTRACTOR TO SCHEDULE LANE CLOSURES WITH THE CITY OF POMPANO BEACH.
7. WATER SERVICES SHALL HAVE GATE VALVES AT EACH CONNECTION POINT.
8. DOUBLE SERVICES SHALL BE 2" PE.
9. SINGLE SERVICES SHALL BE 1" PE.
10. ALL UTILITIES SHALL CONFORM TO CITY OF POMPANO BEACH STANDARDS.
11. PROPOSED WATER MAINS AND SERVICES SHALL BE MAINTAINED BY THE CITY OF POMPANO BEACH AFTER CONSTRUCTION.
12. THE ON-SITE SANITARY SEWER SYSTEM SHALL BE PRIVATELY MAINTAINED PAST THE CLEANOUT AT THE R/W LINE.
13. THE SEWER SYSTEM WITHIN THE R/W SHALL BE MAINTAINED BY THE CITY OF POMPANO BEACH.
14. WATER SERVICES SHALL BE PER THE CITY OF POMPANO BEACH STANDARD DETAILS. NO DOUBLE TAPS ARE ALLOWED. CONTRACTOR TO PROVIDE SINGLE TAPS AND THEN MAY PUT TWO SERVICE LINES WITHIN THE SAME SLEEVE PER CITY DETAIL.
15. EXISTING SERVICES NOT BEING USED BY THE DEVELOPMENT WITHIN THE R/W SHALL BE CAPPED.

EXISTING LEGEND

---	PROPERTY LINE	⊙	SANITARY MANHOLE
---	STM	○	SANITARY CLEANOUT
---	SAN	⊠	CATCH BASIN
---	SAN	⊙	STORM MANHOLE
---	WM	⊙	POWER POLE
---	GAS	⊙	POLE ANCHOR
---	CHAIN LINK FENCE	⊙	SPOT ELEVATION
⊙	FIRE HYDRANT		
⊙	GATE VALVE		
⊙	PLUG		
⊙	SIAMESE FIRE CONNECTION		
⊙	WATER METER		
⊙	REDUCER		
⊙	PLUG		

PROPOSED WATER & SEWER LEGEND

⊙	FIRE HYDRANT ASSEMBLY	⊙	SANITARY SEWER MANHOLE
⊙	GATE VALVE	○	CLEANOUT
⊙	WATER METER	---	SANITARY (SINGLE) SERVICE
⊙	SAMPLING POINT	---	SANITARY (DOUBLE) SERVICE
⊙	REDUCER	⊙	SANITARY SEWER STRUCTURE #
⊙	BACKFLOW PREVENTER	⊙	SANITARY SEWER RIM ELEVATION
⊙	SIAMESE FIRE CONNECTION	⊙	SANITARY SEWER INVERT ELEVATION
⊙	PLUG	⊙	SANITARY SEWER MAINTENANCE ACCESS
⊙		⊙	STRUCTURE FLOW DIRECTION

ALL PROPOSED AND EXISTING ELEVATIONS ARE SHOWN IN N.A.V.D. 1988 DATUM.

Chad E. Edwards, P.E.
Edwards, P.E.
ds, P.E.

Always call 811 two full business days before you dig.

PROJECT NO. 00-003-01
SHEET 5 OF 15

**HERITAGE AT POMPANO STATION
CITY OF POMPANO BEACH, FLORIDA**

PREPARED FOR:
HERITAGE AT POMPANO HOUSING PARTNERS, LP

WATER AND SANITARY SEWER PLAN

GRAVEN - THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3563 N.W. 63RD STREET, FORT LAUDERDALE, FLORIDA 33309
TEL: (954) 738-0400
FAX: (954) 738-0400
FLORIDA LICENSED ENGINEERS, SURVEYORS & PLANNERS LICENSE NO. 271
FLORIDA LICENSED ARCHITECTURE LICENSE NO. 000017

DATE:	01-18-15
SCALE:	CEC
DESIGN BY:	CEC
DRAWN BY:	CEC
CHECKED BY:	CEC
APPROVED BY:	CEC
DATE:	
BY:	
DESCRIPTION:	

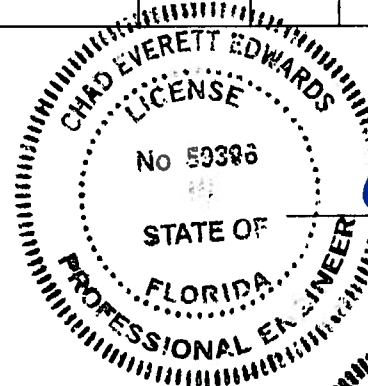
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**PZ16-1200001
MAY 25 2016**

FEC STREETScape IMPROVEMENTS - CONSTRUCTION COST ESTIMATE

Exhibit H


FEC CONSTRUCTION					
ITEM #	DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
1	Remove & Dispose Existing Asphalt Pavement Cross Section	1	LS	\$3,000.00	\$3,000.00
2	Furnish & Place 1" Asphalt Overlay Type SP-9.5 Friction Course	1,300	SY	\$9.00	\$11,700.00
3	Furnish & Place 1" Asphalt Overlay Type SP-9.5 Structural Course	1,300	SY	\$11.00	\$14,300.00
4	Furnish & Place 8" Limerock Base (LBR 100)	1,300	SY	\$10.00	\$13,000.00
5	Furnish & Place 12" Stabilized Subgrade (LBR 40)	1,300	SY	\$1.50	\$1,950.00
6	Furnish & Install FDOT Type 'F' Curb	680	LF	\$15.00	\$10,200.00
7	Pavement Marking and Signage	1	LS	\$2,500.00	\$2,500.00
8	Landscaping	1	LS	\$17,640.50	\$17,640.50
9	Hardscape	1	LS	\$21,300.00	\$21,300.00
10	Street Lighting	10	EA	\$4,600.00	\$46,000.00
11	Furnish & Place 24" HDPE	406	LF	\$30.00	\$12,180.00
12	Furnish & Place Exfiltration Trench	180	LF	\$75.00	\$13,500.00
13	Furnish & Place Inlet Type 10"	6	EA	\$3,000.00	\$18,000.00
14	Furnish & Place Strom Manhole	1	EA	\$3,000.00	\$3,000.00
	SUBTOTAL:				\$188,270.50
	125% of SUBTOTAL	1	LS	125%	\$235,338.13



 CHAD EVERETT EDWARDS
 LICENSE
 No 59306
 STATE OF
 FLORIDA
 PROFESSIONAL ENGINEER
 [Signature]
 9-28-17
 Chad E. Edwards, P.E.
 Florida P.E. No. 59306



 REGISTERED LANDSCAPE ARCHITECT
 DOUGLAS J. SCHULTZ
 LA 666693
 STATE
 OF
 FLORIDA
 Douglas J. Schultz
 Florida LA 666693
 SEP 28 2017

	Craven Thompson and Associates, Inc. Engineers, Planners, Surveyors 3563 NW 53 rd Street, Fort Lauderdale, FL 33309 Florida Licensed Engineering, Surveying, & Mapping Business No. 271 Telephone: (954) 739-6400 Fax: (954) 739-6409
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