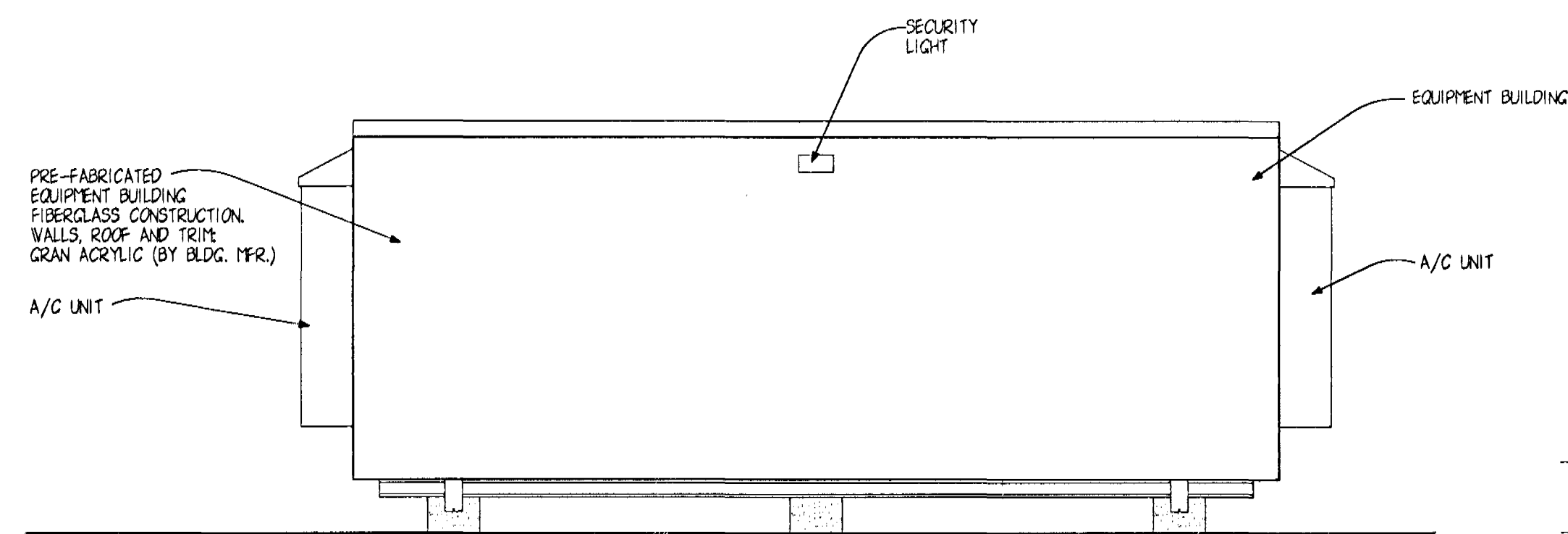
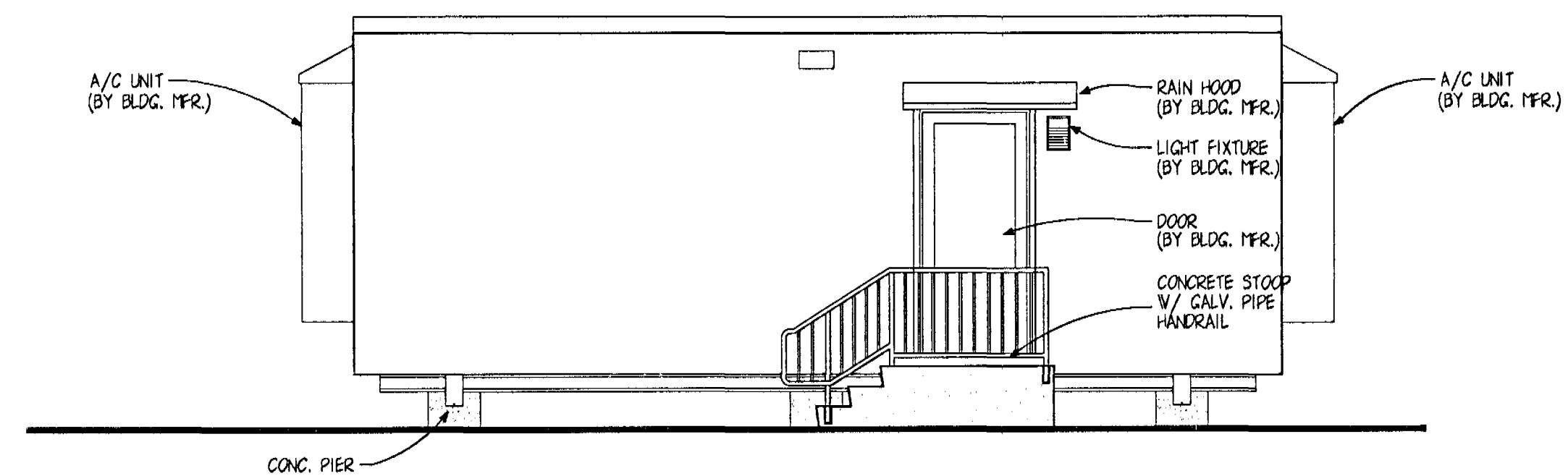


2 OVERALL WEST ELEVATION  
A-2 1/8" = 1'-0"

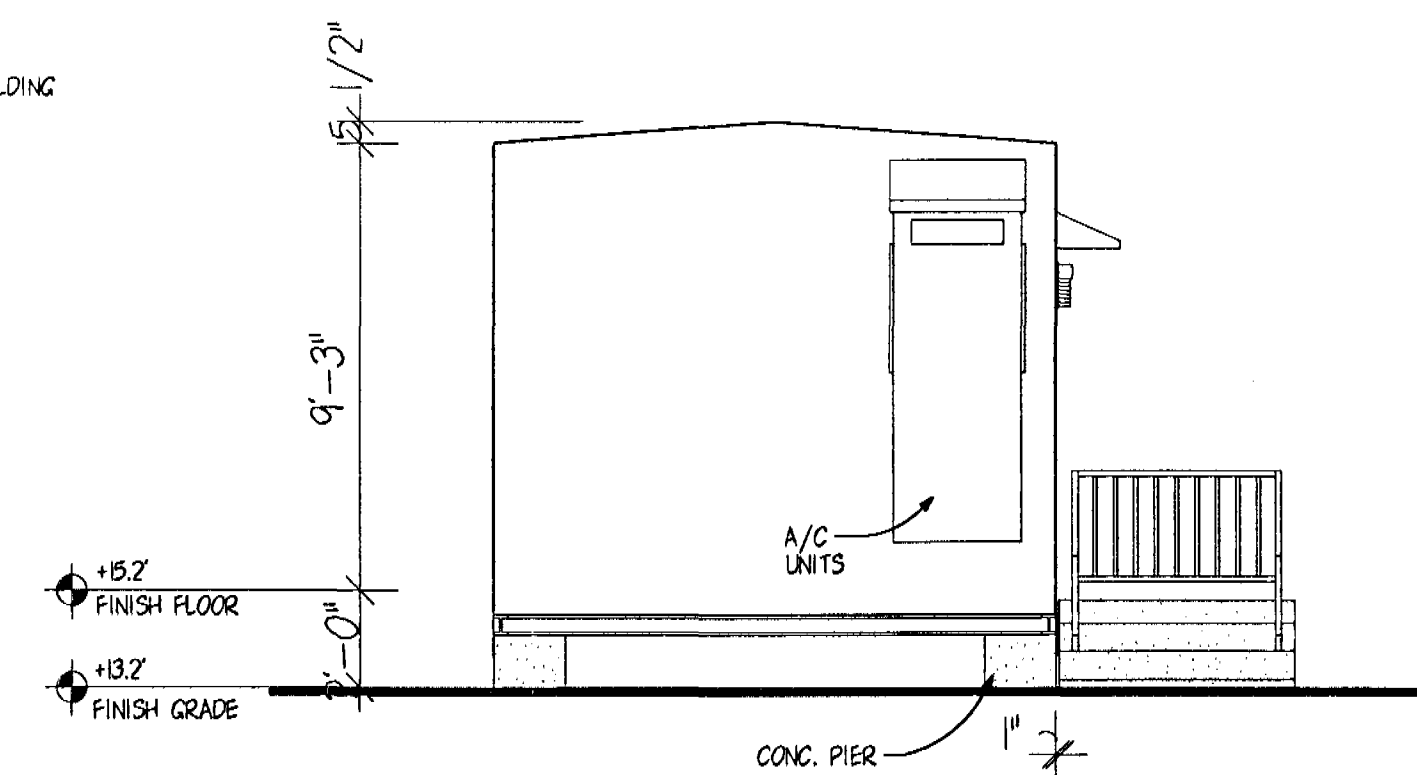
- NOTES:
- BELLSOUTH MOBILITY, INC. "STANDARD SPECIFICATION FOR ANTENNA SUPPORT TOWER & PREFABRICATED BUILDING" APPLY.
  - TOWER DRAWING IS SCHEMATIC. FOR ACTUAL CONFIGURATION REFER TO TOWER MANUFACTURER'S ASSEMBLY DRAWINGS.
  - PREFABRICATED EQUIPMENT SHELTER TO BE PROVIDED BY BELLSOUTH MOBILITY, INC. UNLOADED & SET ON FOUNDATION BY "PREFAB" MANUFACTURER. CONTRACTOR IS TO BE PRESENT AT INSTALLATION.
  - CHAIN LINK FENCE NOT SHOWN FOR CLARITY.



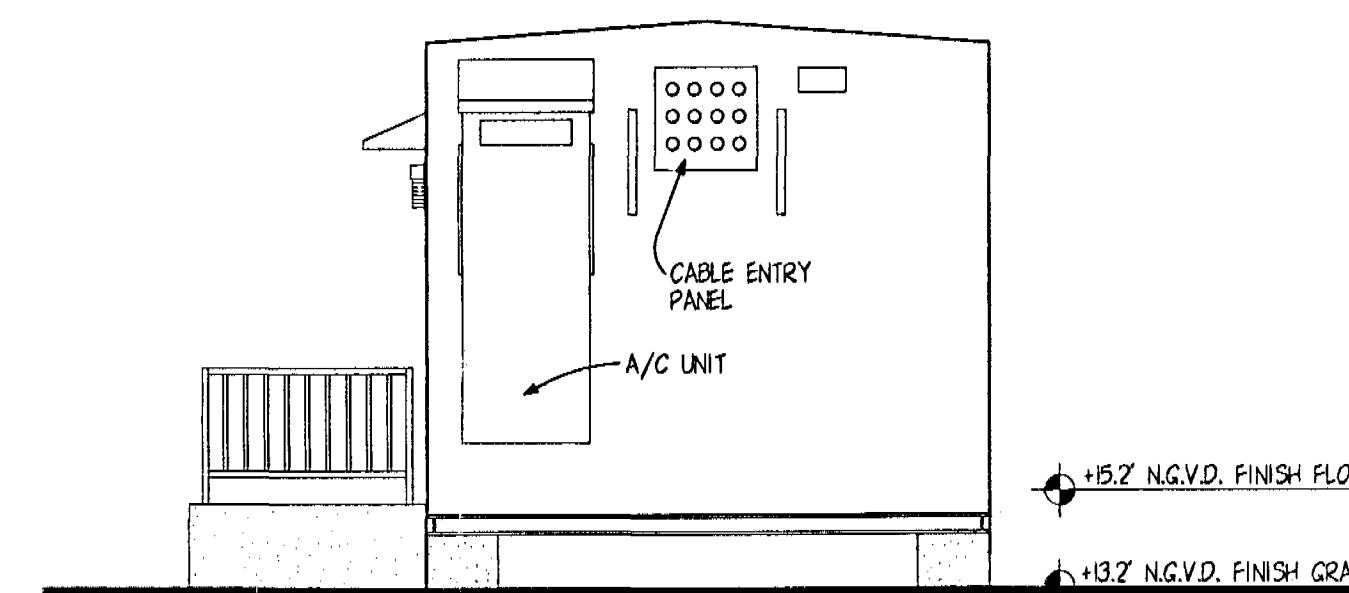
1 EAST ELEVATION  
A-3 1/4" = 1'-0"



3 WEST ELEVATION  
A-3 1/4" = 1'-0"



2 NORTH ELEVATION  
A-3 1/4" = 1'-0"



4 SOUTH ELEVATION  
A-3 1/4" = 1'-0"

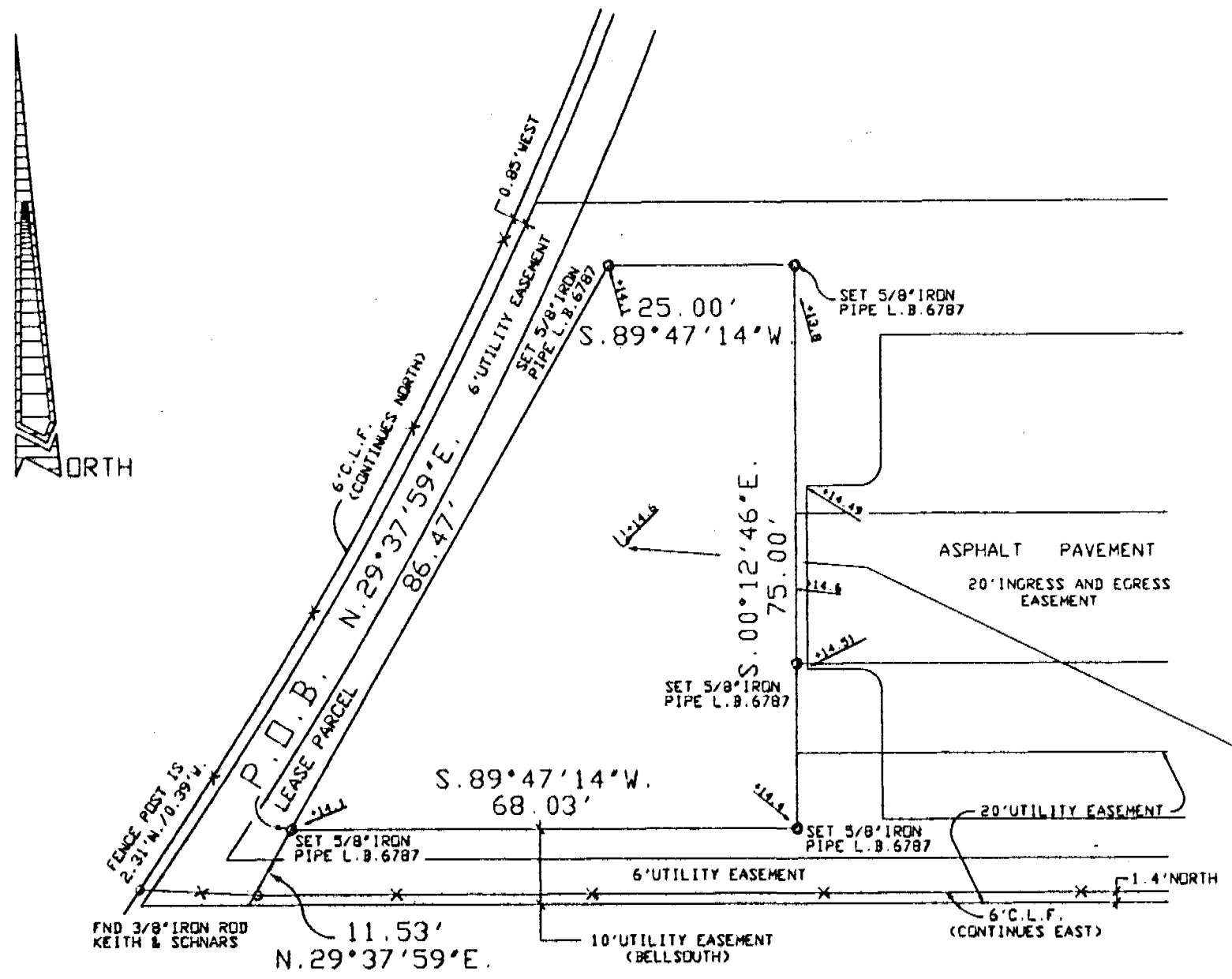
WAYNE E. VENSEL  
ARCHITECT, INC.  
AR 7842  
AT 00034  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143

BellSouth Mobility Inc  
CELLULAR SITE "CDON"  
POMPANO BEACH, FLORIDA

REVISIONS  
10/6/97

DATE: 11/1/96  
FILE: BE2A2  
JOB: BE-12  
SHEET 5  
A-2  
OF 5





LEASE PARCEL DETAIL

PARENT TRACT:

All of the above lands lying and being in Broward County, Florida and containing 10.325 acres more or less.

LEASE PARCEL:

COMMENCE at the Southwest Corner of said Tract 'G'; thence N.89°47'14"E., along the South Line of said Tract 'G', for 14.42 feet; thence N.29°37'59"E., for 11.53 feet; along the BEGINNING of the hereinafter described Parcel; thence continue N.29°37'59"E. for 86.00 feet; thence N.89°47'14"W., along a line 85.00 feet North of and parallel with the South Line of said Tract 'G', for 25.00 feet; thence S.00°12'46"E. for 75.00 feet; thence S.89°47'14"W., along a line 10.00 feet North of and parallel to the South Line of said Tract 'G', for 68.03 feet to the POINT OF BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.080 acres more or less.

## INGRESS &amp; EGRESS EASEMENT:

[illegible]

All of the above lands lying and being in Broward County, Florida and containing 0.802 acres more or less.

UTILITY EASEMENT:

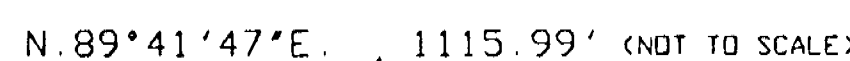
A portion of Tract 'G', of 'POMPANO INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE, at the Southwest Corner of said Tract "G", thence N. 89° 47' 14" E., along the South Line of said Tract "G", for 14.42 feet to the POINT of BEGINNING of the hereinafter described Easement; thence N. 29° 37' 59" E., for 10.00 feet to the POINT of BEGINNING of said Easement; thence S. 89° 47' 14" E., along the South Line of said Tract "G", for 68.03 feet; thence N. 01° 10' 30" E., for 10.00 feet to the POINT of BEGINNING of said Easement; thence S. 89° 47' 14" E., along the South Line of said Tract "G", for 1754.39 feet to a point on the East Line of said Tract "G", said point being the POINT of BEGINNING of said Easement; thence S. 89° 47' 14" E., along the arc of said curve, having a radius of 549.00 feet, for a chord bearing of S. 20° 44' 12" E. and a central angle of 2° 58' 58", for an arc distance of 21.36 feet to the POINT of BEGINNING of said Easement; thence S. 89° 47' 14" E., along the South Line of said Tract "G", for 1835.64 feet to the POINT of BEGINNING of said Easement.

All of the above lands lying and being in Broward County, Florida and containing 0.824 acres more or less.

NOTES :

1. BENCHMARK: Broward County Engineering Division Benchmark No.2601, Section 21, Township 48 South Range 42 East, Pompano Beach, Canal crossing Sample Road, 0.297 miles West of Powerline Road. Benchmark is a concrete cap on header culvert on South side of the road. ELEVATION = +14.83 N.G.V.D.
2. SKETCH OF SPECIFIC PURPOSE SURVEY: This survey was performed for design purposes, showing the location, elevations and features of the Lease Parcel shown hereon. This is a Boundary Survey of the Lease Parcel (Globe of Part 1).
3. BEARINGS: shown hereon are based on a bearing of N.00°19'17". along the West Line of the NE 1/4 of Section 21, Township 48 South, Range 42 East as recorded in the Plat of POMPANO INDUSTRIAL PARK THIRD ADDITION, located in the same quarter section of the State Book 111, Page 33 of the Public Records of Broward County, Florida.
4. LATITUDE AND LONGITUDE: shown hereon are based on the Flat Plane Coordinate System - Transverse Mercator - Florida East Zone, National Geospatial Survey Datum and are accurate to 1/10 second (plus or minus) as determined by GPS observations observed.



PARENT TRACT DETAIL

G.P.S. LOCATION:  
(CENTER LEASE PARCEL)  
NAD 1927 DATUM:  
LATITUDE = 26°16'13.7"N  
LONGITUDE = 80°09'57.1"W  
NAD 1983 DATUM:  
LATITUDE = 26°16'15.0"N  
LONGITUDE = 80°09'56.3"W  
ELEVATION = +13.2 N.G.V.D.

TYPE OF SURVEY: SPECIFIC PURPOSE BOUNDARY  
PREPARED FOR: BELLSOUTH MOBILITY  
3201 CONGRESS AVENUE, BOCA RATON  
LEITER, PEREZ & ASSOCIATES, INC.  
LAND DEVELOPMENT CONSULTANTS  
CIVIL ENGINEERS - LAND SURVEYORS, LB 6787  
LAND PLANNERS - ENVIRONMENTAL  
160 N.W. 176TH ST., SUITE 403, MIAMI, FLORIDA 33169  
PHONE: SADE (305) 441-1100 (954) 324-2202  
WWW: WWW.LEITERPEREZ.COM

[illegible]

**NOTES:**

1. CELEBRATIONS WHEN SHOWN REFER TO THE NATIONAL GENETIC VERTICAL DATUM (IN G.V.D.) 1989.
2. THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTING AND/OR FOUNDATIONS UNLESS OTHERWISE NOTED.
3. THE LAYERS SHOWN HEREIN HAVE NOT BEEN ABSTRACTED BY THIS FIRM REGARDING MATTERS OF INTEREST OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS-OF-WAY, EASEMENTS, ETC.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO PARTY AND/OR PARTIES INDICATED HEREON AND IS TRANSFERABLE TO ANY OTHER PARTY.
5. IRON PIPES AND NAILS AND DISCS SET BY T-1 FIRM, SET WITH CAP OR DISC WITH LB # 6787

**SURVEYOR'S CERTIFICATE:** WE HEREBY CERTIFY, THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS SURVEYORS AND DRAWN UNDER OUR DIRECTION, AND THAT THIS SURVEY MEETS THE "MINIMUM REQUIREMENTS" OF THE FLORIDA LAND SURVEYORS' BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 61017-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.007 FLORIDA STATUTES.

LEITER, PEREZ & ASSOCIATES, INC.

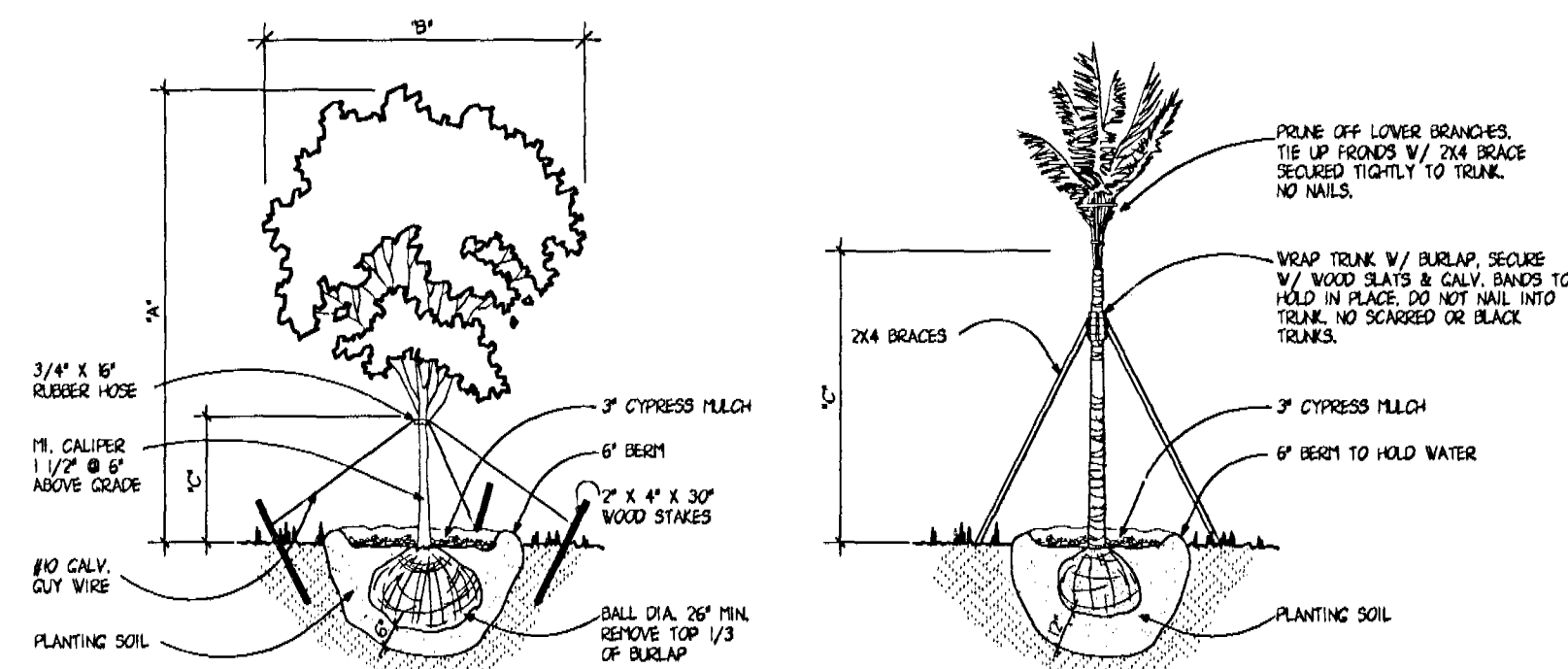
BY: STANLEY T. DLESIEWICZ VICE PRESIDENT  
Registered Professional Surveyor and Mapper #1633  
State of Florida

NOT VALID WITHOUT  
THE SIGNATURE AND THE  
ORIGINAL RAISED SEAL  
OF A FLORIDA LICENSE  
SURVEYOR AND MAPPER

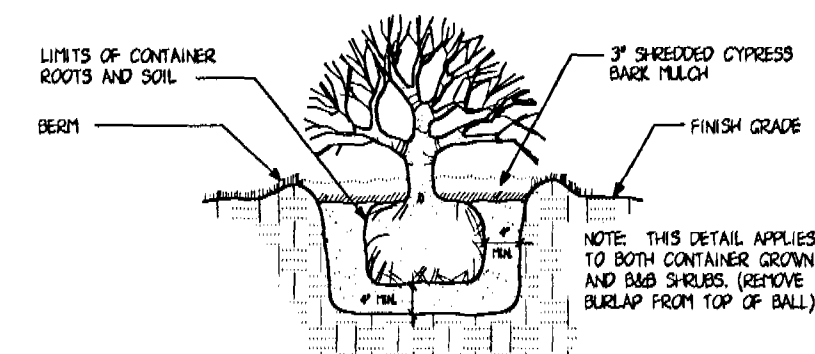


LANDSCAPE LEGEND								
KEY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HEIGHT A	SPREAD B	TRUNK C	QUANTITY	REMARKS
		QUERCUS VIRGINIANA	LIVE OAK	12'	6'	3"	5	
		CONOCARPUS ERECTA - SERICEA	SILVER BUTTONWOOD	4'-0"	FULL	-	77	PLANT 3'-0" O.C.
			PEAROCK					INSTALL OVER ONE LAYER PRO 5 NEED BARRIER AS PER BY DEWITT COMPANY 1-800-888-1669
			BAHIA SOD					SOLID SOD

OVERALL SITE AREA = 3,489 SF.  
SOD AREA REQUIRED = 3,489 SF. X 20% = 698 SF.  
PROVIDED = 798 SF.



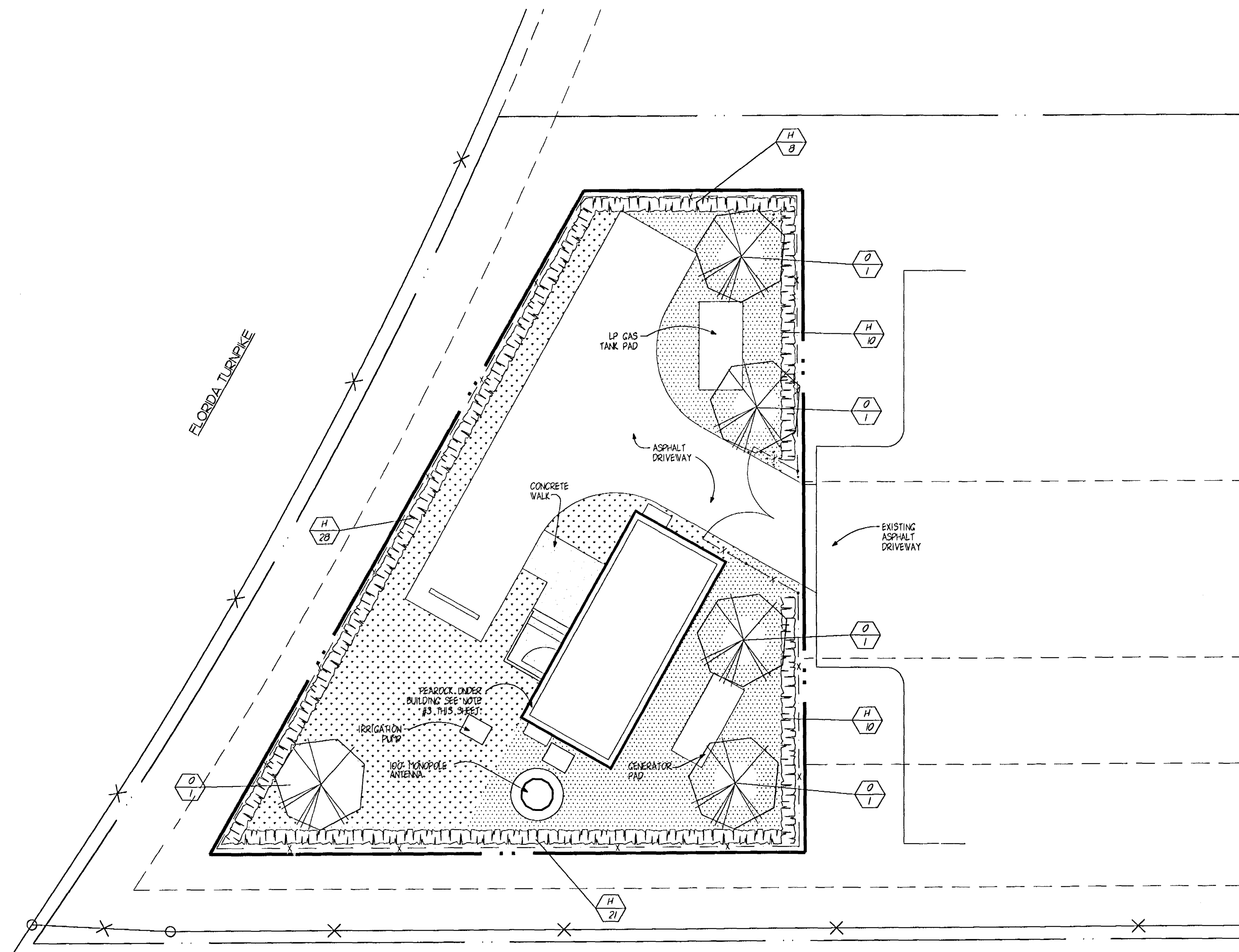
TREE PLANTING DETAIL  
NO SCALE



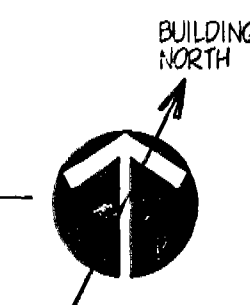
SHRUB PLANTING DETAIL  
NO SCALE

#### GENERAL LANDSCAPE NOTES

- PRIOR TO INSTALLING LANDSCAPE MATERIAL, UNDERGROUND UTILITIES SHALL BE LOCATED AND LOCATIONS OF LANDSCAPE MATERIAL ADJUSTED ACCORDINGLY.
- ALL LANDSCAPE AREAS SHALL HAVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP, RUST FREE WATER. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR IRRIGATION SYSTEM.
- PROVIDE 1/4"-3/8" DIA. PEAROCK, 4" THICK UNDER EQUIPMENT BUILDING.



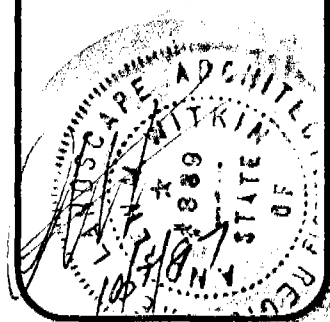
LANDSCAPE PLAN  
1/8" = 1'-0"



**WAYNE E. VENSEL**  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
(305) 662-6950

**BELL SOUTH Mobility**  
CELLULAR SITE "CDN"  
POMPANO BEACH, FLORIDA

REVISIONS:



DATE: 10/6/97  
FILE: BE12L1  
JOB: BE-12  
SHEET 3  
OF 11



PROJECT DATA

SITE DATA

GROSS SITE AREA 3,489 SF.

ZONING DISTRICT - "I-1" INDUSTRIAL

BUILDING DATA

BUILDING AREA 314 SF.

PARKING DATA

PARKING PROVIDED = 1

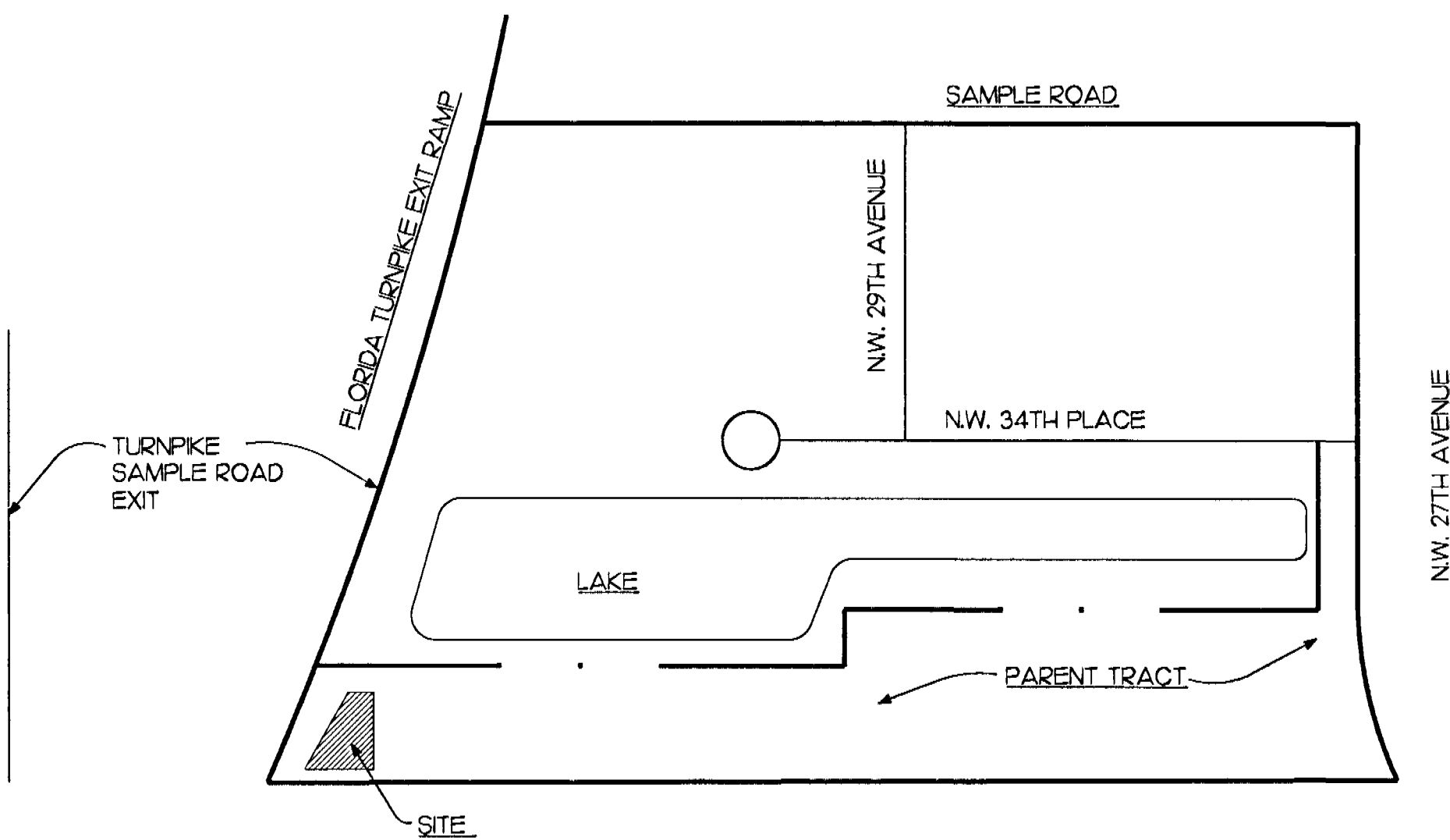
SITE COVERAGE DATA

	AREA	%	PERVIOUS AREA	IMPERVIOUS AREA
BUILDING AREA	314	9.0	300	14
WALKS/TOVER	211	6.0	0	211
OPEN AREA	2,160	62.0	2,160	0
PAVED AREA	804	23.0	0	804
TOTALS	3,489 SF.	100.0 %	2,460 SF. 70.5 %	1,029 SF. 29.5 %

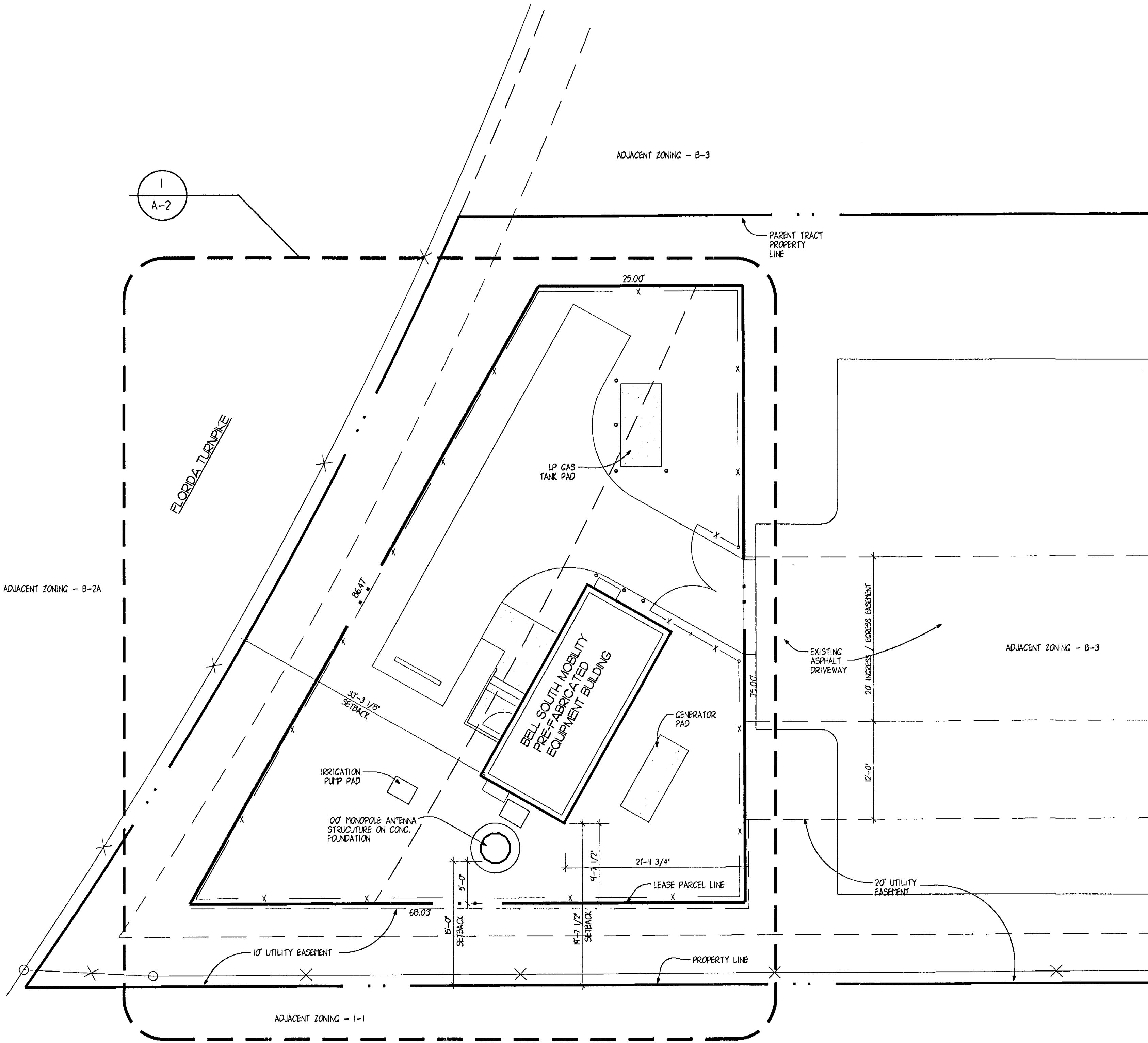
GENERAL SITE NOTES:

I. SITE USE SUMMARY:

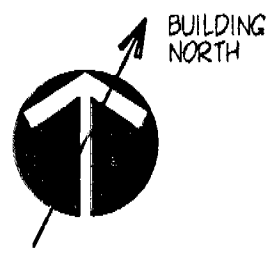
- A. CELLULAR RADIO EQUIPMENT BUILDING WILL HOUSE MOBILE TELEPHONE EQUIPMENT AND IS CONSIDERED AN UNMANNED STRUCTURE.
- B. MAINTENANCE PERSONNEL WILL VISIT THE SITE FOR A SHORT DURATION APPROXIMATELY ONCE PER TWO WEEKS.
- C. NO WATER OR SEWAGE PROVISIONS ARE REQUIRED AT THIS SITE.
- D. THE FLORIDA ACCESSIBILITY CODE DOES NOT APPLY TO THIS PROJECT PER FAC 4.1.1(1A). THIS FACILITY IS UNMANNED.
- E. NO TRASH WILL BE GENERATED AT THIS SITE.
- F. DRAINAGE NOTE: NON-PERVIOUS AREAS INCLUDE PAVED AREAS, SIDEWALKS AND FOUNDATIONS FOR THE TOWER AND EQUIPMENT BUILDING. THE AREA UNDER THE BUILDING IS PERVIOUS. NON-PERVIOUS AREAS WILL SURFACE DRAIN TO ADJACENT PERVIOUS AREAS.



2 SITE LOCATION PLAN  
A-1 NO SCALE



1 OVERALL SITE PLAN  
A-1 1/8\"/>



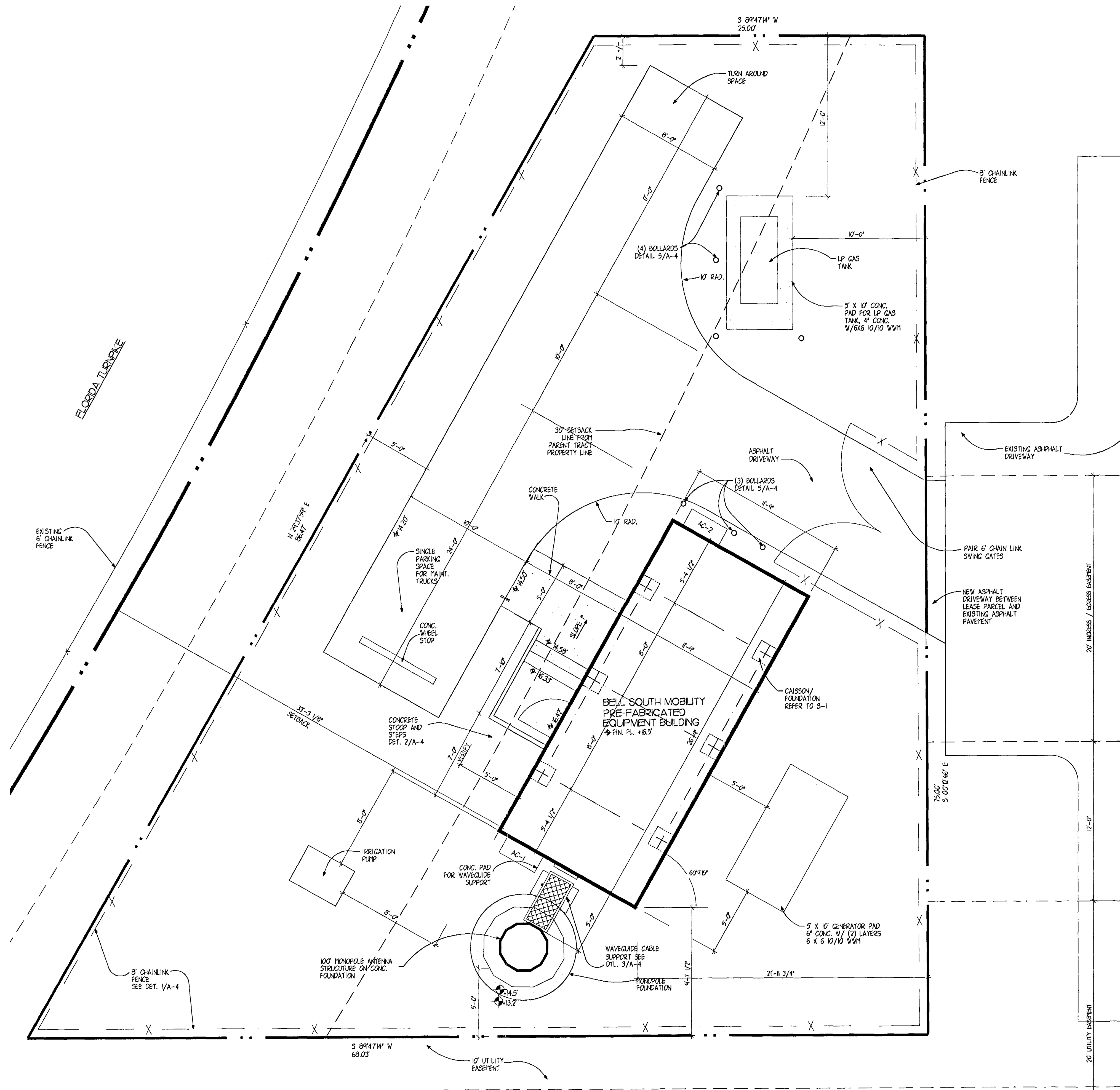
WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 503  
(305) 662-1690

BELL SOUTH Mobility  
CELLULAR SITE "COON"  
POMPANO BEACH, FLORIDA

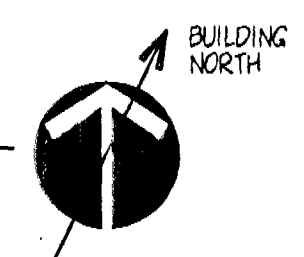
REVISIONS

DATE: 10/6/97  
FILE: BE12AI  
JOB: BE-12  
SHEET 4  
A-1  
OF 11





1 DETAIL SITE PLAN  
A-2 1/4" = 1'-0"



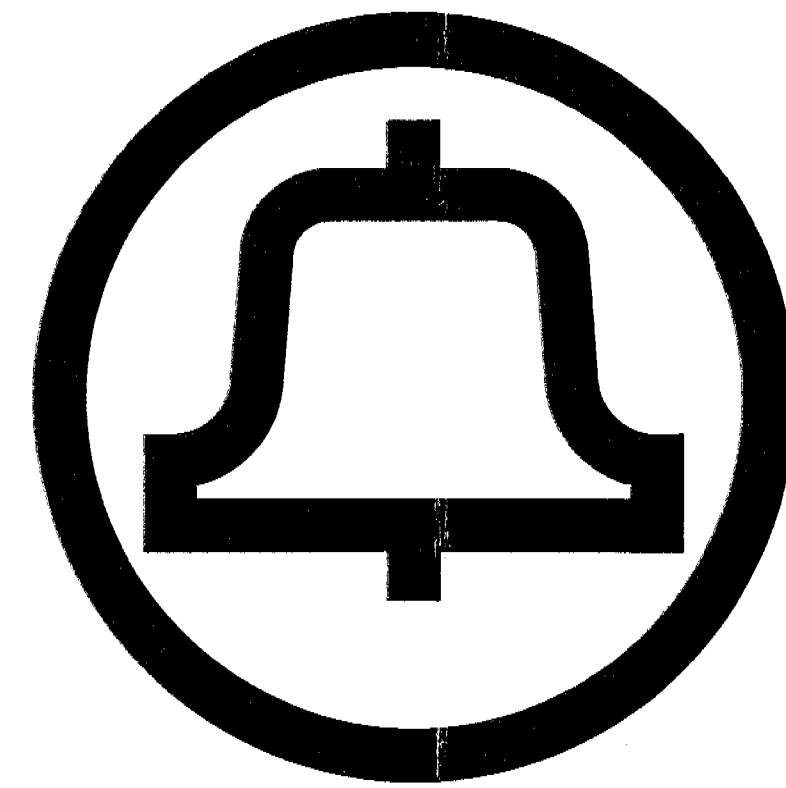
**WAYNE E. VENSEL**  
ARCHITECT, INC.  
AR 7842  
AA 00034  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
(305) 662-1690

**BELL SOUTH Mobility**  
CELLULAR SITE "ODON"  
POMPANO BEACH, FLORIDA

REVISIONS

DATE: 10/6/97  
FILE: BE12A2  
JOB: BE-12  
SHEET 5  
A-2  
OF 11






# BellSouth Mobility Inc

A **BELLSOUTH** Company

***SITE 'CDON'***  
**AN UNMANNED CELLULAR COMMUNICATIONS FACILITY**  
**POMPANO BEACH, FLORIDA**

## INDEX OF DRAWINGS

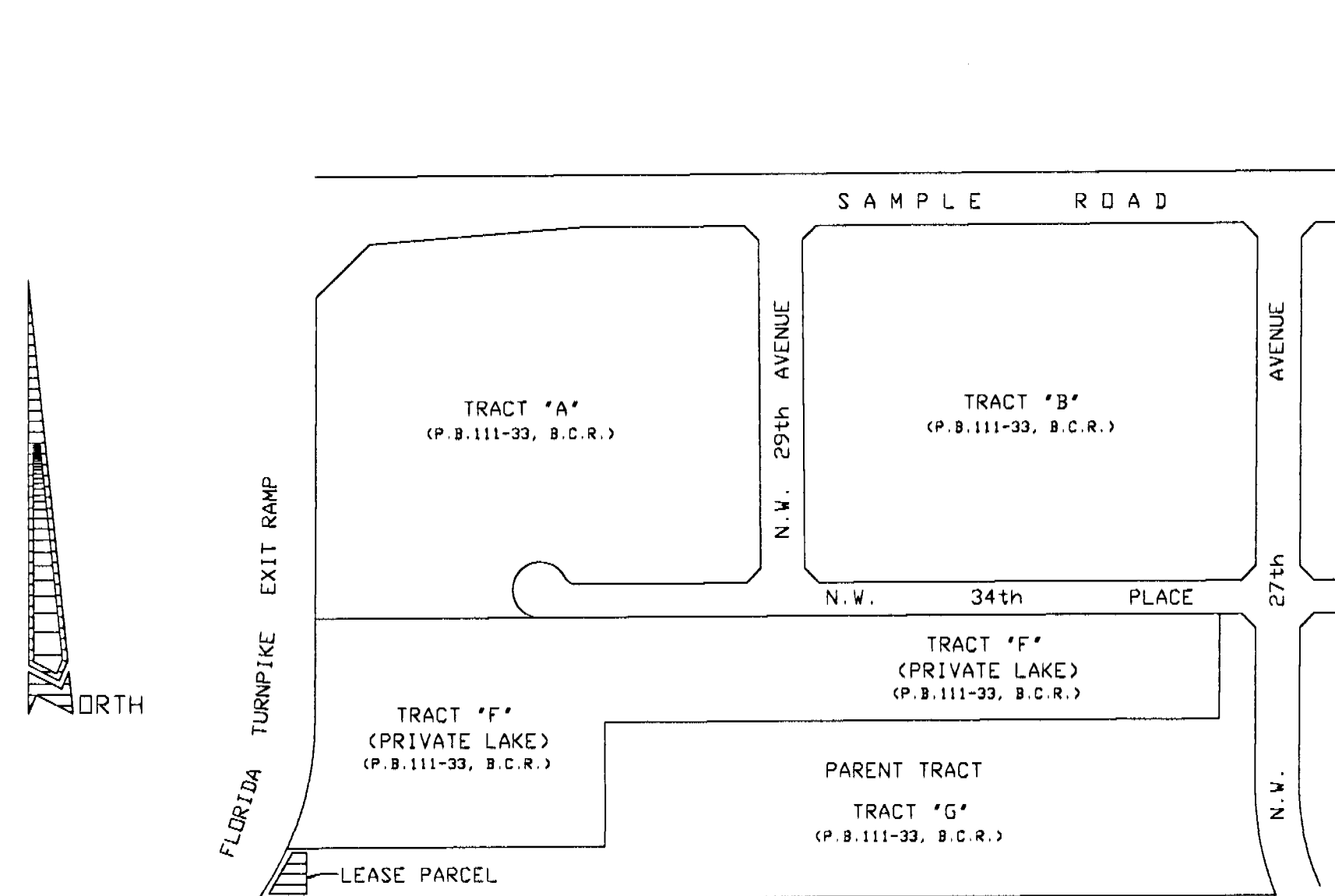
	SURVEY
L-1	LANDSCAPE PLAN
A-1	OVERALL SITE PLAN / SITE DATA
A-2	EXTERIOR ELEVATIONS

 **WAYNE E. VENSEL  
ARCHITECT, INC.** AR 7842  
AA 000134  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143 SUITE 303  
(305)662-1690

**WITKIN DESIGN GROUP**  
**LANDSCAPE ARCHITECTURE AND PLANNING**  
255 ALHAMBRA CIRCLE  
CORAL GABLES, FLORIDA 33143 SUITE 720  
(305)443-2695



MAP OF SURVEY



LOCATION MAP  
SCALE 1"=150'

LEGAL DESCRIPTION:

PARENT TRACT:

Tract 'G', of 'POMPAND INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida.

All of the above lands lying and being in Broward County, Florida and containing 10.325 acres more or less.

LEASE PARCEL:

A portion of Tract 'G', of 'POMPAND INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract 'G'; thence N.89°47'14"E., along the South Line of said Tract 'G', for 14.42 feet to the POINT of BEGINNING of the hereinafter described Parcel; thence continue N.29°37'59"E., for 86.47 feet; thence N.89°47'14"E., along a line 85.00 feet North of and parallel with the South Line of said Tract 'G', for 25.00 feet; thence S.00°12'46"W., for 75.00 feet; thence S.89°47'14"W., along a line 10.00 feet North of and parallel to the South Line of said Tract 'G', for 68.03 feet to the POINT of BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.080 acres more or less.

INGRESS & EGRESS EASEMENT:

A portion of Tract 'G', of 'POMPAND INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract 'G'; thence N.89°47'14"E., along the South Line of said Tract 'G', for 14.42 feet; thence N.29°37'59"E., for 11.53 feet to the POINT of BEGINNING of the hereinafter described Easement; thence continue N.00°12'46"W., for 20.00 feet; thence N.89°47'14"E., along a line 52.00 feet North of and parallel with the South Line of said Tract 'G', for 174.24 feet to a point on the East Line of said Tract 'G', said point being on the arc of a curve, concave Easterly, thence Southeasterly along the arc of said curve, having a radius of 540.00 feet, a chord bearing of S.20°44'12"E. and a central angle of 2°13'08", for an arc distance of 20.91 feet; thence S.89°47'14"W., along a line 30.00 feet North of and parallel with the South Line of said Tract 'G', for 1750.33 feet to the POINT of BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.802 acres more or less.

UTILITY EASEMENT:

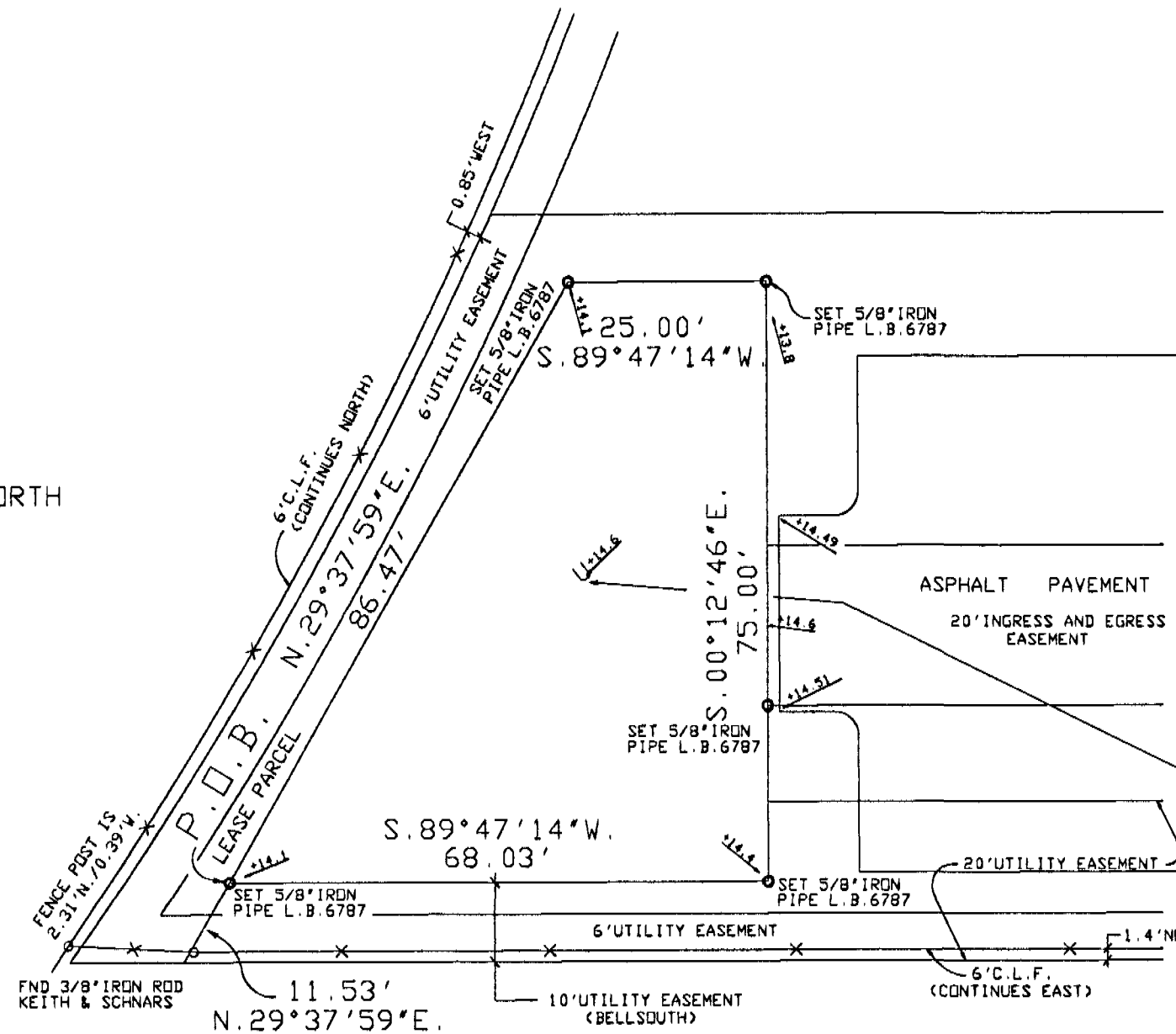
A portion of Tract 'G', of 'POMPAND INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract 'G'; thence N.89°47'14"E., along the South Line of said Tract 'G', for 14.42 feet to the POINT of BEGINNING of the hereinafter described Easement; thence N.29°37'59"E., for 11.53 feet; thence N.89°47'14"E., along a line 10.00 feet North of and parallel with the South Line of said Tract 'G', for 68.03 feet; thence N.00°12'46"W., for 10.00 feet; thence N.89°47'14"E., along a line 20.00 feet North of and parallel with the South Line of said Tract 'G', for 1754.39 feet to a point on the East Line of said Tract 'G', said point being on the arc of a curve, concave Easterly, thence Southeasterly along the arc of said curve, having a radius of 540.00 feet, a chord bearing of S.20°44'12"E. and a central angle of 2°13'08", for an arc distance of 21.36 feet to the Southeast Corner of said Tract 'G'; thence S.89°47'14"W., along the South Line of said Tract 'G', for 1835.64 feet to the POINT of BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.824 acres more or less.

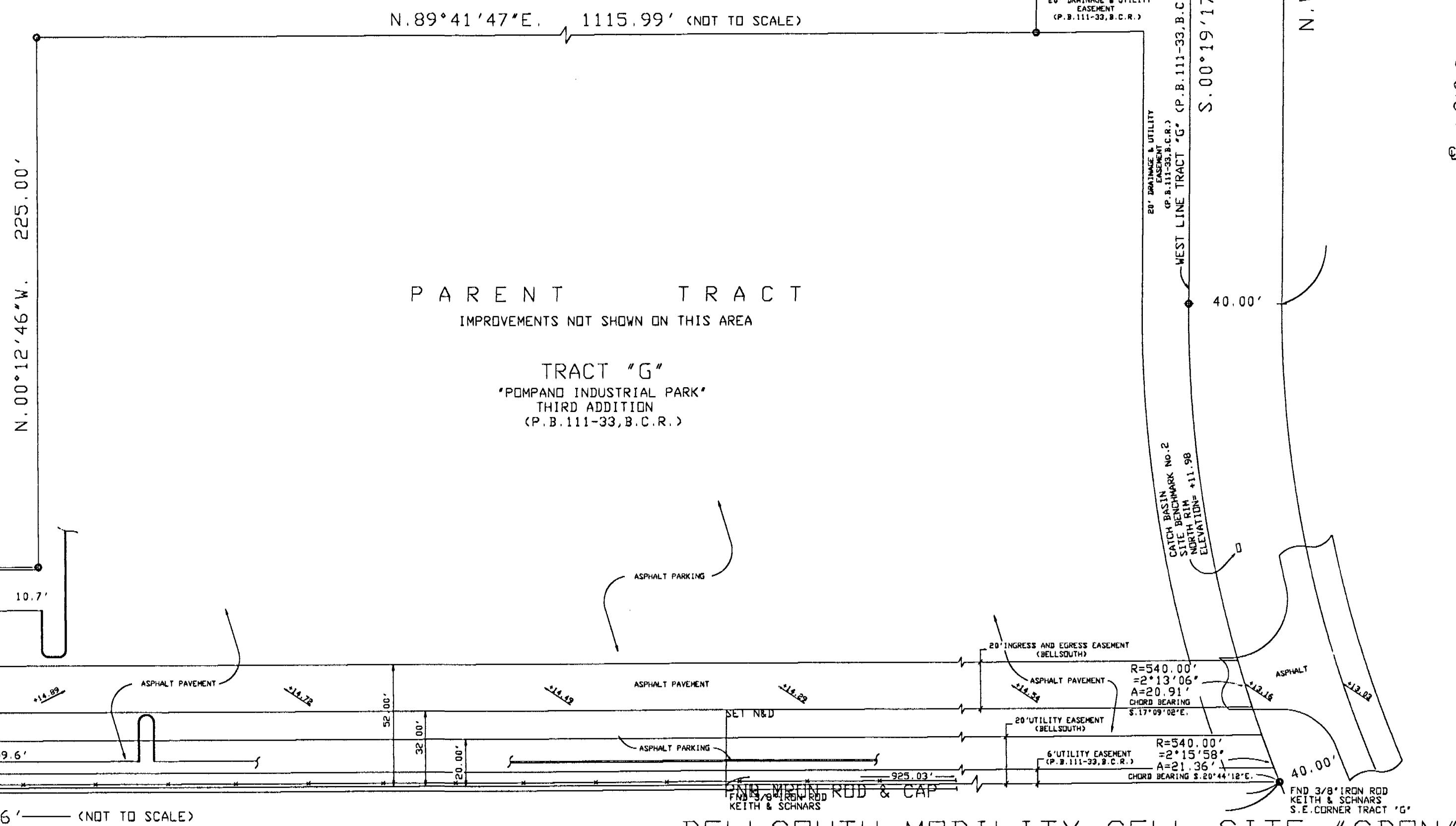
NOTES:

- BENCHMARK: Broward County Engineering Division Benchmark No.2601, Section 21, Township 48 South, Range 42 East, Pompano Beach, Canal crossing Sample Road, 0.25 miles West of Powerline Road. Benchmark is a 'SQUARE' cut on roadwall on South side of the road. ELEVATION = +14.83 N.G.V.D.
- SKETCH OF SPECIFIC PURPOSE SURVEY: This survey was performed for design purposes, showing the location, elevations and features of the Lease Parcel shown hereon. This is a Boundary Survey of the Lease Parcel only (not of the Parent Tract).
- BEARINGS shown hereon are based on a bearing of N.00°19'17"W. along the West Line of the NE 1/4 of Section 21, Township 48 South, Range 42 East, as recorded in the Plat of 'POMPAND INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida.
- LATITUDE and LONGITUDE shown hereon are based on the State Plane Coordinate System - Transverse Mercator - Florida East Zone, National Geodetic Survey Datum and are accurate to 1/10 second (plus or minus) as determined by G.P.S. observation.



LEASE PARCEL DETAIL  
SCALE 1"=20'

TRACT 'F'  
(PRIVATE LAKE)  
'POMPAND INDUSTRIAL PARK'  
THIRD ADDITION  
(P.B.111-33,B.C.R.)



PARENT TRACT DETAIL

TYPE OF SURVEY: SPECIFIC PURPOSE BOUNDARY & TOPOGRAPHY.			REVISIONS:		
PREPARED FOR:	BELLSOUTH MOBILITY, INC.	DATE:	9-19-97	JOB ORDER:	97-253
LAND DEVELOPMENT CONSULTANTS:	LEITER PEREZ & ASSOCIATES, INC.	SURVEY DATE:	9-27-96	JOB ORDER:	96-200
CIVIL ENGINEERS - LAND SURVEYORS LB 6787		FILE NO.:	3-1430		
LAND PLANNERS - ENVIRONMENTAL		F.B.	83-1	PG	46-52
160 N.W. 75TH ST., SUITE 400 MIAMI, FLORIDA 33169		PHONE:	(305) 652-5133	BROWARD (954) 584-2282	
email: leiter@connect.net					

NOTES:  
1. ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) 1989.  
2. THIS SURVEY WAS MADE TO LOCATE EXISTING AND/OR FOUNDATIONS (UNLESS OTHERWISE NOTED).  
3. THE LAND SURVEYOR HAS MADE AN ATTEMPT TO LOCATE EXISTING AND/OR FOUNDATIONS (UNLESS OTHERWISE NOTED).  
4. THIS SURVEY WAS MADE FOR AND CERTIFIED TO BY THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.  
5. ALL IRON PIPES AND NAILS AND BIRDS SET BY THIS FIRM, SET WITH GW OR NAIL WITH LB 6787.

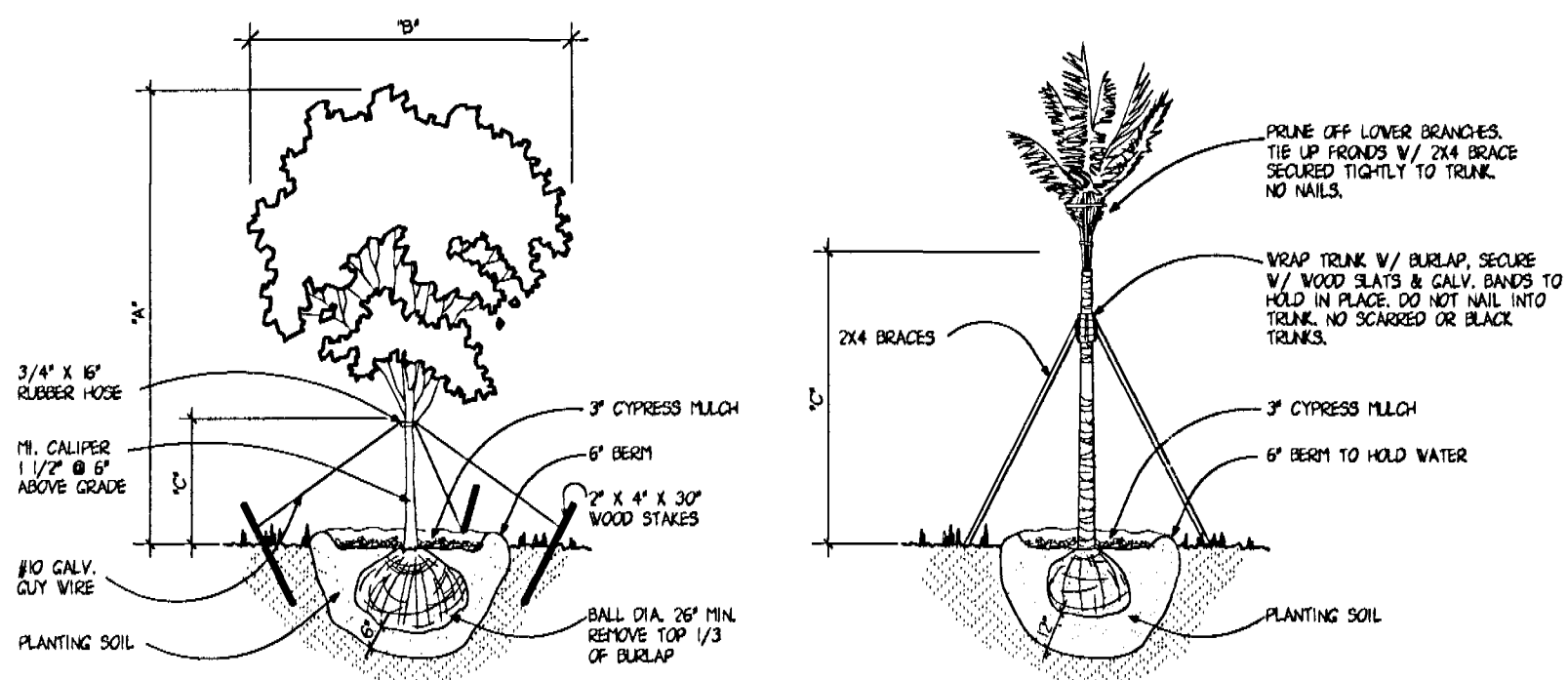
SURVEYOR'S CERTIFICATE: I HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER MY DIRECTORSHIP AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 4617-6, FLORIDA STATUTES, CODE PURSUANT TO SECTION 4617-6, FLORIDA STATUTES.  
LEITER, PEREZ & ASSOCIATES, INC.  
BY: ANLEY T. GLESEVICH VICE PRESIDENT  
Registered Professional Surveyor and Mapper #1603  
State of Florida

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER  
SHEET 1 OF 1

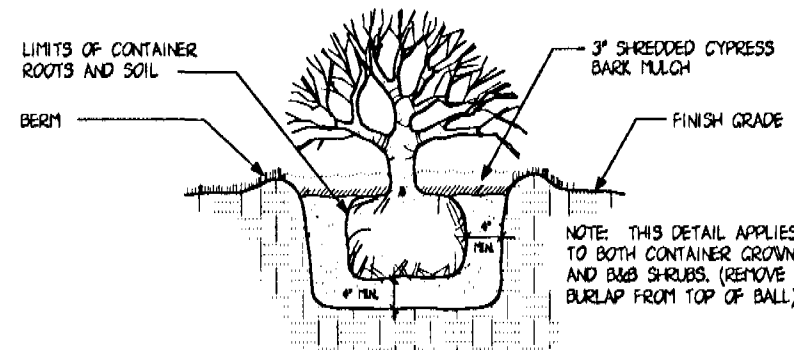


LANDSCAPE LEGEND								SPECIES QUANTITY	
KEY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HEIGHT A	SPREAD B	TRUNK C	QUANTITY	REMARKS	
		QUERCUS VIRGINIANA	LIVE OAK	12'	6'	3"	5		
		CONOCARPUS ERECTA - SERICEA	SILVER BUTTONWOOD	4'-0"	FULL	-	77	PLANT 3'-0" O.C.	
			PEAROCK					INSTALL OVER ONE LAYER PER 3' WEED BARRIER AS PER. BY DEWITT COMPANY 1-800-888-1664	
			BAHIA SOD					SOLID SOD	

OVERALL SITE AREA = 3,489 SF.  
SOD AREA REQUIRED = 3,489 SF. X 20% = 698 SF.  
PROVIDED = 798 SF.



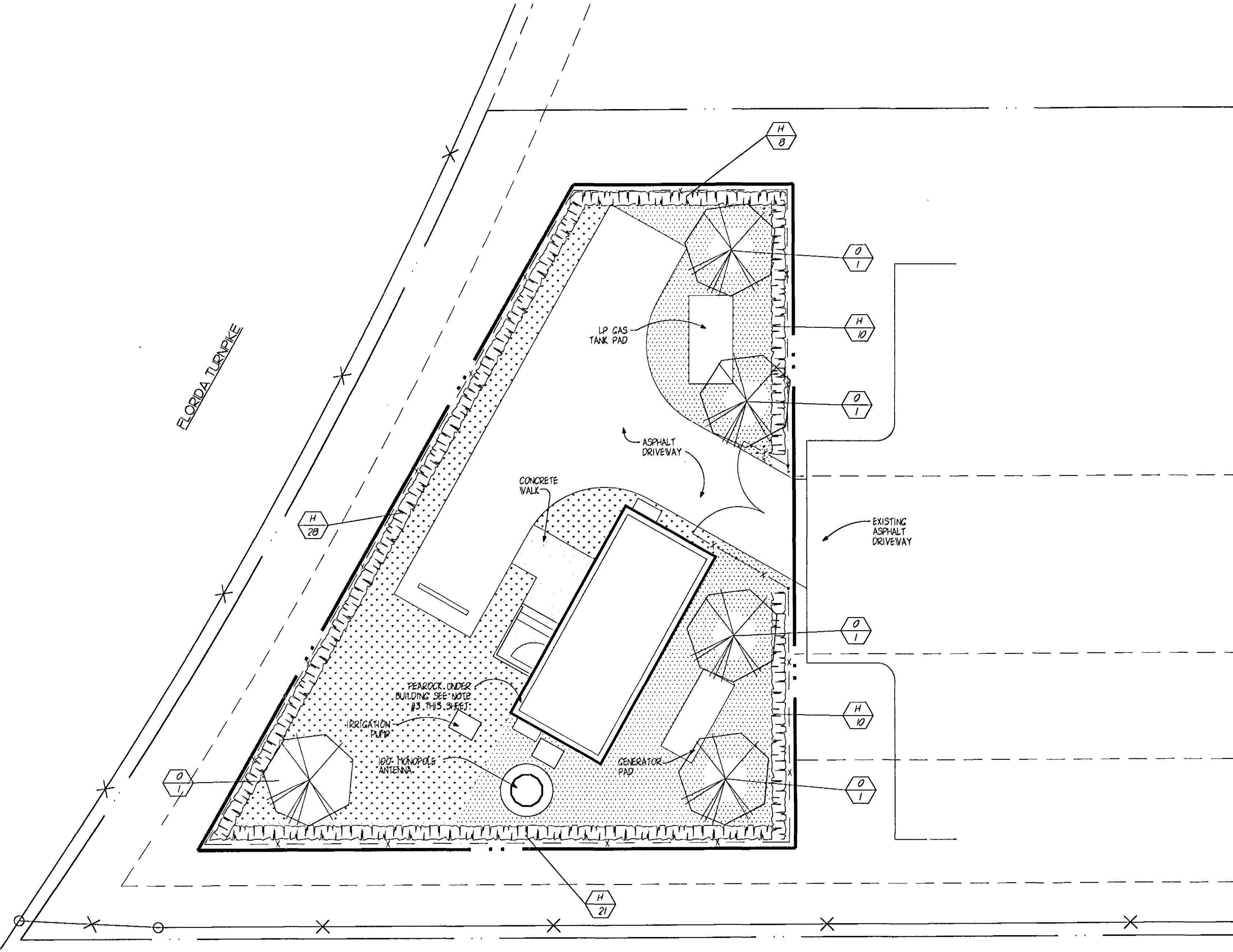
TREE PLANTING DETAIL  
NO SCALE



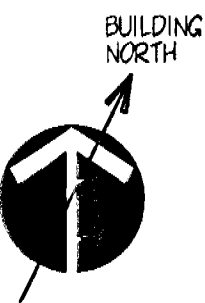
SHRUB PLANTING DETAIL  
NO SCALE

GENERAL LANDSCAPE NOTES

- PRIOR TO INSTALLING LANDSCAPE MATERIAL, UNDERGROUND UTILITIES SHALL BE LOCATED AND LOCATIONS OF LANDSCAPE MATERIAL ADJUSTED ACCORDINGLY.
- ALL LANDSCAPE AREAS SHALL HAVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP, RUST FREE WATER. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR IRRIGATION SYSTEM.
- PROVIDE 1/4"-3/8" DIA. PEAROCK, 4" THICK UNDER EQUIPMENT BUILDING.



LANDSCAPE PLAN  
1/8" = 1'-0"



WITKIN DESIGN GROUP  
LANDSCAPE ARCHITECTURE AND PLANNING  
255 ALHAMBRA CIRCLE  
CORAL GABLES, FLORIDA 33143  
SUITE 720  
(305)443-7895

WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 203  
(305)662-1690

BellSouth Mobility Inc  
CELLULAR SITE 'COON'  
POMPANO BEACH, FLORIDA

REVISIONS  
10/6/97



DATE 11/1/96  
FILE BE12L1  
JOB BE-12  
SHEET 3  
OF 5



PROJECT DATA

SITE DATA

GROSS SITE AREA 3,489 SF.  
ZONING DISTRICT - I-F INDUSTRIAL

BUILDING DATA

BUILDING AREA 314 SF.

PARKING DATA

PARKING PROVIDED = 1

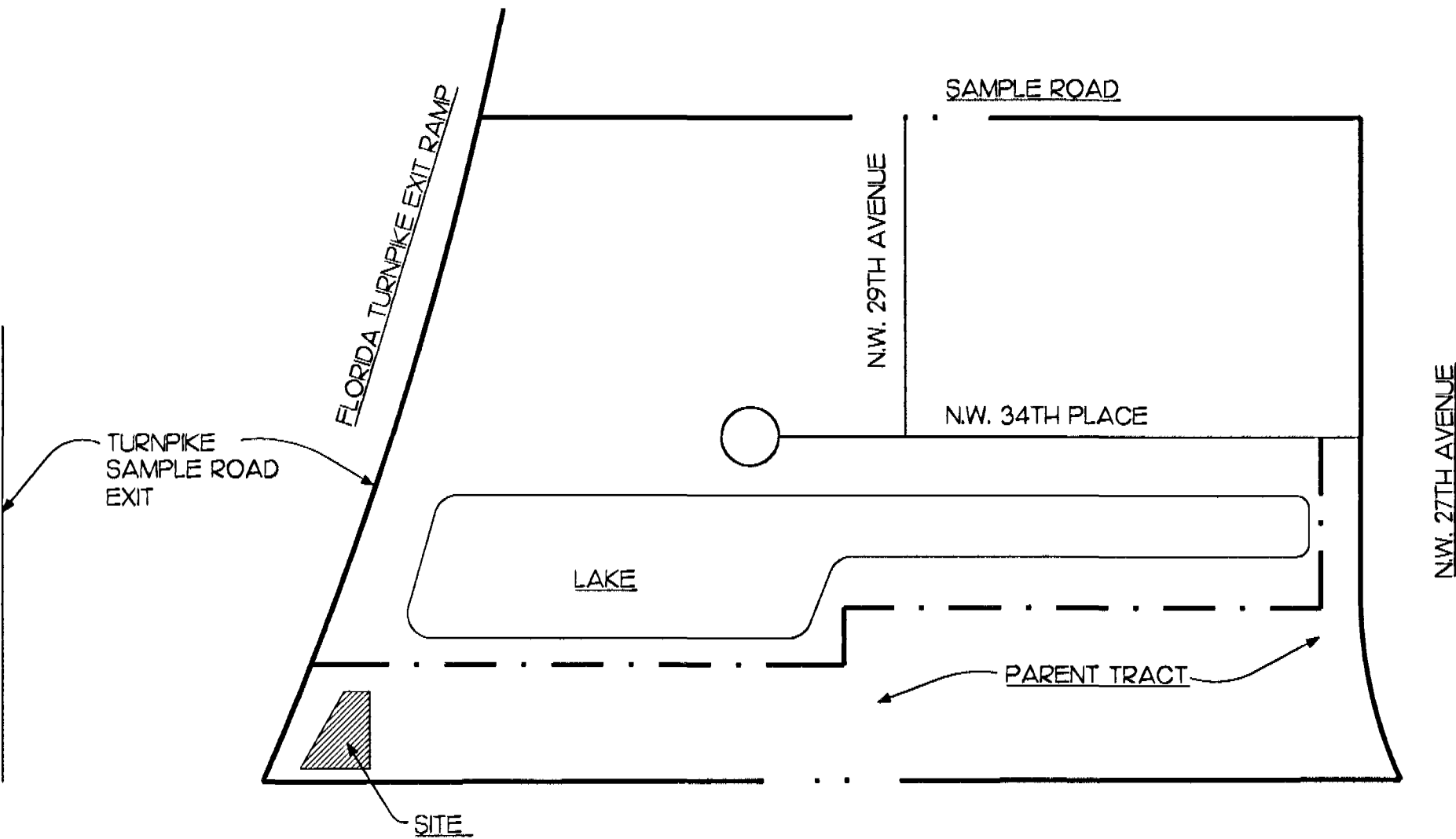
SITE COVERAGE DATA

	AREA	%	PERVIOUS AREA	IMPERVIOUS AREA
BUILDING AREA	314	9.0	300	14
WALKS/TOWER	211	6.0	0	211
OPEN AREA	2,160	62.0	2,160	0
PAVED AREA	804	23.0	0	804
TOTALS	3,489 SF.	100.0 %	2,460 SF.	1,029 SF.
			70.5 %	29.5 %

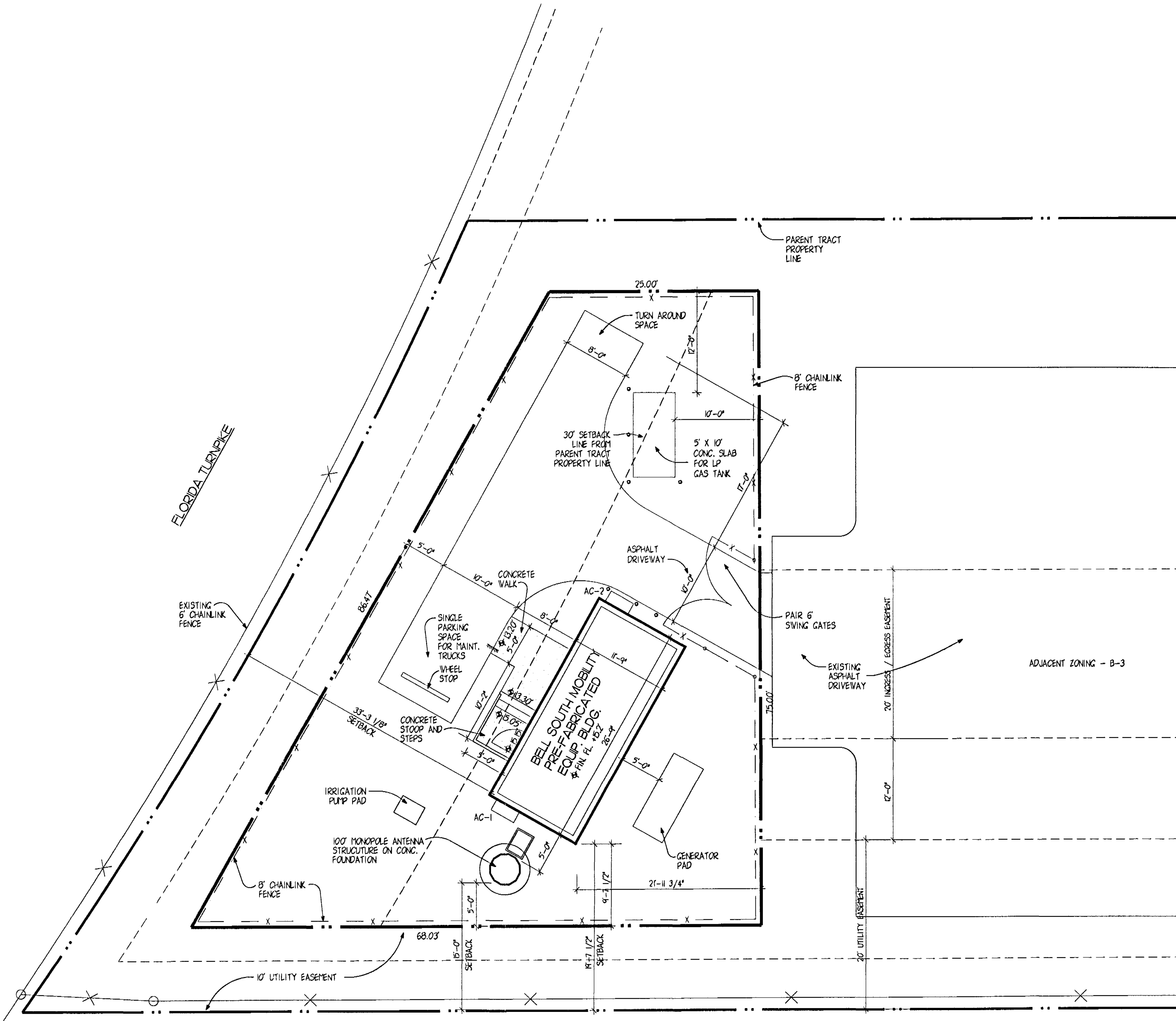
GENERAL SITE NOTES:

I. SITE USE SUMMARY:

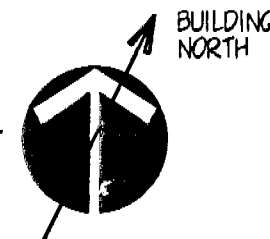
- A. CELLULAR RADIO EQUIPMENT BUILDING WILL HOUSE MOBILE TELEPHONE EQUIPMENT AND IS CONSIDERED AN UNMANNED STRUCTURE.
- B. MAINTENANCE PERSONNEL WILL VISIT THE SITE FOR A SHORT DURATION APPROXIMATELY ONCE PER TWO WEEKS.
- C. NO WATER OR SEWAGE PROVISIONS ARE REQUIRED AT THIS SITE.
- D. THIS UNMANNED TOWER FACILITY IS EXEMPT FROM HAND-CAPPED ACCESS PROVISIONS.
- E. NO TRASH WILL BE GENERATED AT THIS SITE.
- F. DRAINAGE NOTE: NON-PERVIOUS AREAS INCLUDE PAVED AREAS, SIDEWALKS AND FOUNDATIONS FOR THE TOWER AND EQUIPMENT BUILDING. THE AREA UNDER THE BUILDING IS PERVIOUS. NON-PERVIOUS AREAS WILL SURFACE DRAIN TO ADJACENT PERVIOUS AREAS.



2 SITE LOCATION PLAN  
A-1 NO SCALE



1 SITE PLAN  
A-1 1/8" = 1'-0"



WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
(305) 662-1690

BellSouth Mobility Inc  
CELLULAR SITE "CDON"  
POMPANO BEACH, FLORIDA

REVISIONS  
10/6/97

DATE 11/1/96  
FILE BE12AI  
JOB BE-12  
SHEET 4  
A-1  
OF 5

**Date of Application** 11 / 11 / 97 **Tax Folio #** 18221-07 -00600 **P.R.A. Number** 97-6539  
**Owner's Name** R/S Associates, a PA Limited Partnership **Phone** (954) 979-4555  
**Owner's Address** 2900 West Sample Road **City** Pompano Beach **State** FL **Zip** 33073  
**Fee Simple Titleholder's Name (if other than owner)** \_\_\_\_\_  
**Fee Simple Titleholder's Address** 2900 W. Sample **City** Pompano Bch. **State** FL **Zip** 33073  
**Contractor** Duffey Construction **Phone** (305) 325-0001  
**Certificate of Competency #** FLCGC 000008 **State Registration # (if applicable)** \_\_\_\_\_  
**Contractor's Address** 1395 NW 21st Street **City** Miami **State** FL **Zip** 33142  
**Job Name & Description of Work** BMI "CDON", unmanned Telecommunication facility  
**Job Address** 2900 W. Sample Road Pomp. Beach **Contractor's Valuation of Project \$** 80,000  
**Subdivision** Festival Flea Market **Block** \_\_\_\_\_ **Lot** \_\_\_\_\_  
**Bonding Company** n/a  
**Bonding Company Address** \_\_\_\_\_ **City** \_\_\_\_\_ **State** \_\_\_\_\_ **Zip** \_\_\_\_\_  
**Engineer** McFall, Konkell & Kimball **Registration #** PE36556 **Phone** (303) 721-6600  
**Engineer's Address** 7350 E. Progress Place **City** Englewood **State** CO **Zip** 80111  
**Architect** Wayne E. Vensel **Registration #** AR7842 **Phone** (305) 662-1690  
**Architect's Address** 1541 Sunset Dr. Suite 303 **City** Coral Gables **State** FL **Zip** 33143  
**Mortgage Lender's Name** n/a  
**Mortgage Lender's Address** \_\_\_\_\_ **City** \_\_\_\_\_ **State** \_\_\_\_\_ **Zip** \_\_\_\_\_

**WARNING TO OWNER: YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR BUILDING IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.**

Application is hereby made to obtain a permit to do the work and installations as indicated. I certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in the City of Pompano Beach. I understand that a separate permit must be secured for **PLUMBING, ELECTRICAL OR MECHANICAL WORK, SIGNS, WELLS, POOLS, FURNACES, BOILERS, HEATERS, AND TANKS, ETC.**

**OWNER'S AFFIDAVIT:** I certify that all the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.

**Signature** *Harry Shoster*  
**Owner or Agent (Including Contractor, if authorized)**  
The foregoing instrument was acknowledged before me this 25<sup>th</sup> day of November, 1997  
by HARRY SHOOSTER  
who is personally known to me or who has produced \_\_\_\_\_ as  
identification.



**Janice M. Schur**  
MY COMMISSION # CC496319 EXPIRES  
September 18, 1999  
BONDED THRU TROY FAIN INSURANCE, INC.

**CONTRACTOR** DUFFEY CONSTRUCTION CO. INC.  
**Signature** *Robert B. Talley*  
**ROBERT B. TALLEY**  
The foregoing instrument was acknowledged before me this 12 day of November, 1997.  
by ROBERT B. TALLEY  
who is personally known to me or who has produced \_\_\_\_\_ as  
identification.



**Leona LaPato**  
MY COMMISSION # CC552773 EXPIRES  
May 5, 2000  
BONDED THRU TROY FAIN INSURANCE, INC.

**NOTARY as to Owner or Agent (Signature)** *Janice M. Schur*  
**Name & Title (printed)** JANICE M. SCHUR, Notary

**NOTARY as to Contractor (Signature)** *Leona LaPato*  
**Name & Title (printed)** LEONA LAPATO, NOTARY



DRC

TYPE OF PERMIT REQUESTED:

☒ New Building ☐ Addition ☐ Alteration ☐ Swimming Pool ☐ Other

BUILDING INFORMATION:

PZ23-12000019

03/20/2024

Height (in Stories) 1 Height (in Feet) 12 Number of Units: \_\_\_\_\_  
Number of Bedrooms \_\_\_\_\_ Number of Bathrooms: Full \_\_\_\_\_ Half \_\_\_\_\_

NEW BUILDINGS:

Gross Areas: Site 3489 Ground Floor \_\_\_\_\_ All Other Floors \_\_\_\_\_ Total Building 314

EXISTING BUILDINGS: ALTERATIONS AND ADDITIONS

Gross Area of Addition \_\_\_\_\_ sq.ft. Gross Area of Interior to be Altered or Remodeled \_\_\_\_\_ sq.ft.

USE OF BUILDING: Unmanned Telecommunication Facility

IS BUILDING ON: ☐ Sewer ☐ Septic Tank ☐ City Water ☐ Well

COSTS:

Building Portion Only: ..... \$ 78,000-  
Roofing: ..... \$ \_\_\_\_\_  
Plumbing: ..... \$ \_\_\_\_\_  
Electrical: ..... \$ 2,000-  
Mechanical/H.V.A.C.: ..... \$ \_\_\_\_\_  
Total Cost of Building Improvement: ..... \$ 80,000-

THIS AREA FOR CITY USE ONLY

PLANNING DEPARTMENT APPROVAL

Zoning District: F-1/PCD Use: Monopole

Front Yard: N/A Side Yard: 19 Side Yard: \_\_\_\_\_ Rear: 33

Parking Spaces-Regular: Req'd. 1 Provided 1 H.C.: Req'd. \_\_\_\_\_ Provided \_\_\_\_\_

Landscaping: As per plan

Approved by: [Signature] Date: 1/26/98

Remarks: \_\_\_\_\_

Group of Occupancy: \_\_\_\_\_ Occupant Load (for Group A or B): \_\_\_\_\_ Type Construction: \_\_\_\_\_

Flood Zone: \_\_\_\_\_ Crown-of-Road El. \_\_\_\_\_ MSL Min. Building Elevation: \_\_\_\_\_ MSL

FEE COMPUTATIONS:

Plans Examination Fee: \$ 520- Pre-Paid \$ 0 = \$ \_\_\_\_\_

New Buildings and Additions: \_\_\_\_\_ X \_\_\_\_\_ = \_\_\_\_\_

gross sq.ft. est. cost/ sq.ft. valuation  
\$9.00 / \$1,000 of valuation (Min. Permit Fee: \$44.00) = \$ \_\_\_\_\_

Repairs and Alterations:  
Calculations

$1.5\% \times 78,000-$   
 $=$   
1170-

Repair/Alter Sub-total (Min. Permit Fee: \$44.00) = \$ 1170-

Certificate of Completion = \$ 3.00

Lien Law Fee (Owner/Builder Exempt) = \$ 5-

Certificate of Occupancy Fee = \$ —

Board of Rules & Appeals Surcharge = \$ 27.30

Certification Maintenance Fee = \$ 54.60

State Building Code Administration Fund = \$ —

State Radon Fee = \$ —

Amount = \$ \_\_\_\_\_

TOTAL FEES = \$ \_\_\_\_\_

Approved by: \_\_\_\_\_ Date: \_\_\_\_\_

Fees Effective 1-01-97



# DRC

PZ23-12000019  
03/20/2024



PKR 97-5031  
@ 2900 NW 36 ST.  
DMJ

September 30, 2002

The City of Pompano Beach  
Department of Development Services  
100 W. Atlantic Blvd  
Pompano Beach, FL 33060  
Att: Diane Taylor

**RE: Annual Structural Analysis for Cingular Wireless Site - CDON**

Dear Ms. Taylor,

Please find the enclosed Structural Analysis certification for the above site as you requested.

If you have any questions regarding this matter, please call me at 561-995-3252.

Sincerely  
Cingular Wireless

A handwritten signature in black ink, appearing to read 'Nessiffer Abhaisingh', written in a cursive style.

Nessiffer Abhaisingh  
Mgr. Lease Administration  
Gulf States

Enc. (2)



03/20/2024



September 26, 2002

City of Pompano Beach  
Department of Development Services  
100 West Atlantic Blvd  
Pompano Beach, FL, 33060

**Subject: Structural Analysis of 100 ft Monopole Tower**  
**Site: 811944 / "CDON" / Broward County, FL**  
**MH Project No. 7023129: CN0-105R1**

To Whom It May Concern:

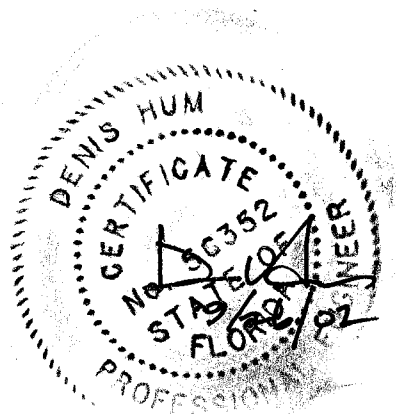
Morrison Hershfield has carried out an analysis of the 100 ft "CDON" monopole tower in Pompano, FL in order to certify that the tower and foundation are capable of supporting the loading given in Table 2. The structural analysis was performed for this tower in accordance with the requirements of TIA/EIA-222-F *Structural Standards for Steel Antenna Towers and Antenna Supporting Structures*, using a fastest mile wind speed of 120 mph, meeting the wind load provisions of the 2001 Florida Building Code and ASCE 7-98 (*Minimum Design Loads for Buildings and Other Structures*) for a 3-second gust wind speed of 140 mph for Broward County (FBC 1619.2). The tower is assumed situated in an Exposure C location, and is classified as a Category 4 structure (emergency response facility). No radial ice was considered in the analysis. The tower has been assumed to be in good condition and capable of supporting its full design capacity.

Our analysis demonstrates that the existing tower and foundation **are in conformance** with the requirements of the above noted standards under the effects of loading due to the proposed antenna installation and existing antennas.

We trust that this report is satisfactory. If you have any questions regarding the investigation, please contact our office.

Yours very truly,  
Morrison Hershfield Corporation

Denis Hum, P.E. (FL License No. 56352)  
Senior Structural Engineer





**Table 1: Tower Details**

Site Name	811944 / CDON
Location	2900 West Sample Road, Pompano, FL / Broward County (Lat 26-16-16.4, Long 80-09-55.3)
Tower Description	100 ft monopole tower, manufactured by FWT.
Current Standard and Loading	140 mph 3-second gust wind speed and no radial ice, as required by the 2001 Florida Building Code and ASCE 7-98. Exposure Category C and Classification Category 4 used in analysis.
Previous MH Analyses	CN0-105 (10/5/02)

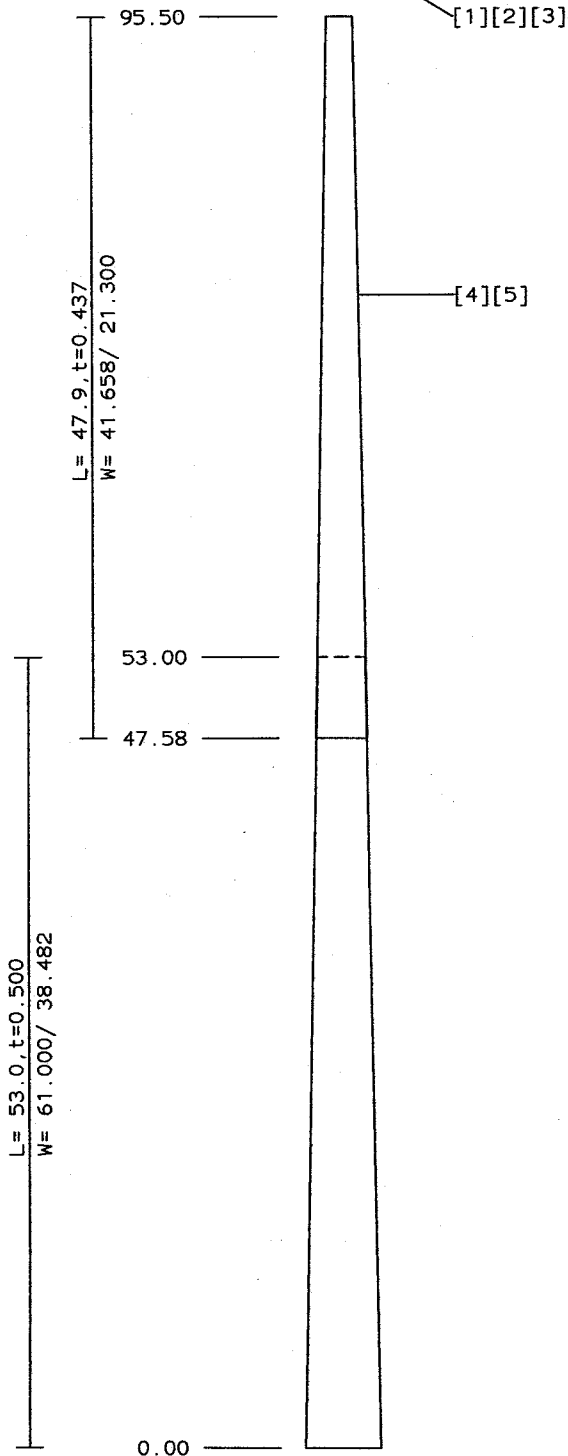
**Table 2: Antenna Loads**

Elev (ft)	Antenna Description	Carrier	TX-Lines
	***EXISTING***		
100.0	(9) FV105-10-00DA2 cellular antennas	Cingular	(9) 7/8"
100.0	(3) curved and (3) straight T-arm mounts		
77.0	(9) DB844H90E-XY cellular antennas	Cingular	(9) 7/8"
77.0	(1) Platform mount		

Note: Any discrepancies in loading from this listing should be brought to Morrison Hershfield's attention; results of this analysis cannot be used if the loading is different. All lines inside monopole.

# DRC

PZ23-12000019  
03/20/2024



96 FT 16-SIDED MONOPOLE TOWER  
CDON, CNO-105R1

MORRISON HERSHFIELD  
66 Perimeter Center East  
Suite 600, Atlanta, GA 30346  
Tel: (770) 379-8500  
Fax: (770) 379-8501



03/20/2024

September 26, 2002

City of Pompano Beach  
Department of Development Services  
100 West Atlantic Blvd  
Pompano Beach, FL, 33060

**Subject: Structural Analysis of 100 ft Monopole Tower**  
**Site: 811944 / "CDON" / Broward County, FL**  
**MH Project No. 7023129: CN0-105R1**

To Whom It May Concern:

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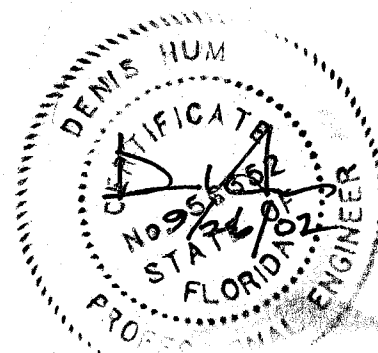
Our analysis demonstrates that the existing tower and foundation **are in conformance** with the requirements of the above noted standards under the effects of loading due to the proposed antenna installation and existing antennas.

We trust that this report is satisfactory. If you have any questions regarding the investigation, please contact our office.

Yours very truly,  
Morrison Hershfield Corporation



Denis Hum, P.E. (FL License No. 56352)  
Senior Structural Engineer



**Table 1: Tower Details**

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Tower Description	100 ft monopole tower, manufactured by FWT.
Current Standard and Loading	140 mph 3-second gust wind speed and no radial ice, as required by the 2001 Florida Building Code and ASCE 7-98. Exposure Category C and Classification Category 4 used in analysis.
Previous MH Analyses	CN0-105 (10/5/02)

**Table 2: Antenna Loads**

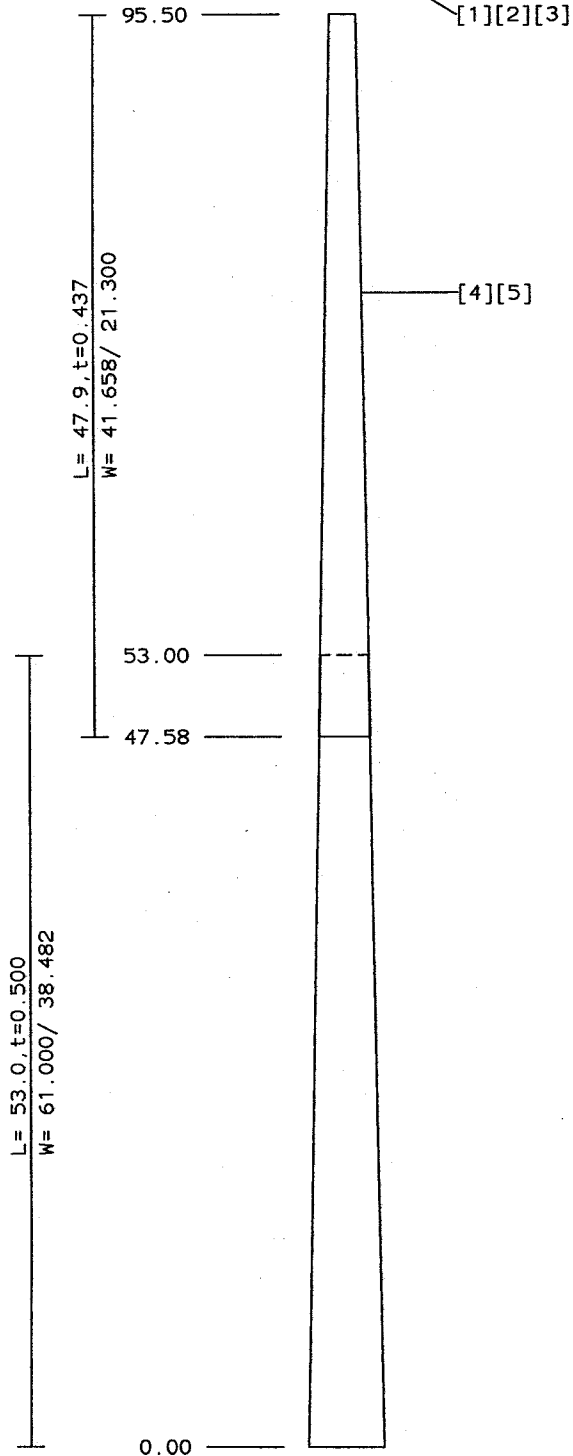
Elev (ft)	Antenna Description	Carrier	TX-Lines
	***EXISTING***		
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Note: Any discrepancies in loading from this listing should be brought to Morrison Hershfield's attention; results of this analysis cannot be used if the loading is different. All lines inside monopole.



# DRC

PZ23-12000019  
03/20/2024



96 FT 16-SIDED MONOPOLE TOWER  
CDON, CN0-105R1

MORRISON HERSHFIELD  
66 Perimeter Center East  
Suite 600, Atlanta, GA 30346  
Tel: (770) 379-8500  
Fax: (770) 379-8501

# DRC

 **BELLSOUTH** Mobility

PZ23-12000019

03/20/2024

Exh. C

BellSouth Mobility  
5201 Congress Avenue  
Boca Raton, Florida 33487

561 995-3000

*August 28, 1997*

*Mr. Reagan Yarbrough  
Director of Planning and Zoning  
City of Pompano Beach  
100 West Atlantic Blvd.  
Pompano Beach, FL 33061*

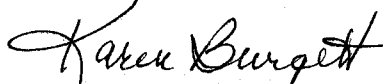
**Re: BellSouth Mobility Inc. Application for Site Plan Approval**  
**Location: 2900 W. Sample Road**  
**Cell Site: CDON**

*Dear Mr. Yarbrough:*

*This letter is submitted in support of the application for development of a tower pursuant to Section 155.072 (G) (4) (e) of the City Code.*

*This letter is to certify that the applicant will comply with all applicable federal, state or local laws, including all the provisions of Section 155.072 of the City Code pertaining to telecommunications towers, in the construction, operation, and maintenance of the telecommunications facility referenced above.*

*Very truly yours,*



**Karen Burgett**  
**Senior Project Manager – Real Estate / Construction**  
**BellSouth Mobility, Inc.**



October 15, 1997

Mr. Reagan Yarbrough, Acting Planning and Zoning Director  
City of Pompano Beach  
100 W. Atlantic Blvd.  
Pompano Beach, FL 33060

Via FAX: 954 786 4617

Dear Mr. Yarbrough:

You requested in your letter of September 25, 1997 that I evaluate the application for a BellSouth cellular tower to be located at 2900 W. Sample Road, from the following perspectives:

That,

1. Construction of the proposed tower is required because of technological reasons and is essential for the applicant to provide its telecommunications service, and
2. No suitable existing tower or antenna support structure site is available and no reasonable alternative technology exists to accommodate the applicant's telecommunications facility on an existing site.

**For the reasons listed below, it is my opinion that**

- **The proposed tower is required because of generally accepted and adequately demonstrated technological reasons and is essential in order for BellSouth to provide its telecommunications service, and**
- **No suitable existing tower or support structure is available and there are no reasonable alternative technologies to accommodate applicant's needs on an existing site.**

---

In consideration of the first point above, Mr. Jamie Kimble, RF Engineering Manager for BellSouth Mobility ("BMI"), provided an affidavit stating that the site known as "CDON" is required due to a coverage deficiency in the vicinity of the Turnpike/Sample Road interchange. CDON will serve dual functions: to cure the coverage problem and provide additional system capacity.

In order to verify that the site proposed for CDON is technologically justified, it is necessary to show that the site is located within a reasonably produced "search area" created in accordance with BMI's frequency grid. Also, the CDON site should be located such that it can make reasonable handoff to existing cells, and that surrounding cells are located such that CDON's proposed height is reasonable for the coverage necessary.

Mr. Kimble provided evidence to me on October 14, 1997, consisting of the orientation of CDON

**DAVID SNAVELY, P.E.**

PZ23-12000019 with surrounding "handoff candidate" cells, the search area used to "find" CDON, the geographical coordinates of all surrounding handoff cells, and a simple RF propagation plot indicating the proposed coverage "footprint" of CDON. The locations of the cells are summarized on a map attached to this report.

03/20/2024

Examination of the handoff candidates indicated that the furthest cell from CDON is approximately 2.8 miles, and the nearest is approximately 1.2 miles. These figures were scaled from Mr. Kimble's submitted map. The search area is roughly centered at the intersection of Sample Road and the Turnpike, extending 0.3 mile north and south of Sample, and 0.5 mile east and west of the Turnpike. CDON will be located in the southeast corner of the search area. Though no precise information on the company frequency grid was provided, the location and size of the search area are consistent with the grid implied by surrounding cells (typically, a search area is one-quarter the radius of the proposed coverage area).

Site CDOW is quite close to the proposed location. Mr. Kimble said that CDOW does not cover the problem area because of the stringent signal requirements of hand-held traffic in cars on the Turnpike. Mr. Kimble indicated that BellSouth drive test data has shown that CDON will cure the problems the company is experiencing in the area.

Given that the location is reasonable to solve BellSouth's coverage problem, attention was turned to the tower height. The simple coverage plot Mr. Kimble provided basically shows "best server" potential for CDON, with a handoff boundary midway between the surrounding handoff candidates. No signal strengths were provided.

In order to estimate required height, I applied the typically used "Okumura-Hata" path loss formula. A statement of that formula is:

$$A = 69.55 + 26.16 \log F - 13.82 \log H + (44.9 - 6.55 \log H) * \log D + C,$$

Where:

A = path loss in dB;

F = frequency in MHz,

H = tower height in meters,

D = distance in km, and

C = a correction figure (-5 used for urban areas).

Based on hand-held phones operating in a car, with a 12.5 dB penetration loss, 10 dB base station antennas, and a 7 dB fade margin, the uplink gain for an 850 MHz cellular system was determined to be +137.5 dB. This figure can equal the path loss over a certain distance to provide service to mobile phones in cars for most locations.

The distance D was taken to be half the distance to the furthest cell, with a 20 per cent overlap to provide for smooth handoff. That distance is 1.7 mi or 2.74 km.

Okumura-Hata can now be solved to give the required tower height:

**DAVID SNAVELY, P.E.**

---

PZ23-12000019 137.5 = 69.55 + 26.16 log (850) - 13.82 log H + (44.9 - 6.55 log H) \* log (2.74) - 5  
03/20/2024

Solving for H gives 25.04 m, or 82.15 feet.

It must be recognized that this figure was derived based on theory without correction for special circumstances present in the land areas around CDON, although Okumura-Hata is generally accepted in the cellular engineering field.

On the other hand, the calculation was conservative, because in the area of concern, the path loss is not likely representative of heavy urban areas, but less.

Therefore, my opinion is that an 85' tower should adequately serve this purpose. It should be recognized that the City requires all communications towers to be built to accommodate multiple carriers, and a shorter tower diminishes the possibility that a carrier locating below BellSouth's antennas could achieve reasonable coverage. This would be contrary to the objective of limiting tower proliferation.

Mr. Kimble indicated that BellSouth drive test data showed that 100' is "best."

In light of the location and coverage items above, it is my opinion that the location is technologically justified.

In consideration of the second City requirement posed to me, Mr. Kimble has stated in his affidavit that no suitable structure was available and no alternative technologies can cure the problems in the area. An affidavit from Mr. Paul Scarpello, search consultant, states that there are no alternative sites within the search area, and an affidavit from Mr. Stanley Olesiewicz, professional land surveyor, found no alternative structures within radii stipulated in city codes, save for lighting poles on the Turnpike, which generally do not have the strength to support cellular antennas without complete replacement.

I made a visit to the search area on October 15, 1997. It was noted that a cellular facility is located just north of Tradewinds Park, west of the Turnpike, but it is out of the search area. A facility, believed to be PrimeCo's, is located in the powerline right-of-way adjacent to Lyons Road, just north of Sample, but that too is out of the search area.

Based on the visit and the submitted affidavits, it is my opinion that no existing suitable sites are available within the search area.

The accepted cellular technique for improving coverage problems is to provide more signal, either with a power increase or with a closer cell. The tight locations of cells in this area require the new cell, as power increases are limited by the mobile phone maximum power and frequency plan and are not appropriate for the problems in this area.

In order to increase capacity, more channels are needed. Cellular frequency plans limit the number of channels per cell. Upcoming digital technology will increase the number of channels. BellSouth is only in the early stages of digital conversion and thus that technology is not available for this area at this time. A digital conversion would not help the coverage problem.

**DAVID SNAVELY, P.E.**

---



PZ23-12000019

03/20/2024

Thus, it is my opinion that there are no other technologies available that could solve the problem from existing sites.

Should you have further questions, please call.

Sincerely yours,

-s-

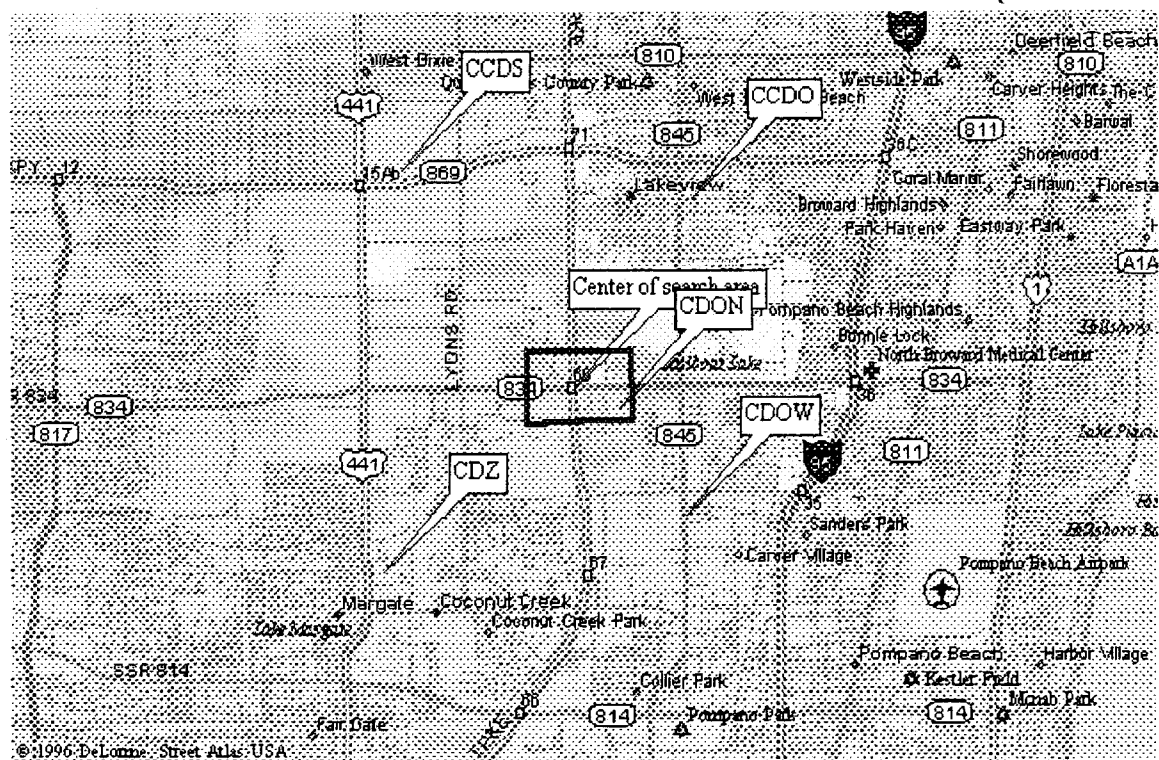
David Snavely, P.E.

Attachment (map)

**DAVID SNAVELY, P.E.**

---

PZ23-12000019  
03/20/2024



The map above illustrates the location of the search area and cells that will hand off to the proposed cell CDON. The width of the search area is approximately one mile.

**DAVID SNAVELY, P.E.**

DRC

PZ23-12000019  
03/20/2024

CITY OF POMPAÑO BEACH, FLORIDA

Application for

APPROVAL OF SITE PLANS

Please take notice that, pursuant to Section 155.072 of the Code of Ordinances, the undersigned requests a review, recommendation and approval of development plans on the following described property zoned I-1 PCI Modif.

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

or Acreage: Tract "G" of Pompano Industrial Park Third Addition,  
Plat Book III, Page 33

Project Street Address: 2900 W. Sample Road

Improvements located on property The parent parcel contains a retail outlet  
known as the Festival Flea Market and parking lots for the Market

Proposed development Cellular communications facility consisting of an  
unmanned telecommunications facility and a 100 foot monopole support  
structure with antennas

Permit Review Application (PRA) No. 9705031 SPR 2105.40  
LPR 302.70  
Review Fee Paid - Receipt # \_\_\_\_\_ 2408.10

Owner of record:  
R/S Associates, a Pennsy. Limited  
Partnership, Harry Shooster,  
(Print or type name and title)  
General Partner  
Address 2900 West Sample Road

Pompano Beach, FL 33073

Phone (954) 979-4555

Signature Harry Shooster

Date 7-29-97

Agent:  
Nina L. Boniske, Esq.

(Print or type name and title)  
Weiss Serota & Helfman  
Address 2665 S. Bayshore Dr, Suite 420

Miami, FL 33133

Phone (305) 854-0800

Signature Nina L. Boniske

Date 7-30-97



DRC

PZ23-12000019  
03/20/2024

CITY OF POMPANO BEACH, FLORIDA

Application for

APPROVAL OF SITE PLANS

Please take notice that, pursuant to Section 155.072 of the Code of Ordinances, the undersigned requests a review, recommendation and approval of development plans on the following described property zoned I-1 PCI Modif.

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

or Acreage: Tract "G" of Pompano Industrial Park Third Addition,  
Plat Book 111, Page 33

Project Street Address: 2900 W. Sample Road

Improvements located on property The parent parcel contains a retail outlet known as the Festival Flea Market and parking lots for the Market

Proposed development Cellular communications facility consisting of an unmanned telecommunications facility and a 100 foot monopole support structure with antennas

Permit Review Application (PRA) No. 9705031 SPR 2105.40  
CR 302.70  
Review Fee Paid - Receipt # \_\_\_\_\_ 2408.10

Owner of record:  
R/S Associates, a Pennsy. Limited Partnership, Harry Shooster,  
(Print or type name and title)  
General Partner  
Address 2900 West Sample Road  
Pompano Beach, FL 33073

Phone (954) 979-4555

Signature Harry Shooster

Date 7-29-97

Agent:  
Nina L. Boniske, Esq.  
(Print or type name and title)  
Weiss Serota & Helfman  
Address 2665 S. Bayshore Dr, Suite 42  
Miami, FL 33133

Phone (305) 854-0800

Signature Nina Boniske

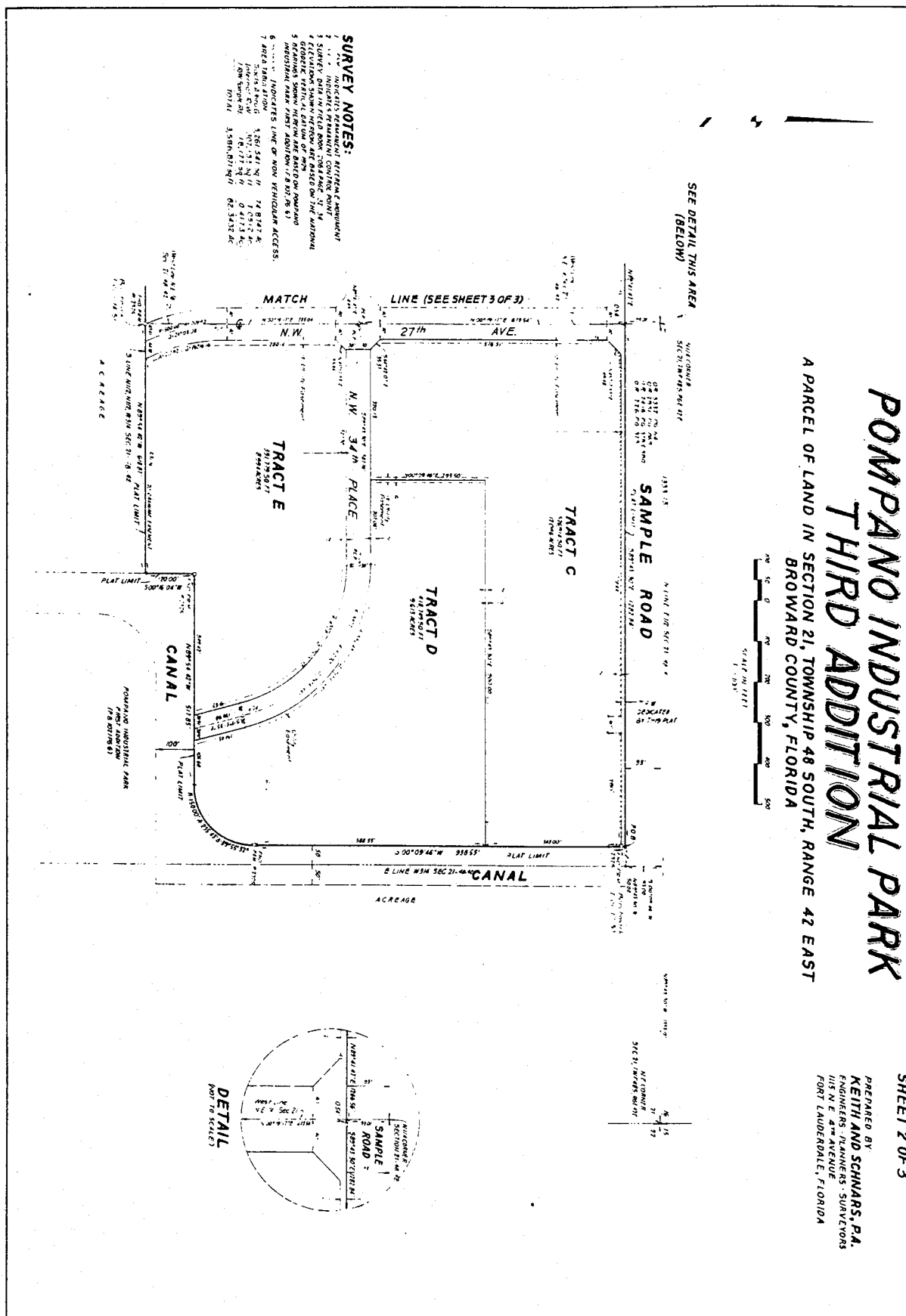
Date 7-30-97



SECRET

PREPARED BY:  
**KEITH AND SCHNARS, P.A.**  
ENGINEERS • PLANNERS • SURVEYORS  
1115 N. E. 4<sup>TH</sup> AVENUE  
FORT LAUDERDALE, FLORIDA

POMPANO INDUSTRIAL PARK  
THIRD ADDITION  
PLAT BOOK 111 PAGE 33  
SHEET 2 of 3 SHEETS  
BROWARD COUNTY RECORDS





# EXHIBIT "A"

## INVENTORY OF EXISTING SITES

POMPANO BEACH, FLORIDA

August 26, 1997

<u>Cell Site</u>	<u>Location</u>	<u>Facility</u>	<u>Height</u>	<u>Design</u>
CDHL	2695 N. Riverside Drive	Rooftop	132	9 directional panel antennas
CDO	750 E. Sample Road	Monopole	100	9 directional panel antennas
CDOW	2210 N. Powerline Road	Self-Support	100	10 directional panel antennas
CDXN	101 N.E. 16th Street	Monopole	100	9 directional panel antennas
CDXO	111 Briny Avenue	Rooftop	287	10 directional panel antennas
CDXS	1600 S. Federal Highway	Rooftop	140	9 directional panel antennas
CDXW	180 S.W. 3rd Street	Co-Location (City Tower)	180	9 directional panel antennas
CDZZ	1001 S.W. 46th Avenue	Monopole	100	9 directional panel antennas

Nina \Invent. BSM

# DRC

PZ23-12000019  
03/20/2024

DRC

159-1028 BVI RE

TEL: 407 995 5594

P. 001

PZ23-12000019

03/20/2024

Exhibit "B"



United States of America  
Federal Communications Commission  
**RADIO STATION AUTHORIZATION**  
Cellular Radiotelephone Service

FLORIDA CELLULAR SERVICE, INC.  
1100 PEACHTREE STREET  
SUITE 14E06  
ATLANTA, GA 30309

Call Sign: KNKA225

Market: 0012

Channel Block: B-1

SID: 0024, 1990

Market Name:

MIAMI, FLORIDA

The Licensee hereof is authorized, for the period indicated, to operate a radio transmitting station in accordance with the terms and conditions hereinafter described. This authorization is subject to the provisions of the Communications Act of 1934, as amended, subsequent Acts of Congress, international treaties and agreements to which the United States is a signatory, and all pertinent rules and regulations of the Federal Communications Commission, contained in Title 47 of the Code of Federal Regulations.

Initial Grant Date..... May 31, 1984

Expiration Date..... October 01, 2004

**WAIVERS / CONDITIONS:**

Pursuant to Section 309(h) of the Communications Act 1934, as amended, (47 U.S.C. § 309(h)), this authorization is subject to the following conditions: (1) This authorization does not vest in the licensee any right to operate a station nor any right in the use of the electromagnetic spectrum designated herein beyond the term thereof nor in any other manner than authorized herein. (2) Neither this license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended (47 U.S.C. § 151, *et seq.*) (3) This authorization is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended (47 U.S.C. § 606).

This authorization does not convey to the licensee the right to receive protection from the capture of subscriber traffic, co-channel interference or first-adjacent-channel interference in any area outside of the authorized cellular geographic service area (CGSA) of the system. Moreover, any facility authorized herein with a service area boundary (SAB) extending into the CGSA of any other operating cellular system on the same channel block, regardless of when such other cellular system was authorized, is subject to the following condition: In the event that the licensee of the other cellular system requests that the SAB of the facilities authorized herein be removed from its CGSA, the licensee herein must reduce transmitting power or antenna height (or both) as necessary to remove the SAB from the CGSA, unless written consent from the licensee of the other cellular system, allowing the SAB extension to remain, is obtained.

Issued by IFG on Wednesday January 29, 1997  
FCC Form 4634

PZ23-12000019  
03/20/2024

**AFFIDAVIT OF STANLEY OLESIEWICZ  
FOR CELL SITE CDON**

BEFORE ME, the undersigned authority, personally appeared STANLEY OLESIEWICZ, ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is duly licensed in the State of Florida, as a professional surveyor and mapper, License No. 1633.
- (2) Affiant is employed by Leiter, Perez & Associates, Inc., which provides surveying services to BellSouth Mobility, Inc ("BellSouth") for numerous telecommunications installations throughout South Florida.
- (3) Affiant has direct knowledge of the proposed cell site located at 2900 West Sample Road, specifically located at the Southwest corner of the property known as the Festival Flea Market (the "Site").
- (4) At the request of BellSouth, the Affiant performed a survey of the proposed site to locate any existing towers or antenna support structures within a radius equal to the minimum distance between towers specified in Section 155.072(G)(5)(d)(3) of the City Code.
- (5) The required height of the proposed monopole for this site as determined by BellSouth is 100 feet.
- (6) Based upon the minimum tower separation distances listed in the Code, the Affiant found no existing towers or antenna support structures between the heights of fifty (50) to one-hundred (100) feet within a seven hundred and fifty (750) foot radius of the proposed monopole.
- (7) Based upon the minimum tower separation distances listed in the Code, the Affiant found no existing towers between the heights of one hundred and one (101) feet and one hundred and fifty (150) feet within a one thousand



# DRC

PZ23-12000019

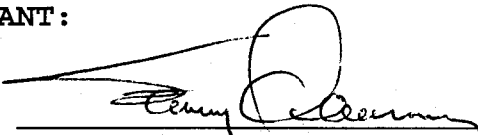
03/20/2024

(1,000) foot radius of the proposed monopole.

- (8) Based upon the minimum tower separation distances listed in the Code, the Affiant did locate lighting fixtures on the adjacent turnpike property that measure approximately one hundred (100) feet in height within a one thousand (1,000) foot radius of the proposed monopole.
- (9) This Affidavit is made at the request of BellSouth as part of the site plan application package for cell site CDON.

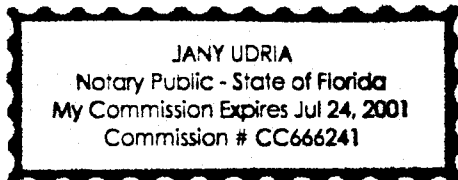
AFFIANT:


By:

  
Print Name: Stanley Olesiewicz

STATE OF FLORIDA  
COUNTY OF DADE

Sworn to and subscribed before me this 14th day of August, 1997.



  
NOTARY PUBLIC,  
Print Name: Jany UDRIS  
Commission No.: CC 666241  
Commission Expires: July 24, 2001

PZ23-12000019

03/20/2024

## AFFIDAVIT OF JAMIE KIMBLE FOR CELL SITE CDON

STATE OF FLORIDA       )  
                                  ) ss  
COUNTY OF BROWARD    )

BEFORE ME, the undersigned authority, personally appeared JAMIE KIMBLE, ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is employed by BellSouth Mobility Inc ("BellSouth") as the manager of Radio-Frequency Engineering in the Radio Frequency Department.
- (2) Affiant is responsible for the determination of BellSouth's coverage needs throughout South Florida. The coverage requirements are dictated by the Radio Frequency Grid.
- (3) BellSouth has identified an area within the City of Pompano Beach that has a deficiency in coverage for the provision of its wireless services. The geographic search area is located in the vicinity of the Florida Turnpike and Sample Road. It extends approximately  $\frac{1}{4}$  to  $\frac{1}{2}$  mile in all directions from this interchange.
- (4) Affiant has direct knowledge of the proposed cell site located at 2900 W. Sample Road (the "Site") and the needs of BellSouth.

# DRC

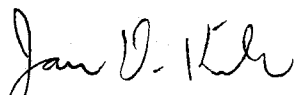
PZ23-12000019

03/20/2024

- (5) The proposed Site is within the identified search area and has been tested for radio frequency coverage and meets the requirements of BellSouth to correct the deficiency of coverage in this geographic area.
- (6) The site will serve two functions by providing additional coverage and system capacity in the Florida Turnpike road area. The primary need is to provide the additional coverage for the portable traffic along the Turnpike. Currently we are unable to provide the necessary serving signal to portable phones creating a condition of poor C/I (Signal to Interference ratio). This type of condition results in poor call quality and in some cases the inability to complete calls.
- (7) Based upon the above described technical specifications and the wireless systems geographic location requirements, no suitable existing tower or antenna support structure is available and no reasonable alternative technology exists that can accommodate BellSouth's telecommunication facilities on an existing site.
- (8) The proposed tower or telecommunications facilities cannot be installed or collocated on another person's tower or antenna support structures located within a radius equal to the minimum distance between towers as required by Section 155.072 of the City Code from the proposed tower Site as there are no towers or antenna support structures in the geographic search area; therefore, the tower must be located at the Proposed site to meet the radio frequency coverage requirements of BellSouth's wireless communications system.
- (9) This Affidavit is made at the request of BellSouth as part of the Tower application package for cell site CDON.

**AFFIANT:**

By:



Name: Jamie Kimble



# DRC

PZ23-12060019  
03/20/2024

STATE OF FLORIDA

COUNTY OF Palm Beach

Sworn to and subscribed before me this 29<sup>th</sup> day of August, 1997.

016\479\Aff.Kim

NOTARY PUBLIC,

PrintName: Susan Anita LeBrun

Commission No.: 10/13/CC592882

Commission Expires: 10/13/2000

Susan Anita LeBrun



SUSAN ANITA LEBRUN

My Comm Exp. 10/13/2000

Bonded By Service Ins

No. CC592882

☐ Personally Known ☐ Other I.D.

# DRC

 **BELLSOUTH** Mobility

PZ23-12000019

EXH. G.

03/20/2024

BellSouth Mobility  
5201 Congress Avenue  
Boca Raton, Florida 33487

561 995-3000

*August 28, 1997*

*Mr. Reagan Yarbrough  
Director of Planning and Zoning  
City of Pompano Beach  
100 West Atlantic Blvd.  
Pompano Beach, FL 33061*

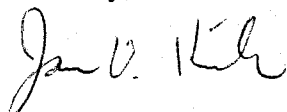
**Re: BellSouth Mobility Inc. Application for Site Plan Approval**  
**Location: 2900 W. Sample Road**  
**Cell Site: CDON**

*Dear Mr. Yarbrough:*

*This letter is submitted in support of the application for development of a tower pursuant to Section 155.072 (G) (4) (e) of the City Code.*

*This letter is to certify that the proposed monopole structure planned for the site CDON will be designed following all FCC requirements to assure that the construction and placement of the tower will produce minimal signal interference with public safety communications and the usual and customary transmission or reception of radio, television, or other communications services enjoyed by adjacent residential and non-residential properties.*

*Sincerely,*



*Jamie D. Kimble  
Manager, RF Engineering  
BellSouth Mobility*

*Cc: Ms. Karen Burgett*

**DRC****AFFIDAVIT OF PAUL SCARPELLO  
FOR CELL SITE CDON****PZ23-12000019  
03/20/2024**

STATE OF FLORIDA       )  
                                  ) ss  
COUNTY OF BROWARD    )

**BEFORE ME**, the undersigned authority, personally appeared PAUL SCARPELLO ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is an independent Telecommunications Consultant and has provided consulting services to BellSouth Mobility Inc ("BellSouth") for the past 2 years.
- (2) Affiant's services include the location and siting of cellular transmitting facilities for BellSouth throughout the South Florida area.
- (3) In locating the proposed cell site located at 2900 West Sample Road, (the "Site"), the Affiant was directed to acquire a site that met BellSouth's Radio Frequency Grid, the appropriate City Codes and was capable of supporting BellSouth's antennas at a height of 100 feet.
- (4) Affiant was responsible for the location and acquisition of the Site, has direct knowledge of the Site and is familiar with the properties located in the surrounding area, including the applicable zoning and land use designations.
- (5) Affiant has reviewed the Affidavit of Stanley Olesiewicz, Surveyor, prepared by Leiter, Perez and Associates dated August 14, 1997, and has personal knowledge of the light fixtures located on the adjacent Florida Turnpike property; however, Affiant was advised by BellSouth that the light fixtures were not usable antenna support structures.
- (6) Affiant made diligent efforts for permission to install or collocate BellSouth's telecommunication facilities on all city-owned towers or antenna support structures located within a radius equal to the minimum distance between towers from the proposed tower site; however, Affiant was unsuccessful in locating on existing structures as both Affiant and the surveyor's investigation of the geographic area indicated that there were no existing towers or antenna support structures located within the designated search area.



# DRC

PZ23-12000019

03/20/2024

(7) This Affidavit is made at the request of BellSouth as part of the Tower application package for cell Site CDON.

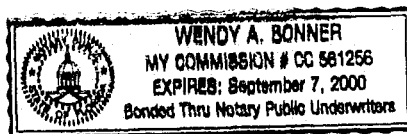
AFFIANT:

Paul Scarpello  
Paul Scarpello

Sworn to and subscribed before me this 5th <sup>Sept</sup>~~August~~, 1997.

Wendy A Bonner  
NOTARY PUBLIC  
Print Name: Wendy Bonner  
Commission No.: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

016\288\Affidavit.sca



# DRC

PZ23-12000019  
03/20/2024



entered  
2-3-98  
JD

Lee # 9820859

## TELECOMMUNICATION FACILITY REGISTRATION CITY OF POMPANO BEACH

Department of Development Services  
100 W. Atlantic Blvd, Pompano Beach, FL, 33060  
Phone: (954) 786-4633 fax: (954) 786-4666

### REQUIREMENTS:

Certification in writing that the tower is structually sound and conforms to the requirements of the South Florida Building Code. Also a sworn and certified statement by an engineer. (ORD #155.072)

Please check the appropriate facility type:

TOWER P

Number of providers on tower 1

Please complete separate registration forms  
for each provider.

Type and Use of each tower monopole  
cellular

ANTENNA ON TOWER \_\_\_\_\_

Type \_\_\_\_\_

Use \_\_\_\_\_

ROOF TOP ANTENNA \_\_\_\_\_

Type \_\_\_\_\_

Use \_\_\_\_\_

Original permit number of each provider: 970 5031

Facility Address 2900 West Sample Rd

Facility Operator Address ~~BellSouth~~ BellSouth mobility inc.

Address 5201 Congress Avenue

City Boca Raton FL Zip 33487

Business Phone (561) 995-3000

Property Owner Name R/S Associates, a Pennsy. Limited Partnership

Address 2900 West Sample Rd

City Pompano Beach FL Zip 33073

Annual Registration fee of \$300.00, shall be submitted with paperwork.

# DRC

PZ23-12000019  
03/20/2024

## WEISS SEROTA & HELFMAN, P.A.

ATTORNEYS AT LAW

2665 SOUTH BAYSHORE DRIVE

SUITE 420

MIAMI, FLORIDA 33133

TELEPHONE (305) 854-0800

TELECOPIER (305) 854-2323

LILLIAN ARANGO DE LA HOZ\*  
ROY J. BARQUET  
MITCHELL A. BIERMAN  
NINA L. BONISKE  
DANIEL H. COULTOFF  
L. ROBERT ELIAS  
EDWARD G. GUEDES  
STEPHEN J. HELFMAN  
JILL A. JARKESY\*  
GILBERTO PASTORIZA  
ELLEN N. SAUL\*  
GAIL D. SEROTA\*  
JOSEPH H. SEROTA  
DANIEL A. WEISS\*  
RICHARD JAY WEISS  
DAVID M. WOLPIN  
STEVEN W. ZELKOWITZ

### BROWARD OFFICE

888 EAST LAS OLAS BOULEVARD  
SUITE 710

FORT LAUDERDALE, FLORIDA 33301  
TELEPHONE (954) 763-1189

### PALM BEACH OFFICE

1872 SOUTHWEST 17TH STREET  
BOCA RATON, FLORIDA 33486  
TELEPHONE (561) 392-8762  
TELECOPIER (561) 392-7551

\*OF COUNSEL

December 9, 1997

Mr. Robin Bird, Planner  
City of Pompano Beach  
100 West Atlantic Blvd  
Pompano Beach, Florida 33061

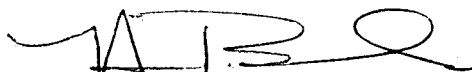
*part 9705031*

Re: BellSouth Mobility Inc Cell Site CDON/R.S. Associates

Dear Mr. Bird:

Enclosed is a check in the amount of \$300.00 payable to the City of Pompano Beach for the annual registration fee for the above-referenced tower. Pursuant to our conversation, the annual registration shall run from the date that the City issues a building permit for this site.

Very truly yours,



Nina L. Boniske

NLB/mas  
016.288  
Enclosure

*2500 west sample rd*







PZ23-1200015

03/20/2024

No. 007922

CITY OF POMPANO BEACH, FLORIDA

TRANSMITTAL FORM/RECEIPT

OCCUPATIONAL LICENSE/REGISTRATION OF CONTRACTORS

Received of Bellsouth mobility Inc. Date 2-3-98

License Year 98 Paid by check # 1909 Cash         

License No. 98 20859 Initial JE

Customer waiting Y          N ✓

CODES:  
✓ TR Telecommunication Registration . . . . \$ 300.00

         OL Occ. License, New, Transfer, & Penalty . . . . \$         

         OR Occ. License Renewal . . . . \$         

         ZC Zoning Certificate Fee . . . . \$         

         CN Contractor Registration . . . . \$         

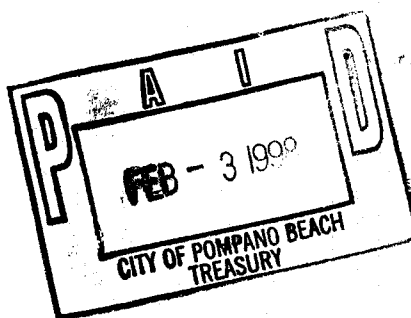
         UM Unapplied Money\* . . . . \$         

Type:         

TOTAL . . . . \$ 300.00

\*The UM code is only to be used when a customer pays another revenue item on the same check as an occupational license

*ck*



# DRC

PZ23-12000019

03/20/2024

Operator: THRLUC      Check: 1909  
Date: 2/03/98 01      Receipt: 0032039  
CHECK      \$300.00

CITY OF POMPAHO BEACH, DEPOSIT ONLY  
BARNETT BANK ACCOUNT # 1595249644

City of Pompano Beach  
\*\*\* CUSTOMER RECEIPT \*\*\*  
OPER: THRLUC      OC      DRAWER: 1  
DATE: 2/03/98 01      RECEIPT: 0032039

DESCRIPTION	QTY	AMOUNT	TP	TN
98      20859	1	\$300.00	TR	CK
TELECOM TOWER RE		CK:		1909

TIME: 14:19:36  
TOTAL CHECK      \$300.00

\*\*\*\*\*HAVE A GOOD DAY\*\*\*\*\*

CITY OF POMPANO BEACH P.O. DRAWER 1300 POMPANO BEACH, FLORIDA 33061  
**DRC** INVOICE #PB1097  
1/24/1997  
PZ23-12000019  
03/20/2024  
for R/S Associates application PRA 9705031

PO	DESCRIPTION	CHECK NO.	AMOUNT
99	DAVID SNAVELY, PE		500.00
TOTAL			*****500.00

CITY OF POMPANO BEACH  
P. O. DRAWER 1300  
POMPANO BEACH, FLORIDA 33061

366319

Barnett Bank of South Florida, N.A.  
Pompano Beach, Florida

63398  
670

VENDOR NUMBER	DATE	CHECK NUMBER	NET AMOUNT
99	11/26/1997	366319	*****500.00

FIVE HUNDRED AND 00/100 DOLLARS

PAY  
TO THE  
ORDER  
OF

DAVID SNAVELY PE  
261 SW 63 AVE  
PLANTATION FL 33317

*Lawrence M. McTier*

⑈366319⑈ ⑆067003985⑆ 3431011680⑈

*mailed  
11/26/97*

**DRC**

INVOICE

PO

DESCRIPTION

CHECK NO.

AMOUNT

DATE

REFUND

WEISS SEROTA &amp; HELFMAN

1,000.00

PZ23-12000018  
03/20/2024

FOR R/S Assoc site Plan Review PR# 9705031

WEISS, SEROTA &amp; HELFMAN

99

TOTAL \*\*\*1,000.00

CITY OF POMPANO BEACH

P. O. DRAWER 1300  
POMPANO BEACH, FLORIDA 33061

366491

Barnett Bank of South Florida, N.A.  
Pompano Beach, Florida

670

VENDOR NUMBER  
99DATE  
11/26/1997CHECK NUMBER  
366491NET AMOUNT  
\*\*\*\*\*1,000.00

ONE THOUSAND AND 00/100 DOLLARS

PAY  
TO THE  
ORDER  
OFWEISS, SEROTA & HELFMAN  
2665 S BAYSHORE DR 204  
MIAMI FL 33133

⑈366491⑈ ⑆067003985⑆

3431011680⑈

mailed 11/26/97



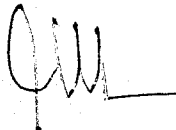
# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES

MEMORANDUM NO. 98-086  
DATE: November 19, 1997

TO: Cynthia Mothner, Controller

FROM: J. Mark Leaf, Acting Director of Development Services 

SUBJECT: Request for Checks - PRA 9705031 Deposit

As we discussed yesterday, I have had two cash payment requisitions (CPR) prepared - one payable to Mr. Snavely for evaluation services performed, the second payable to Weiss, Serota & Helfman to return to them the unused portion of their \$1,500 deposit received by the City September 2, 1997.

That deposit was added to a Site Plan Review Application fee of \$908.10 and deposited in the Planning & Zoning revenue account. A copy of the treasury receipt is attached to the CPR requesting refund of the remaining deposit.

Please add account descriptions and numbers to the attached CPRs. Thank you for your help.

/ns

Attachments

# DRC

PZ23-12000019  
03/20/2024

City of Pompano Beach  
\*\*\* CUSTOMER RECEIPT \*\*\*  
OPER: WILLIZ DW DRAWER: 1  
DATE: 9/02/97 01 RECEIPT: 0040370


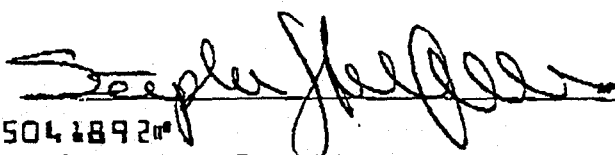
DESCRIPTION	QTY	AMOUNT	TP	TH
97 12000042 PLANNING & ZONING	1	52408.10	PZ	CK

TIME: 8:16:41  
TOTAL CHECK

52408.10

# DRC

PZ23-12000019  
03/20/2024

<b>WEISS, SEROTA &amp; HELFMAN, P.A.</b> I.O.T.A. TRUST ACCOUNT 2985 SOUTH BAYSHORE DRIVE, SUITE 204 MIAMI, FLORIDA 33133		1836
DATE <u>7-29-97</u>		53-3645 670
PAY TO THE ORDER OF	City of Pompano Beach	\$ 1,500.00**
One Thousand Five Hundred and no/100**		DOLLARS
 <b>United National Bank</b> <small>Brickell Banking Center 1399 SW 1st Avenue Miami, Florida 33130</small>		
FOR <u>016288 Application Fee</u> (016428)		
⑈001836⑈ ⑆067009646⑆ 0055041892⑈		

# DRC

PZ23-12000019  
03/20/2024

## Invoice

November 4, 1997

Our invoice no. PB1097

Mr. Reagan Yarbrough, Acting Planning and Zoning Director  
City of Pompano Beach  
100 W. Atlantic Blvd.  
Pompano Beach, FL 33060

Billing for month of October, 1997.

Evaluation of tower siting information submitted by BellSouth Mobility for proposed site CDON. Work included information requests, site visit and production of report, faxed on October 15, 1997.

5.0 hrs @ \$100

\$ 500

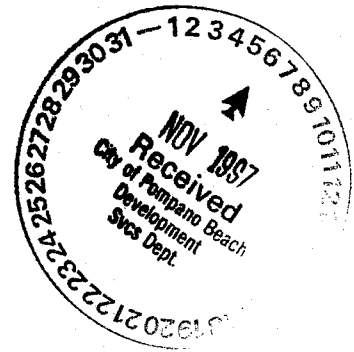
**Total:**

**\$ 500**

Please remit to address below. SS# 449-78-9010



**DAVID SNAVELY, P.E.**





# DRC

PZ23-12000019  
03/20/2024

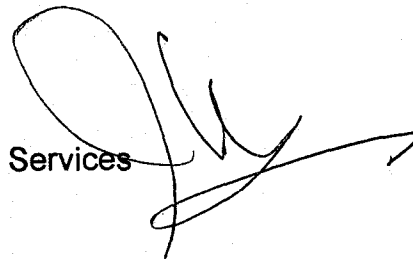
MEMORANDUM NO. 98-079

DATE: November 12, 1997

TO: Lawrence McNerney, Finance Director

FROM: J. Mark Leaf, Acting Director of Development Services

SUBJECT: Deposit Payment for PRA 9705031



According to City Ordinance 155.072G(4)(a), an applicant requesting approval of a cellular communications facility must deposit with the City \$1,500. The City's engineering consultant will evaluate the site and bill the City for his fee; that fee is to be paid from the \$1,500 deposit and the remainder is then returned to the applicant. Additionally, the Ordinance requires an annual registration fee for cellular communication facilities.

On September 2, 1997, a deposit was accepted for the above referenced site plan review but was incorrectly deposited into the Planning & Zoning revenues account rather than into a suspense account. The Treasury receipt number is 0040370 for a total of \$2,408.10.

We would appreciate your setting up the appropriate accounts to handle future deposits and payments to the engineering consultant, and the annual registration fees. It may also be necessary to make programming changes to the Planning & Zoning HTE application, in that payments are entered directly into the computer by Planning & Zoning staff.

The site plan review application was approved by the Planning & Zoning Board October 22, 1997. The Ordinance states that the unused portion of the deposit will be returned to the applicant within 30 days of approval of the application. Please transfer this \$1,500 deposit from the Planning & Zoning revenue account to accounts that will allow us to pay the consultant's \$500 fee and return the remaining \$1,000 to the applicant by November 22, 1997.

If you need additional information, please call me at 4629. Thank you for your help.

ns

cc: Mark R. Lauzier, Assistant City Manager

*Per Memo  
check was from*

# DRC

PZ23-12000019

03/20/2024

CY OF POMFANO BEACH, FLORIDA

Application for

VAL OF SITE PLANS

\* \* \* \* \*

pursuant to Section 155.072 of the Code of  
ned requests a review, recommendation and approval  
the following described property zoned I-1 PCI Modif.

City of Pompano Beach  
\*\*\* CUSTOMER RECEIPT \*\*\*  
OPER: WILLIZ DW DRAWER: 1  
DATE: 9/02/97 01 RECEIPT: 0040370

DESCRIPTION	QTY	AMOUNT	TP	TH
97 12000042 1		\$2408.10	PZ	CK
PLANNING & ZONING				

TIME: 8:16:41  
TOTAL CHECK

\$2408.10

k Subdivision

f Pompano Industrial Park Third Addition,  
11, Page 33

2900 W. Sample Road

property The parent parcel contains a retail outlet  
1 Flea Market and parking lots for the Market

Proposed development Cellular communications facility consisting of an  
unmanned telecommunications facility and a 100 foot monopole support  
structure with antennas

Permit Review Application (PRA) No.

9705031

SPR

2105.40

LPR

302.70

Review Fee Paid - Receipt #

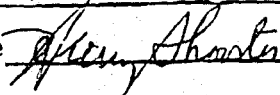
2408.10

Owner of record:  
R/S Associates, a Pennsy. Limited  
Partnership, Harry Shooster,  
(Print or type name and title)  
General Partner  
Address 2900 West Sample Road

Pompano Beach, FL 33073

Phone (954) 979-4555

Signature



Date

7-29-97

Agent:

Nina L. Boniske, Esq.

(Print or type name and title)  
Weiss Serota & Helfman

Address 2665 S. Bayshore Dr, Suite 41

Miami, FL 33133

Phone (305) 854-0800

Signature



Date

7-30-97

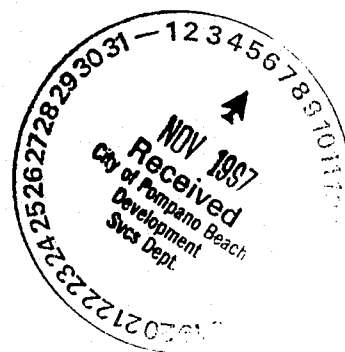
# DRC

PZ23-12000019

03/20/2024

## Invoice

November 4, 1997



Our invoice no. PB1097

Mr. Reagan Yarbrough, Acting Planning and Zoning Director  
City of Pompano Beach  
100 W. Atlantic Blvd.  
Pompano Beach, FL 33060

Billing for month of October, 1997.

Evaluation of tower siting information submitted by BellSouth Mobility for proposed site CDON. Work included information requests, site visit and production of report, faxed on October 15, 1997.

5.0 hrs @ \$100

\$ 500

**Total:**

**\$ 500**

Please remit to address below. SS# 449-78-9010

**DAVID SNAVELY, P.E.**

# DRC

PZ23-12000019  
03/20/2024

City of Pompano Beach  
\*\*\* CUSTOMER RECEIPT \*\*\*  
OPER: WILLIZ DW DRAWER: 1  
DATE: 9/02/97 01 RECEIPT: 0040370

DESCRIPTION	QTY	AMOUNT	TP	TH
97 12000042 PLANNING & ZONING	1	\$2408.10	PZ	CK

TIME: 8:16:41  
TOTAL CHECK

\$2408.10

CITY OF POMPANO BEACH  
BROWARD COUNTY  
FLORIDA

DEVELOPMENT ORDER  
(PRA NO. 9705031)

---

A DEVELOPMENT ORDER ISSUED BY THE PLANNING AND ZONING BOARD (LOCAL PLANNING AGENCY) OF THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA, PURSUANT TO CHAPTER 157 OF THE CODE OF ORDINANCES; APPROVING THE APPLICATION FOR DEVELOPMENT FOR R/S ASSOCIATES

WHEREAS, Section 157.05 of the Code of Ordinances defines the project referenced above as a Major Review; and

WHEREAS, Section 157.32 of the Code of Ordinances authorizes the Planning and Zoning Board (Local Planning Agency) to issue a final development order for the subject project which is construction of a 100 foot monopole telecommunications tower with an unmanned equipment building on the property known as 2900 West Sample Road.

WHEREAS, the Development Review Committee has met to review the project and has provided the applicant with written comments; and

WHEREAS, the Application for Development Permit complies with the applicable standards and minimum requirements of the Code; and

WHEREAS, the copies of the survey and site plan are attached hereto as Exhibits "A" and "B" respectively and are incorporated herein by reference as if set forth in full.

WHEREAS, it is the finding of the Planning and Zoning Board/Local Planning Agency that this proposed construction of a telecommunications tower meets the requirements of Section 155.072 of the Code of Ordinances as follows:

- 1) Construction of the tower is required because of technological reasons.
- 2) Construction of the tower is essential for the applicant to provide service.



# DRC

## DEVELOPMENT ORDER

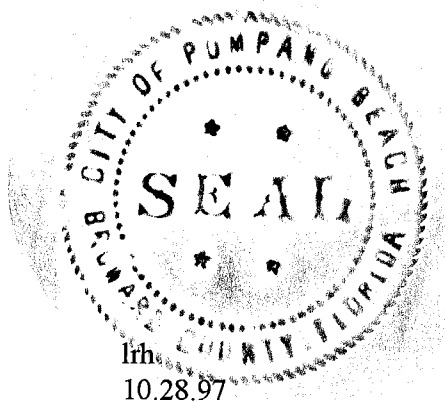
PZ23-120004 NO. 9705031

03/20/2024 Page 2

- 3) There is no suitable existing tower or antennae support structure site available.
- 4) No reasonable alternative technology exists to accommodate the applicant's telecommunications facility on the existing site.

Accordingly, the application for Development Permit is hereby approved by the Planning and Zoning Board/Local Planning Agency.

DONE AND ORDERED this 22nd day of October, 1997.



George Fivick  
GEORGE FIVICK  
Chairman

Planning and Zoning Board/Local Planning Agency

# DRC

ROBIN

## WEISS SEROTA & HELFMAN, P.A.

ATTORNEYS AT LAW

2665 SOUTH BAYSHORE DRIVE

SUITE 420

MIAMI, FLORIDA 33133

TELEPHONE (305) 854-0800

TELECOPIER (305) 854-2323

LILLIAN ARANGO DE LA HOZ\*  
ROY J. BARQUET  
MITCHELL A. BIERMAN  
NINA L. BONISKE  
DANIEL H. COULTOFF  
L. ROBERT ELIAS  
EDWARD G. GUEDES  
STEPHEN J. HELFMAN  
JILL A. JARKESY\*  
GILBERTO PASTORIZA  
ELLEN N. SAUL\*  
GAIL D. SEROTA\*  
JOSEPH H. SEROTA  
DANIEL A. WEISS\*  
RICHARD JAY WEISS  
DAVID M. WOLPIN  
STEVEN W. ZELKOWITZ

BROWARD OFFICE  
888 EAST LAS OLAS BOULEVARD  
SUITE 710  
FORT LAUDERDALE, FLORIDA 33301  
TELEPHONE (954) 763-1189

PALM BEACH OFFICE  
1872 SOUTHWEST 17TH STREET  
BOCA RATON, FLORIDA 33486  
TELEPHONE (561) 392-8762  
TELECOPIER (561) 392-7551

\*OF COUNSEL

December 9, 1997

Mr. Robin Bird, Planner  
City of Pompano Beach  
100 West Atlantic Blvd  
Pompano Beach, Florida 33061

PA# 9705031

Re: BellSouth Mobility Inc Cell Site CDON/R.S. Associates

Dear Mr. Bird:

Enclosed is a check in the amount of \$300.00 payable to the City of Pompano Beach for the annual registration fee for the above-referenced tower. Pursuant to our conversation, the annual registration shall run from the date that the City issues a building permit for this site.

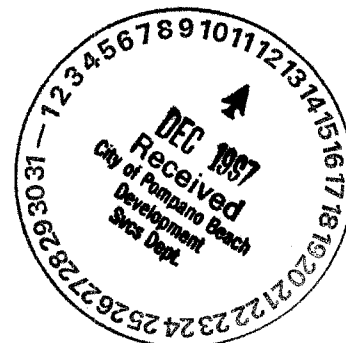
Very truly yours,



Nina L. Boniske

NLB/mas  
016.288  
Enclosure


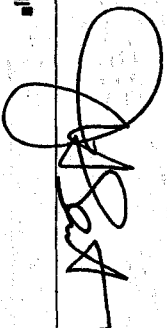
2900 west sample rd



# DRC

PZ23-12000019

03/26/2024

1909	
WEISS, SEROTA & HELFMAN, P.A. I.O.T.A. TRUST ACCOUNT 2665 SOUTH BAYSHORE DRIVE, SUITE 204 MIAMI, FL 33133	
DATE 12-10-97 63-9845 670	
PAY TO THE ORDER OF City of Pompano Beach	
\$ 300.00 **	
Three Hundred and no/100**----- DOLLARS	
 United National Bank Brickell Banking Center 1399 SW 1st Avenue Miami, Florida 33130	
FOR 016488 Annual Registration Fee for Tower	
(016428) 001909 0067009645 0055041892	
	

CITY OF POMPANO BEACH  
DEPARTMENT OF DEVELOPMENT SERVICES  
ADMINISTRATION REPORT NO. 98-030

**DATE:** October 14, 1997

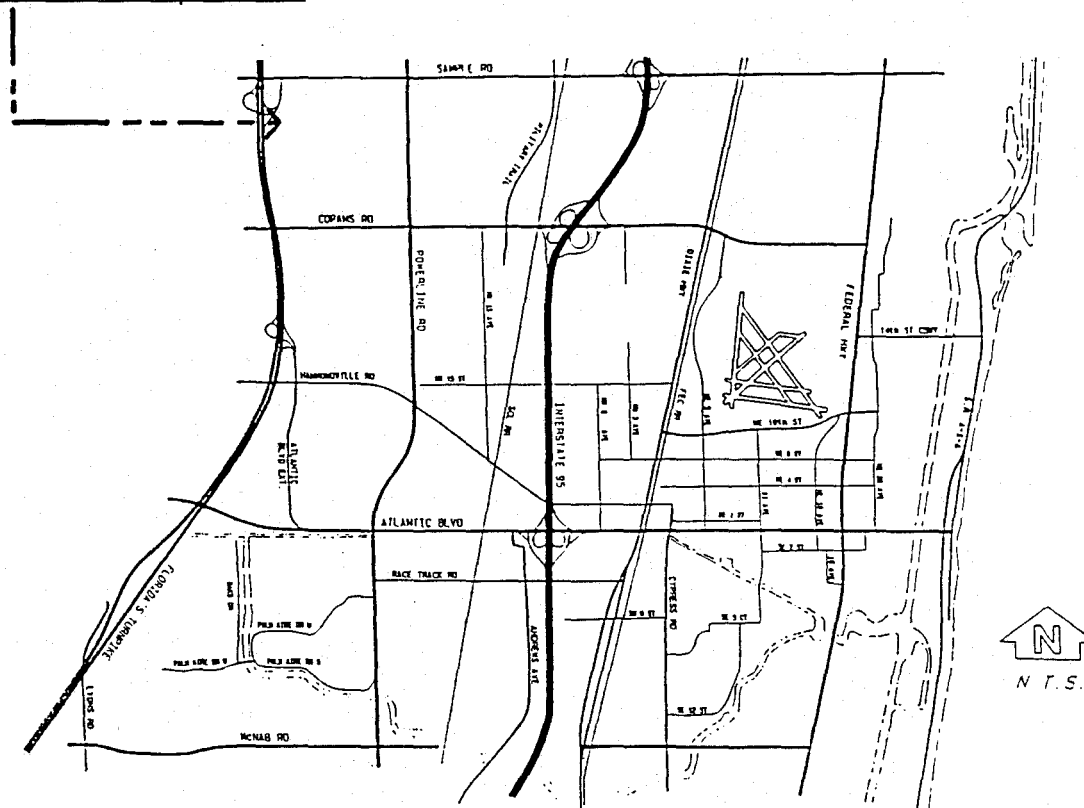
**TO:** Planning and Zoning Board/Local Planning Agency

**FROM:** Reagan Yarbrough, Acting Planning & Zoning Director

**RE:** Application for Site Plan Approval - R/S Associates (PRA 9705031)

The following is a brief summary of information on the subject and surrounding properties together with City departments, Development Review Committee and/or utility company comments. The applicant proposes to construct a 100 foot monopole telecommunications tower with an unmanned equipment building on the subject property which consists of .08 acres.

2900 West Sample Road



PZ23-12000019

03/20/2024

### FOR LAND USE PLAN

#### Classification Units/Acre

#### Symbol

Gross Residential Density

Residential

Estate 1 (or less) E

Low 1-5 L

Low-Medium 5-10 LM

Medium 10-16 M

Medium-High 16-25 MH

High 25-46 H

Commercial C

Commercial Recreation CR

\* Industrial I

Transportation T

Utilities U

Community Facilities CF

Recreation & Open Space OR

Water W

Regional Activity Center RAC

Boundaries

City of Pompano Beach - -

Number

Reflects the maximum total number of units permitted within the dashed line of Palm Aire & Cypress Bend being 9,724 and 1,998.



### FOR ZONING MAP

#### Symbol

RS-1

RS-2 One-Family Residential

RS-3

RS-4

RD-1 Two-Family Residential

RM-12 Multiple-Family Residential

RM-20

RM-30

RM-45

RPUD Residential Planned Unit Dev.

MH-12 Mobile Home Park

B-1 Limited Business

B-2 Neighborhood Business

B-3 General Business

B-4 Heavy Business

RO Residence Office

M-1 Marina Business

M-2 Marina Industrial

\* I-1 General Industrial

BP Business Parking

BSC Planned Shopping Center

\* PCI Planned Commercial / Industrial Overlay

PR Parks & Recreation

CR Commercial Recreation

CF Community Facilities

T Transportation

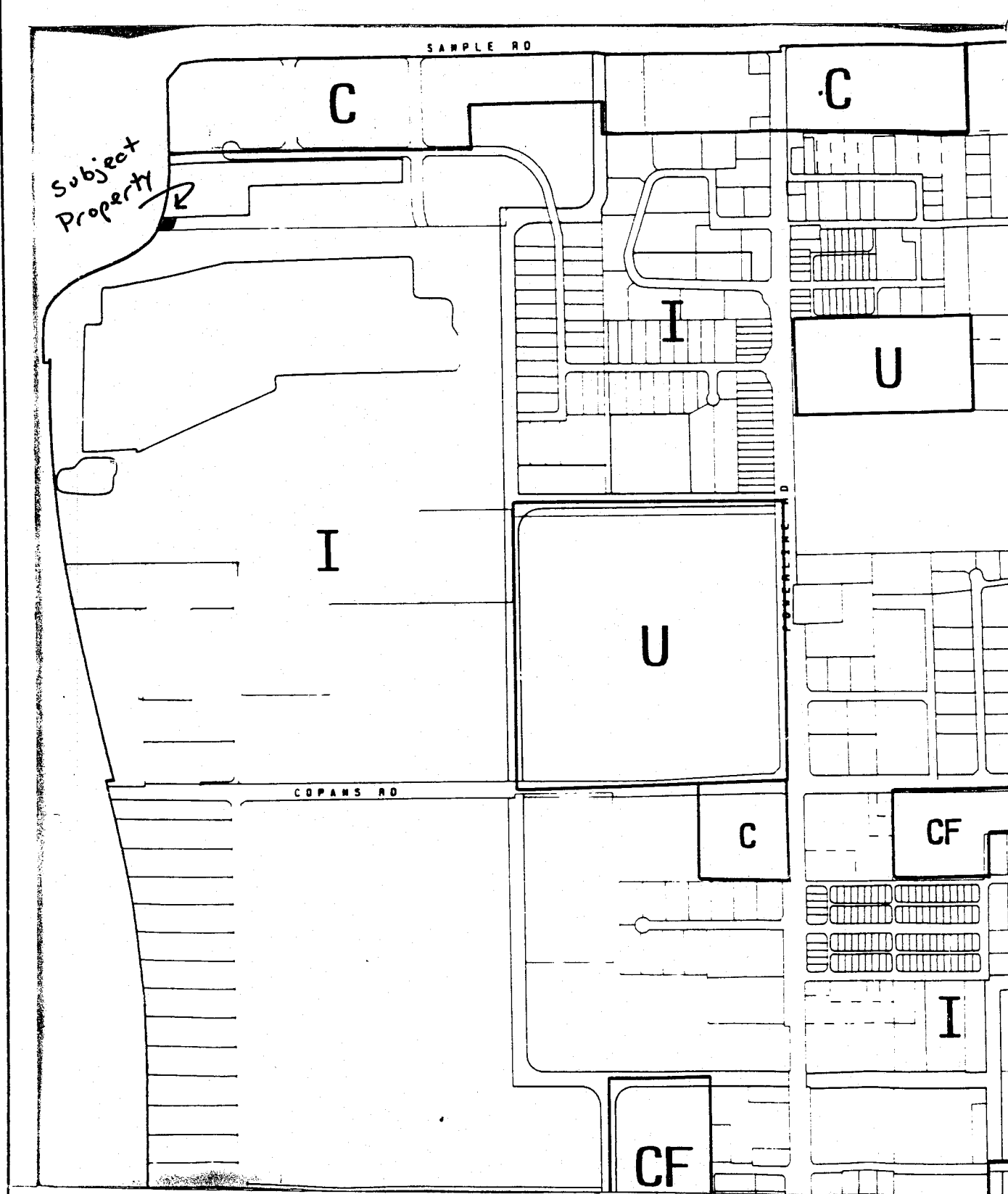
PU Public Utility

\* Existing  
> Proposed



## EXCERPT FROM THE CITY OF POMPANO BEACH LAND USE PLAN

PZ23-12000019  
03/20/2024

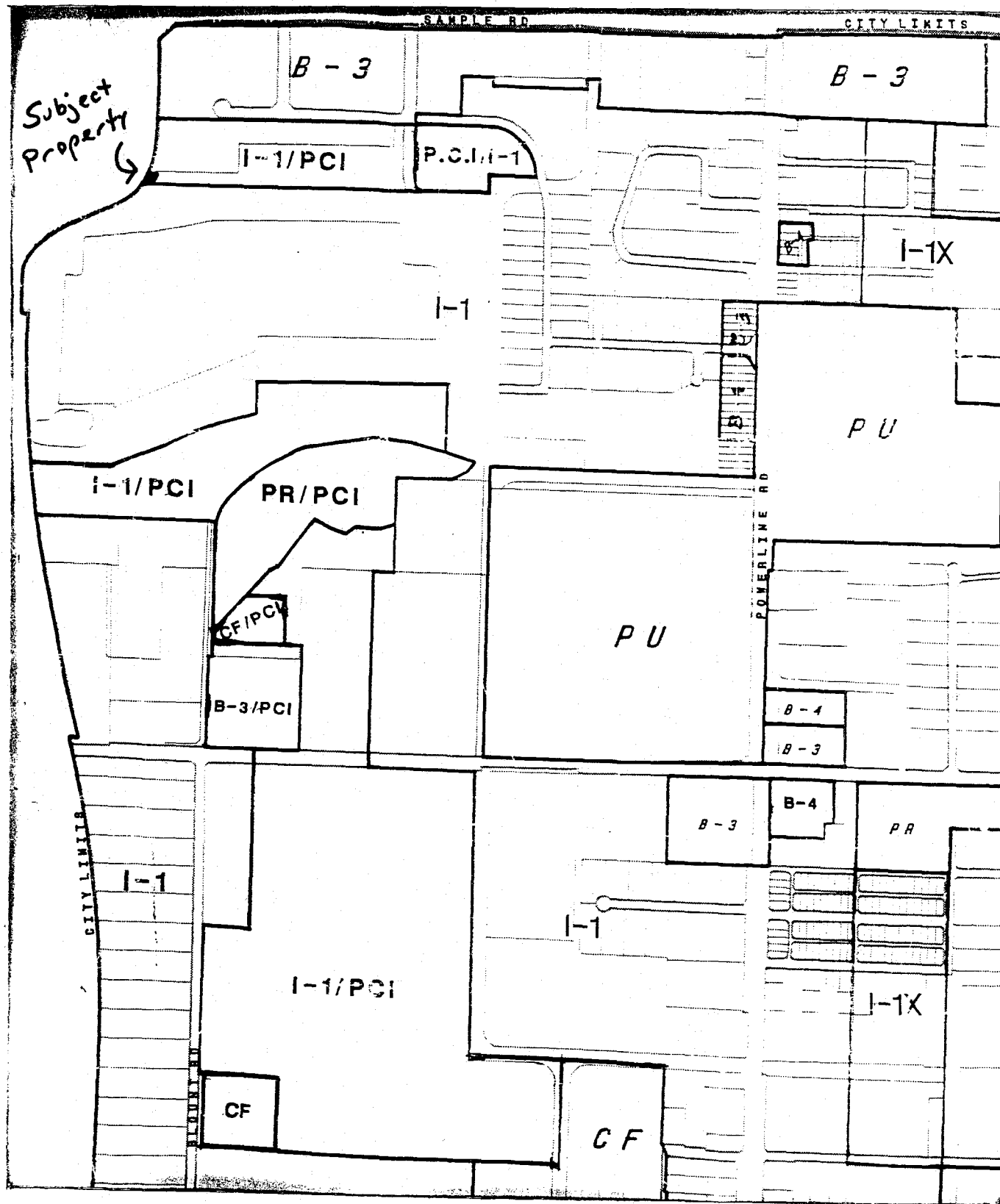


Scale: 1" = 1000'



## EXCERPT FROM THE CITY OF POMPANO BEACH ZONING MAP

PZ23-12000019  
03/20/2024



Scale: 1" = 1000'



# DRC

PZ23-12000019

03/20/2024

## CITY OF POMPANO BEACH AERIAL MAP



Scale: 1" = 300'

5



North



## REVIEW AND SUMMARY

**Pursuant to Section 157.31(A)** [Major Review: Development Review Committee Report and Notice to Applicant], the Planning & Zoning Director has compiled department reports which are summarized below:

Planning - Approved for concurrency.

Engineering - Broward County Department of Natural Resources Surface Water Management license required prior to permitting.

Police - Approved.

Fire - Approved.



## PLANNING AND ZONING RECOMMENDATION

This application has been reviewed according to the requirements of Section 155.072, Telecommunications towers and antennas, including a review by the City's technical consultant to insure that construction of the tower is required because of technological reasons and is essential for the applicant to provide its service; and that no suitable existing tower or antenna support structure site is available; and that no reasonable alternative technology exists to accommodate the applicant's telecommunications facility on an existing site.

# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061  
SEPTEMBER 5, 1997

NINA BONISKE, ESQ.  
WEISS, SEROTA, & HELFMAN  
2665 S. BAYSHORE DR, STE 420  
, 33133

Re: 97-12000042  
SPR-ANTENNA TOWER

Dear Applicant:

Pursuant to the City of Pompano Beach Land Development Regulations, a regularly scheduled meeting of the Development Review Committee (DRC) will be held on September 17, 1997, at 9:00 a.m., Room 301 Conference Room of City Hall at 100 West Atlantic Boulevard.

The application referenced above is scheduled to be reviewed at this meeting. The applicant/agent for the development permit under consideration is required to attend.

Should you have questions or comments, please call this office at 786-4634.

Sincerely yours,

Reagan Yarbrough, Acting Planning & Zoning Director

cc: J. Mark Leaf, Acting Director of Development Services

DRC

## WEISS SEROTA &amp; HELFMAN, P.A.

ATTORNEYS AT LAW

2665 SOUTH BAYSHORE DRIVE

SUITE 420

MIAMI, FLORIDA 33133

TELEPHONE (305) 854-0800

TELECOPIER (305) 854-2323

November 10, 1997

LILLIAN ARANGO DE LA HOZ\*  
 ROY J. BARQUET  
 MITCHELL A. BIERMAN  
 NINA L. BONISKE  
 DANIEL H. COULTOFF  
 L. ROBERT ELIAS  
 EDWARD G. GUEDES  
 STEPHEN J. HELFMAN  
 JILL A. JARKESY\*  
 GILBERTO PASTORIZA  
 ELLEN N. SAUL\*  
 GAIL D. SEROTA\*  
 JOSEPH H. SEROTA  
 DANIEL A. WEISS\*  
 RICHARD JAY WEISS  
 DAVID M. WOLPIN  
 STEVEN W. ZELKOWITZ

Mr. Reagan Yarbrough  
 Director of Planning  
 and Zoning  
 City of Pompano Beach  
 100 West Atlantic Blvd.  
 Pompano Beach, Florida 33061

Re: Cellular Tower/Development Order No. 9705031

Dear Reagan:

As part of the above-referenced application, BellSouth was required to pay a \$1,500 fee for the Engineering Consultant's review. It is my understanding that the balance of the fee is refundable depending upon the consultant's actual fee.

Accordingly, if Mr. Snavelly's fee was less than BellSouth's deposit, I ask that you have the City return the balance of funds to my client.

Thank you for your prompt attention to this matter.

Very truly yours,



Nina L. Boniske

NLB/mas  
 016.288 (CDON)  
 cc: Ms. Karen Burgett

*Ry: Attempt  
 in process - the  
 memo to Finance  
 went up yesterday  
 Nan*



EDWARD G. GUEDES  
 888 EAST LAS OLAS BLVD.  
 SUITE 710  
 FORT LAUDERDALE, FLORIDA 33301  
 TELEPHONE (954) 763-1189

PALM BEACH OFFICE  
 1872 SOUTHWEST 17TH STREET  
 BOCA RATON, FLORIDA 33486  
 TELEPHONE (561) 392-8762  
 TELECOPIER (561) 392-7551

\*OF COUNSEL

**DRC**  
INVOICE  
DATE 1/20/2024  
#FB1097  
PZ23-12000019  
03/20/2024

PO DESCRIPTION  
DAVID SNAVELY, PE  
AMOUNT 500.00  
for R/S Associates application PRA 9705031

DAVID SNAVELY PE 99 TOTAL \*\*\*\*\*500.00

CITY OF POMPANO BEACH  
P. O. DRAWER 1309  
POMPANO BEACH, FLORIDA 33061  
366319

Barnett Bank of South Florida, N.A.  
Pompano Beach, Florida

VENDOR NUMBER	DATE	CHECK NUMBER	NET AMOUNT
99	11/26/1997	366319	*****500.00

FIVE HUNDRED AND 00/100 DOLLARS

PAY  
TO THE  
ORDER  
OF

DAVID SNAVELY PE  
261 SW 63 AVE  
PLANTATION FL 33317

*Lawrence M. McNeil*

⑈366319⑈ ⑆067003985⑆ 3431011680⑈

*Mailed  
11/26/97*

**DRC**

INVOICE

PO

DESCRIPTION

CHECK NO

AMOUNT

1/24/1997 REFUND

WEISS SEROTA & HELFMAN

1,000.00

PZ23-12000019

For R/S Assoc site Plan Review PR# 9705031

03/20/2024

WEISS, SEROTA & HELFMAN

90

TOTAL \$1,000.00

CITY OF POMPANO BEACH

P. O. DRAWER 1300  
POMPANO BEACH, FLORIDA 33061

366491

Barnett Bank of South Florida, N.A.  
Pompano Beach, Florida

VENDOR NUMBER

99

DATE

11/26/1997

CHECK NUMBER

366491

NET AMOUNT

1,000.00

ONE THOUSAND AND 00/100 DOLLARS

PAY  
TO THE  
ORDER  
OF

WEISS, SEROTA & HELFMAN  
2665 S BAYSHORE DR 204  
MIAMI FL 33133

*Lawrence M. McTier*

⑈366491⑈ ⑆067003985⑆

3431011680⑈

*Mailed 11/26/97*



# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061  
SEPTEMBER 5, 1997

NINA BONISKE, ESQ.  
WEISS, SEROTA, & HELFMAN  
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Re: 97-12000042  
SPR-ANTENNA TOWER

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Should you have questions or comments, please call this office at 786-4634.

Sincerely yours,



Reagan Yarbrough, Acting Planning & Zoning Director

cc: J. Mark Leaf, Acting Director of Development Services

# DRC

PZ23-12000019

03/20/2024

93-543421 T#003  
11-30-93 02:51PM

\$ 5600.00  
DOCU. STAMPS-DEED

RECVD. BROWARD CTY  
B. JACK OSTERHOLT

COUNTY ADMIN.

↙  
This instrument was prepared  
by and return to:  
Steven L. Josias, Esquire  
JOSIAS & GOREN, P.A.  
3099 East Commercial Boulevard  
Suite 200  
Fort Lauderdale, FL 33308

## WARRANTY DEED

THIS INDENTURE, made this 2nd day of November, 1993,  
between GREENWIN FLORIDA INVESTMENTS, a Florida general partnership  
(hereinafter referred to as "Grantor") of 2201 NW 30th Place,  
Pompano Beach, Florida 33069 and R/S ASSOCIATES, a Pennsylvania  
limited partnership (hereinafter referred to as "Grantee"), of 555  
City Line Avenue, Suite 1170, Bala Cynwyd, Pennsylvania 19004.

\* OF FLORIDA

## W I T N E S S E T H:

That said grantor, for and in consideration of the sum of TEN  
AND NO/100THS (\$10.00) DOLLARS, and other good and valuable  
considerations to said grantor in hand paid by said grantee, the  
receipt whereof is hereby acknowledged has granted, bargained and  
sold to the said grantee, and grantee's heirs and assigns forever,  
the following described land, situate, lying and being in Broward  
County, Florida, to-wit:

Tract G of POMPANO INDUSTRIAL PARK THIRD ADDITION,  
according to the Plat thereof, as recorded in Plat Book  
111, Page 33 of the Public Records of Broward County,  
Florida.

Folio No. 18221-07-00600

and said grantor does hereby fully warrant the title to said land,  
and will defend the same against the lawful claims of all persons  
whomsoever.

BK2144160909

DRC

IN WITNESS WHEREOF, Grantor has hereunto set grantor's hand and seal to a day and year first above written.

PZ23-12900019

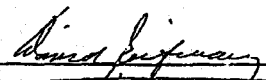
03/20/2024


Signed, sealed and delivered in the presence of:

GREENWIN FLORIDA INVESTMENTS  
A Florida General Partnership

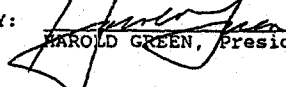
BY: FAITHFUL INVESTMENTS CORPORATION, a Florida corporation, as General Partner

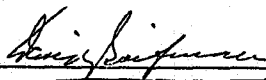
BY:   
HAROLD GREEN, President

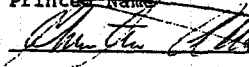
  
David Koifman  
Printed Name

  
Christine Attree  
Printed Name

BY: HAROLD GREEN CORPORATION, a Florida corporation, as General Partner

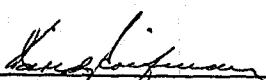
BY:   
HAROLD GREEN, President

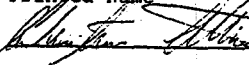
  
David Koifman  
Printed Name

  
Christine Attree  
Printed Name

BY: LRL REALTY AND INVESTMENTS CORPORATION, a Florida corporation, as General Partner

BY:   
STEVEN LATNER, President

  
David Koifman  
Printed Name

  
Christine Attree  
Printed Name

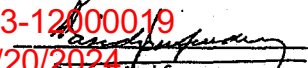
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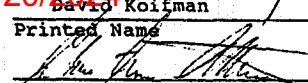
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# DRC

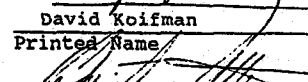
PZ23-12000019

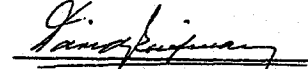
03/20/2024

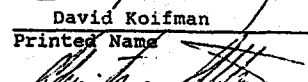
  
David Koifman  
Printed Name

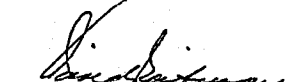
  
Christine Attree  
Printed Name

  
David Koifman  
Printed Name

  
Christine Attree  
Printed Name

  
David Koifman  
Printed Name

  
Christine Attree  
Printed Name

  
David Koifman  
Printed Name

/s/  
11/15/93  
9/16/93  
NSR/P/HARDEED.GFG  
910515

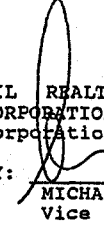
BY: MEANINGFUL INVESTMENTS  
CORPORATION, a Florida  
corporation, as General Partner

BY:   
HAROLD GREEN, President

BY: MEL REALTY AND INVESTMENTS  
CORPORATION, a Florida  
corporation, as General Partner

BY:   
MICHAEL E. LATNER  
Vice President

BY: JIL REALTY AND INVESTMENTS  
CORPORATION, a Florida  
corporation, as General Partner

BY:   
MICHAEL E. LATNER  
Vice President

BY: DAINY INVESTMENTS CORPORATION,  
a Florida corporation, as  
General Partner

BY:   
HAROLD GREEN, President

BK2144760911

**DRC**

David Koifman/Christine Attree

Printed Name

PZ23-12000019

03/20/2024

David Koifman

Printed Name

Christine Attree

Printed Name

David Koifman

Printed Name

Christine Attree

Printed Name

BY: EPL REALTY AND INVESTMENT CORPORATION, a Florida corporation, as General Partner

BY: Steven Latner

STEVEN LATNER  
Vice President

BY: ENDURING INVESTMENT CORPORATION, a Florida corporation, as General Partner

BY: Abraham J. Green

ABRAHAM J. GREEN, President

PROVINCE OF ONTARIO )

CANADA )

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgements, personally appeared HAROLD GREEN, as President of FAITHFUL INVESTMENTS CORPORATION, a United States corporation, as General Partner of GREENWIN FLORIDA INVESTMENTS, a Florida general partnership, on behalf of the Partnership. He is personally known to me ~~or has produced~~ as identification.

/s/  
11/15/93  
9/16/93  
NSR/FF/WARDEED.GFG  
910515





**DRC**  
PROVINCE OF ONTARIO )  
 ) SS.:  
CANADA )

PZ23-12003219  
03/20/94  
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgements, personally appeared HAROLD GREEN, as President of MEANINGFUL INVESTMENTS CORPORATION, a United States corporation, as General Partner of GREENWIN FLORIDA INVESTMENTS, a Florida general partnership, on behalf of the Partnership. He is personally known to me ~~or has produced~~ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 22nd day of November, 1993.

My Commission Expires:

n/a.

NOTARY PUBLIC

Ivan Thomas Flaschner

Printed Name

PROVINCE OF ONTARIO )  
 ) SS.:  
CANADA )

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgements, personally appeared STEVEN LATNER, as President of MEL REALTY AND INVESTMENTS CORPORATION, a United States corporation, as General Partner of GREENWIN FLORIDA INVESTMENTS, a Florida general partnership, on behalf of the Partnership. He is personally known to me ~~or has produced~~ as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 22nd day of November, 1993.

My Commission Expires:

n/a

NOTARY PUBLIC

Ivan Thomas Flaschner

Printed Name

PROVINCE OF ONTARIO )  
 ) SS.:  
CANADA )

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgements, personally appeared STEVEN LATNER, as President of JIL REALTY AND INVESTMENTS CORPORATION, a United States corporation, as General Partner of GREENWIN FLORIDA INVESTMENTS, a Florida general partnership, on behalf of the

1/1  
11/15/93  
9/16/93  
HSL/F/MARDEED.GFG  
910515

BK 2 T 4 4 4 P 6 0 9 1 5

DRC

WITNES my hand and official seal in the County and State last  
aforesaid this 22nd day of November, 1993.

PZ23-12000019

03/20/2024

My Commission Expires:

NOTARY PUBLIC

Ivan Thomas Flaschner

Printed Name

PROVINCE OF ONTARIO )

) SS.:

CANADA )

I HEREBY CERTIFY that on this day before me, an officer duly  
qualified to take acknowledgements, personally appeared ABRAHAM J.  
GREEN, as President of ENDURING INVESTMENT CORPORATION, a United  
States corporation, as General Partner of GREENWIN FLORIDA  
INVESTMENTS, a Florida general partnership, on behalf of the  
Partnership. He is personally known to me ~~or has produced~~  
~~as identification.~~

WITNESS my hand and official seal in the County and State last  
aforesaid this 22nd day of November, 1993.

My Commission Expires:

n/a

NOTARY PUBLIC

Ivan Thomas Flaschner

Printed Name

RECORDED & INDEXED  
DE DECEMBER 20, 1993  
COUNTY OF YORK

BK21444P60916

/s/  
11/15/93  
9/16/93  
HSR/JFARDEED.GFG  
910515

# DRC

## WEISS SEROTA & HELFMAN, P.A.

ATTORNEYS AT LAW

2665 SOUTH BAYSHORE DRIVE

SUITE 420

MIAMI, FLORIDA 33133

TELEPHONE (305) 854-0800

TELECOPIER (305) 854-2323

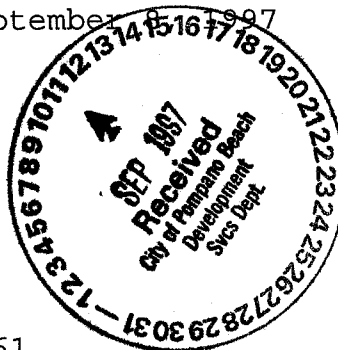
LILLIAN ARANGO DE LA HOZ\*  
ROY J. BARQUET  
MITCHELL A. BIERMAN  
NINA L. BONISKE  
DANIEL H. COULTOFF  
L. ROBERT ELIAS  
EDWARD G. GUEDES  
STEPHEN J. HELFMAN  
JILL A. JARKESY\*  
GILBERTO PASTORIZA  
ELLEN N. SAUL\*  
GAIL D. SEROTA\*  
JOSEPH H. SEROTA  
DANIEL A. WEISS\*  
RICHARD JAY WEISS  
DAVID M. WOLPIN  
STEVEN W. ZELKOWITZ

BROWARD OFFICE  
888 EAST LAS OLAS BOULEVARD  
SUITE 710  
FORT LAUDERDALE, FLORIDA 33301  
TELEPHONE (954) 763-1189

PALM BEACH OFFICE  
1872 SOUTHWEST 17TH STREET  
BOCA RATON, FLORIDA 33486  
TELEPHONE (561) 392-8762  
TELECOPIER (561) 392-7551

\*OF COUNSEL

September 8, 1997



Mr. Reagan Yarbrough  
Director of Planning  
and Zoning  
City of Pompano Beach  
100 West Atlantic Blvd.  
Pompano Beach, Florida 33061

Re: Site Application BellSouth Cell Site CDON

Dear Mr. Yarbrough:

Last week when I filed the Site Plan application for the above-referenced cellular site, I inadvertently omitted an Affidavit from Paul Scarpello, Exhibit "F." Enclosed please find the original Affidavit, along with six copies for insertion in the application package.

As we discussed, this Application will be reviewed by the DRC on September 17, 1997. If you need additional information prior to that date, please let me know.

Very truly yours,

  
Nina L. Boniske

NLB/mas  
016.288  
Enclosures

DRC

PZ23-12000019  
03/20/2024

OWNERS CERTIFICATE

This is to certify that I am the owner of the subject lands described in this APPLICATION FOR APPROVAL OF SITE PLANS and that I have authorized the filing of the aforesaid application.

Owner's Name R/S Associates, a Pennsylvania Limited Partnership  
(Print or Type)  
Address 2900 West Sample Road  
Pompano Beach, Florida 33073  
Phone (954) 979-4555  
Signature of Owner *[Signature]*

Sworn and subscribed before me this 29<sup>th</sup> day of July, 1997.  
*[Signature]*  
NOTARY PUBLIC, STATE OF FLORIDA Pennsylvania  
KATHLEEN DEPRINCE  
(Name of Notary Public: Print, Stamp, or Type as Commissioned.)

- ☒ Personally known to me, or  
☐ Produced identification: \_\_\_\_\_ (Type of Identification Produced)  
☐ DID take an oath, or ☐ DID NOT TAKE an oath.

NOTARIAL SEAL  
KATHLEEN DePRINCE, Notary Public  
Lower Merion Twp., Montgomery County, PA  
My Commission Expires May 2, 1999  
Member, Pennsylvania Association of Notaries





178 0001  
**DRC**

CITY OF POMPANO BEACH  
Project Fees Maintenance

8/29/97  
16:54:53

P223-12000019  
03/20/2024  
Project number . . . : 97 12000042  
Project description . : SPR-ANTENNA TOWER  
Deposit balance . . . : .00

Type options, press Enter.  
1=Select

Opt	Amt to Apply	Description	Previously Applied	Paid
-	.00	CONCURRENCY MANAGEMENT	.00	.00
-	.00	LANDSCAPE REVIEW RESIDENTIAL	.00	.00
-	.00	LANDSCAPE REVIEW NON-RES	302.70	.00
-	.00	SITE PLAN RESIDENTIAL	.00	.00
-	.00	SITE PLAN NON-RESIDENTIAL	2105.40	.00

F3=Exit F9=Display all F12=Cancel

**DEVELOPMENT REVIEW COMMITTEE  
REVIEW COMMITTEE  
SCHEDULED FOR 9/17/97**

The undersigned has reviewed and evaluated the Final Site Plan or Plat submitted to the City of Pompano to determine its conformity with applicable City codes and requirements and herewith makes the following comments and/or recommendations on the Final Site Plan/Plat entitled

New Cellular Tower @ 1900 W. Sample Road

(PRA 9705031)

---

Reviewer: *Robin Bird*

1. Provide evidence of legal paved access to the property.
2. The ingress/egress must be paved with associated perimeter landscaping as required by code.
3. Identify use of trailers on site indicated on the survey. Staff did not find any permits for these structures in this location.
4. Provide a tree survey of the subject site.
5. Provide an irrigation plan to meet current code requirements.
6. Landscape plan to be prepared by a landscape architect.
7. Applicant must resubmit 10 sets of revised plans two (2) weeks prior to a Planning and Zoning Board meeting. Planning and Zoning Board meets the fourth Wednesday of each month.

**DEVELOPMENT REVIEW COMMITTEE  
REVIEW COMMITTEE  
SCHEDULED FOR 9/17/97**

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3. Identify use of trailers on site indicated on the survey. Staff did not find any permits for these structures in this location.
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5. Provide an irrigation plan to meet current code requirements.
6. Landscape plan to be prepared by a landscape architect.
7. Applicant must resubmit 10 sets of revised plans two (2) weeks prior to a Planning and Zoning Board meeting. Planning and Zoning Board meets the fourth Wednesday of each month.

# DRC

PZ23-12000019  
03/20/2024

DEVELOPMENT REVIEW COMMITTEE  
REVIEW COMMITTEE  
SCHEDULED FOR 9/17/97

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NEW CELLULAR TOWER @ 2900 W. SAMPLE ROAD (PRA 9705031)

Reviewer: Robin Bird

(SEE ATTACHED COMMENTS)

Robin Bird, Planner

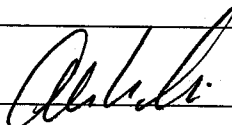
Alan Garcia, City Engineer

Gary Ilardi, Planner

Richard Saltz, Police Plans Review

Larry Schuster, Planner

Mike Jebsen, Fire Plans Review

  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

DRC

The City of Pompano Beach  
Application Tracking Action Log Inquiry

9/15/97  
16:25:54

Application . . . . . : 97 00005031  
Address . . . . . : 2900 NW 36 ST COMM  
Application type . . . : B-\*MINOR CONSTRUCTION/FENCE-97

POMP

Agency . . . . . : ENGINEERING DEPARTMENT  
Action date . . . . . : 9/15/97  
Action by . . . . . : GARCIA, ALAN  
Action type . . . . . : COMMENTS  
Time spent . . . . . : .30  
Date & time added . . : 9/15/97 16:22:35  
Added by . . . . . : GARALA

Comments  
NEED BCDNRP SURFACE WATER MANAGEMENT LICENSE PRIOR TO PERMIT  
APPROVED FOR DRC SITE PLAN APPROVAL  
NEED ENG. PERMIT AND FINAL PLAN APPROVAL PRIOR TO CONSTR.

Print

Press Enter to continue.  
F3=Exit F9=Expand comments F12=Cancel

DRC

BP 35502

The City of Pompano Beach  
Application Tracking Action Log Maintenance

9/15/97  
9:47:56

PZ23-12000019  
03/20/2024

Application number . . . . . : 97 00005031  
Address . . . . . : 2900 NW 36 ST COMM  
Application type . . . . . : B-\*MINOR CONSTRUCTION/FENCE-97  
Path/step/seq . . . . . : A 00 00  
Agency . . . . . : FIRE DEPARTMENT

POMP

Type information, press Enter.

Action date . . . . . : 9/15/97  
Action by . . . . . : 14 JEBSEN, MICHAEL  
Action code . . . . . : CMT COMMENTS  
Time spent (hours) . . . . . : \_\_\_\_\_.00  
Correction report item . . . . . : N Y=Yes,N=No

Seq	Comments	Print
1.00	*** DRC SITE PLAN APPROVED *****	—
2.00		—
3.00		—
4.00		—
		More...

F3=Exit    F9=Add std comment    F12=Cancel





PZ23-12000019  
03/20/2024

DEVELOPMENT REVIEW COMMITTEE  
REVIEW COMMITTEE  
SCHEDULED FOR 9/17/97

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Reviewer: Robin Bird

Robin Bird, Planner

\_\_\_\_\_

Alan Garcia, City Engineer

\_\_\_\_\_

Gary Ilardi, Planner

\_\_\_\_\_

Richard Saltz, Police Plans Review

\_\_\_\_\_

Larry Schuster, Planner

\_\_\_\_\_

Mike Jebson, Fire Plans Review

\_\_\_\_\_

# DRC

PZ23-12000019  
03/20/2024

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Reviewer: Robin Bird

APPROVED AS SUBMITTED

Robin Bird, Planner


Alan Garcia, City Engineer

Gary Ilardi, Planner

NEOW A. PEREZ  
~~NEOW A. PEREZ~~, Police Plans Review

Larry Schuster, Planner

Mike Jebson, Fire Plans Review



# DRC

**WAYNE E. VENSEL  
ARCHITECT, INC.**

PZ23-12000019

03/20/2024

1541 Sunset Drive, #303  
Coral Gables, FL 33143

(305) 662-1690

## LETTER OF TRANSMITTAL

DATE	10/17/21	JOB NO.	BE-12
ATTENTION	ROBIN BYNO		
RE:	BELLSOUTH SITE CDON		

TO CITY OF YON PAVO  
BEACH  
100 W. Atlantic Blvd.

WE ARE SENDING YOU ☒ Attached ☐ Under separate cover via \_\_\_\_\_ the following items:

- |   |  |                                |                                  |   |
|---|--|--------------------------------|----------------------------------|---|
| <input type="checkbox"/> Shop drawings  | <input checked="" type="checkbox"/> Prints | <input type="checkbox"/> Plans | <input type="checkbox"/> Samples | <input type="checkbox"/> Specifications |
| <input type="checkbox"/> Copy of letter | <input type="checkbox"/> Change order      | <input type="checkbox"/> _____ |                                  |   |

COPIES	DATE	NO.	DESCRIPTION
10		set	DRAWINGS w/ LANDSCAPE MOW SEAL
1		1	LETTER FROM LANDSCAPE ARCHITECT

THESE ARE TRANSMITTED as checked below:

- |  |   |   |
|--|---|---|
| <input type="checkbox"/> For approval  | <input type="checkbox"/> Approved as submitted    | <input type="checkbox"/> Resubmit _____ copies for approval   |
| <input checked="" type="checkbox"/> For your use   | <input type="checkbox"/> Approved as noted        | <input type="checkbox"/> Submit _____ copies for distribution |
| <input type="checkbox"/> As requested  | <input type="checkbox"/> Returned for corrections | <input type="checkbox"/> Return _____ corrected prints        |
| <input type="checkbox"/> For review and comment  | <input type="checkbox"/> _____                    |   |
| <input type="checkbox"/> FOR BIDS DUE _____ 19 _____ <input type="checkbox"/> PRINTS RETURNED AFTER LOAN TO US |   |   |

REMARKS \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

COPY TO NINA BONISIE, KAREN BURIED

SIGNED: \_\_\_\_\_



# DRC

PZ23-12000019  
03/20/2024



**TO: CITY OF POMPANO BEACH**

**RE: BELL SOUTH MOBILILTY**  
**CELLULAR SITE "CDON"**

Dear Sir or Madam:

Please accept this letter confirming that there is no existing vegetation on site.

Sincerely,

**Andrew M. Witkin, A.S.L.A.**  
**President**

AW/jax

c:\files\admin97\pompano\le

**WITKIN**  
**DESIGN GROUP**

LANDSCAPE  
ARCHITECTURE  
AND PLANNING

---

ALHAMBRA  
INTERNATIONAL  
CENTER

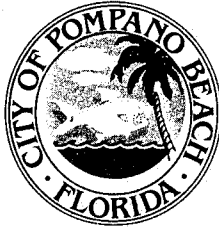
•  
2 5 5  
ALHAMBRA CIRCLE  
SUITE 720

•  
CORAL GABLES  
FLORIDA  
3 3 1 3 4

TELEPHONE  
305•443•2895

FACSIMILE  
305•442•4506

---



---

City of Pompano Beach, Florida

---

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061

September 25, 1997

David Snavelly, P.E.  
Electrical Engineer  
Engineering & Project Management  
261 S.W. 63rd Avenue  
Plantation, Florida 33317

Re: Request for Technical Review of the Application for a Bell South Tower  
Located at 2900 West Sample Road

Dear Mr. Snavelly:

We would appreciate your review and written opinion pursuant to Section 155.072(G)  
(Construction of New Telecommunications Towers) of the following:

- 1) Construction of the proposed tower is required because of technological reasons and is essential for the applicant to provide its telecommunications service; and
- 2) No suitable existing tower or antenna support structure site is available and no reasonable alternative technology exists to accommodate the applicant's telecommunications facility on an existing site.

..... / .....

# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061

September 25, 1997

Page 2

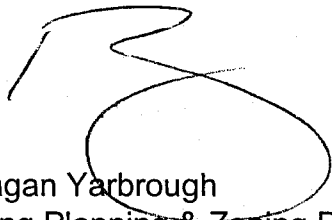
To assist in your determination, please find attached the following:

- 1) application
- 2) plat map
- 3) inventory of existing sites
- 4) FCC Radio Station Authorization
- 5) Affidavit from Stanley Olesiewicz
- 6) Affidavit from Jamie Kimble.

If you need additional documentation, please contact our office at (954) 786-4634.

Please submit your written findings along with an invoice for your services.

Yours truly,



Reagan Yarbrough  
Acting Planning & Zoning Director

RY:dmt

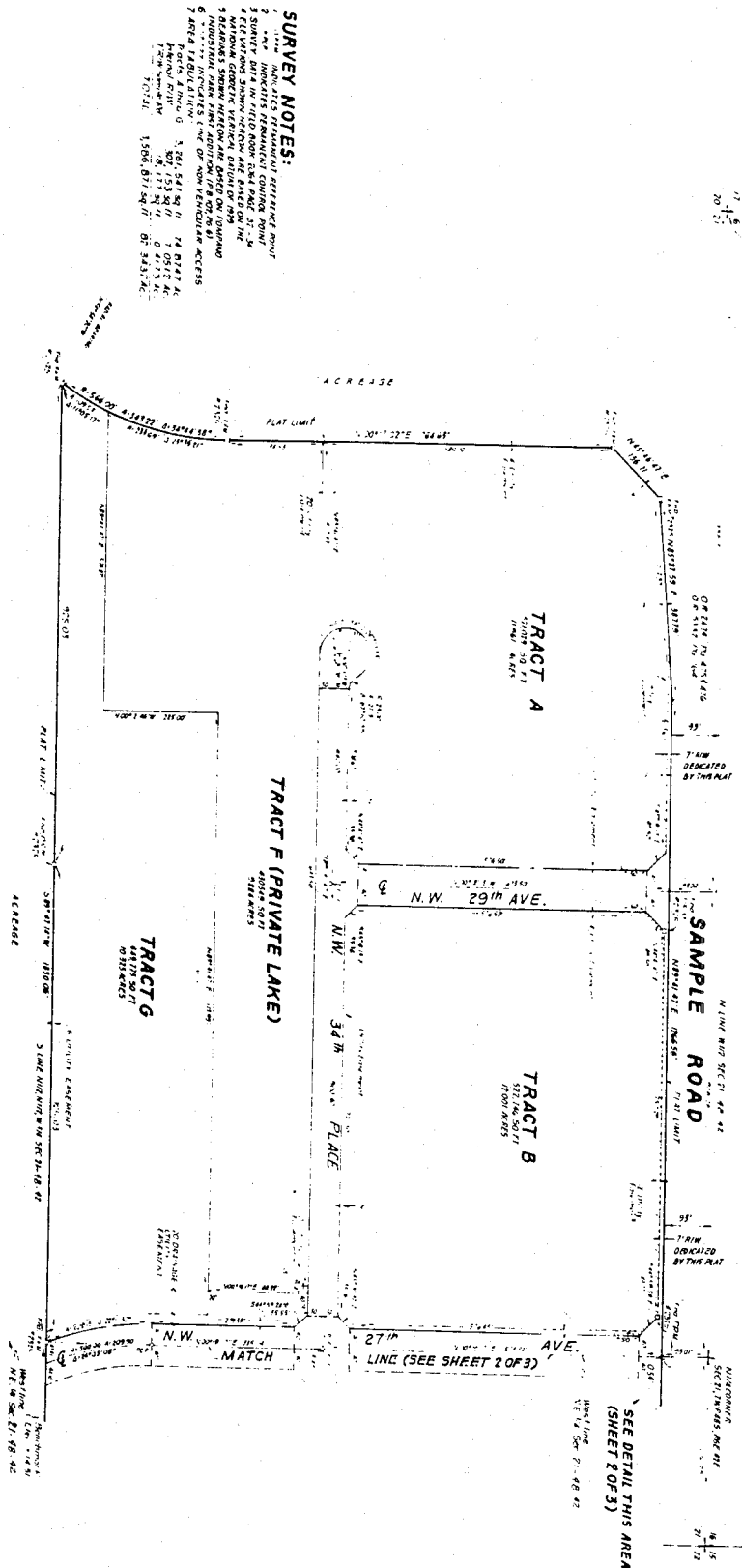
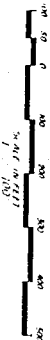
Attachments

✓ cc: PRA 9705031



## POMPANO INDUSTRIAL PARK THIRD ADDITION

A PARCEL OF LAND IN SECTION 21, TOWNSHIP 48 SOUTH, RANGE 42 EAST  
BROWARD COUNTY, FLORIDA



# DRC

PZ23-12000019

03/20/2024



City of Pompano Beach, Florida

DEPARTMENT OF DEVELOPMENT SERVICES

Post Office Drawer 1300

Pompano Beach, Florida 33061

September 25, 1997

David Snavely, P.E.  
Electrical Engineer  
Engineering & Project Management  
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..... / .....

# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061

September 25, 1997

Page 2

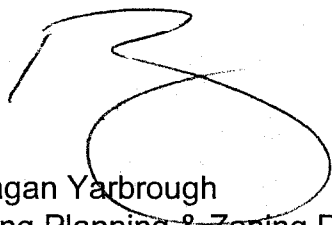
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- 6) Affidavit from Jamie Kimble.

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Please submit your written findings along with an invoice for your services.

Yours truly,



Reagan Yarbrough  
Acting Planning & Zoning Director

RY:dmt

Attachments

cc: PRA 9705031

**A PARCEL OF LAND IN SECTION 21, TOWNSHIP 48 SOUTH, RANGE 42 EAST  
BROWARD COUNTY, FLORIDA**

KEITH AND SCHNARS, P.A.  
ENGINEERS • PLANNERS • SURVEYORS  
1115 N. E. 47<sup>TH</sup> AVENUE  
FORT LAUDERDALE, FLORIDA

**SHEET 1 OF 3**

LOCATION SKETCH  
SEC. 21, TWP 40S, R6E 42E  
(NEAR TO S. 21)

**LAND DESCRIPTION:**  
A PORTION OF THE NORTH ONE-HALF

[illegible]

## DEDICATION

ALONG ALL NEIGHBORHOODS. THE COURT REAFFIRMED THE USE OF THE RINKE  
AND SINKING AREAS AS WELLS INCLUDING WITHIN THE STATE, HAS ORDERED THE LANDS TO BE  
SOLICITED, SINKING AND LITIGATION IN THE MANNER SHOWN HEREIN, BE KNOWN AS  
**PROPOSED INDUSTRIAL PARK TRACT, SECTION 10**  
ALL FORMER PROPOSED TOGETHER WITH THE USE OF EASEMENTS FOR THE CONSTRUCTION AND  
MAINTENANCE OF UTILITIES AND DRAINAGE.  
IN WITNESS WHEREOF, THE JUDGE HAS SIGNED THESE PRESENTS TO BE EXECUTED  
THIS 17th DAY OF JULY, 1981.

GREENWYN FLORIDA INVESTMENTS,  
A FLORIDA PARTNERSHIP  
BY ENSURING INVESTMENTS CORPORATION  
A FLORIDA CORPORATION

BY \_\_\_\_\_

## ACKNOWLEDGEMENT:

BEFORE HE PERSONALLY APPEARED. ARABIAN, LESTER, AND THE OTHERS TO ME WELL KNOWN AND KNOWN TO ME BY THE INDIVIDUALS DESIGNATED IN A WHO EXECUTED THE FOREGOING INSTRUMENT AS "INSTRUMENT" OF AND BEFORE ME THAT HE DESIGNATED A FLORIDA CORPORATION, AND ACKNOWLEDGED AS THE CORP. AND THAT HE HAD THE SIGNED INSTRUMENT AS SUCH OF THE CORPORATE SEAL OF SAID CORPORATION, AND THAT HE AFFIRMED TO SAID INSTRUMENT IS THE CORPORATE SEAL OF SAID CORPORATION, AND THAT HE AFFIRMED TO SAID INSTRUMENT BY DOE AND REGULAR CORP. AUTHORITY, AND THAT SAID INSTRUMENT WAS THE TRUE AND VALID DEED OF SAID CORPORATION.

MY COMMISSION  
15 Feb 1951

**MORTGAGEE'S CONSENT**  
TARONTO, 1955

THE UNDERSIGNED HEREBY CERTIFIES THAT IT IS THE ORDER OF A COMMITTEE UPON THE HEROES DESCRIBED PROPERLY AND DOES HEREBY, AND IS IN CONSENT TO THE DESTRUCTION OF THE FAMES DESCRIBED IN THE DEDICATION HERETO, BY THE OWNER HERETO, AND Awaits THE HIS ADMITTANCE, WHICH IS RECORDED IN OFFICIAL RECORDS OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN WITNESS WHEREOF, THE SAID CORPORATION HAS CAUSED THESE RESOLUTIONS TO BE SIGNED BY ITS ASSISTANT SECRETARY, ... AND ITS CORPORATE SEAL, TO BE AFFIXED HERETO, BY AND WITH AUTHORITY OF ITS BOARD OF DIRECTORS THIS ... DAY OF ... A.D. 1981.

# CANADIAN MATERIAL BANK OF COMMERCE

ASSISIANI, SELENE IAKH

### ACKNOWLEDGEMENT:

[illegible]

NOTARY PUBLIC

## SURVEYOR'S CERTIFICATE:

THIS IS TO CERTIFY THAT TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PLAN SHOWN HEREON IS A TRUE AND CORRECT REPRESENTATION OF THE LAND SURVEYED, THAT PERMANENT REFERENCE POINTS (P.M.P.'S) HAVE BEEN SET AS INDICATED HEREON, THAT PERMANENT CONTROL POINTS (P.C.P.'S) WILL BE SET WITHIN ONE YEAR OF THE RECORDING OF THIS PLAN, THAT THE SURVEY WAS MADE UNDER OUR RESPONSIBLE DIRECTION AND SUPERVISION, THAT THE SURVEYED DATA COMPLETES WITH ALL MEASUREMENTS OF CHAPTER 171, TOWN OF SUNDRIED, AND BROADBENT CONVEYANCE ACT, 1876, THAT THE ELEVATIONS SHOWN ARE BASED ON N.A. T.D. M 1985 AND CONFORM TO THE ACCURACY STANDARDS.

KEITH AND SCHWARTZ, PA

DATED: Nov. 16<sup>th</sup> 1981

FLORIDA REGISTRATION NO 1850

**SEALS**

DATE	DESCRIPTION	AMOUNT	BALANCE
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**BROWARD COUNTY PLANNING COUNCIL**  
THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVES

THIS IS TO CERTIFY THAT THE BROWARD COUNTY PLANNING COUNCIL APPROVED THIS PLAT WITH REGARD TO EASEMENT OF RIGHT OF WAY FOR TRAILWAYS BY RESOLUTION ADOPTED THIS      DAY OF      19      A.D. 1988

**BROWARD COUNTY CENTRAL SERVICES DEPT.  
ARCHIVES AND MINUTES DIVISION**

BY THE BOARD OF COUNTY COMMISSIONERS OF BROWARD COUNTY, FLORIDA, THIS  
2<sup>nd</sup> DAY OF February A D 1951

**BROWARD COUNTY ENGINEERING DIVISION**  
THIS PLAN IS APPROVED AND ACCEPTED FOR RECORD

04

**BROWARD COUNTY FINANCE DEPARTMENT  
RECORDING DIVISION**

THIS PLAN FILED FOR RECORD THIS DAY OF AD 1981  
AND RECORDED IN BOOK OF PLATS AT PAGE RECORD VERIFIED

**BROWARD COUNTY  
OFFICE OF PLANNING**

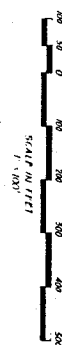
THIS PLAY IS APPROVED AND ACCEPTED FOR RECORD THIS  
AD 1981

**DIRECTOR**

POMPANO INDUSTRIAL PARK  
THIRD ADDITION  
PLAT BOOK 111 PAGE 33  
SHEET 1 of 3 SHEETS  
BROWARD COUNTY RECORDS

## POMPANO INDUSTRIAL PARK THIRD ADDITION

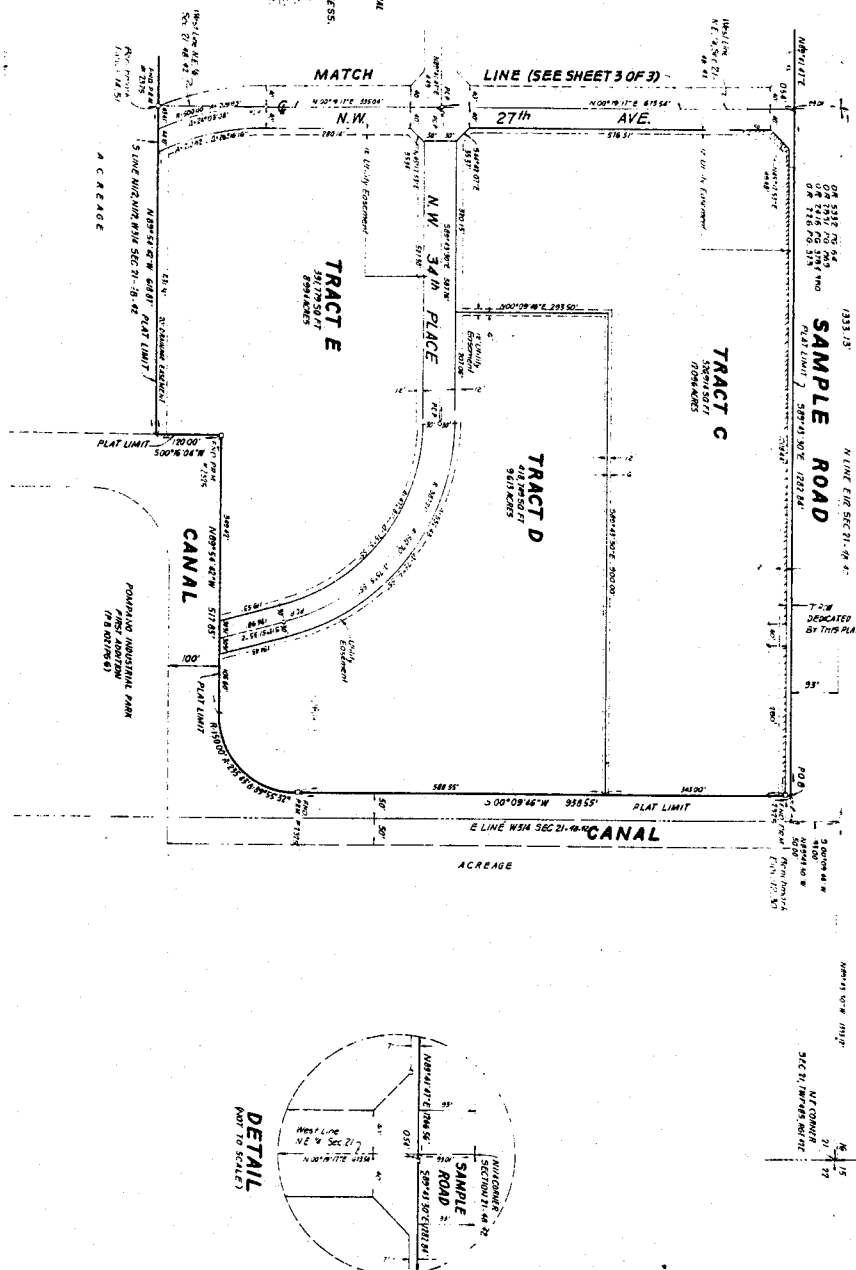
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BROWARD COUNTY, FLORIDA



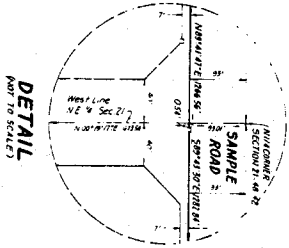
PLAT BOOK 111 PAGE 33  
SHEET 2 OF 3

PREPARED BY  
**KEITH AND SCHWAB, P.A.**  
ENGINEERS - PLANNERS - SURVEYORS  
1100 S. W. 10TH AVENUE  
FORT LAUDERDALE, FLORIDA

SEE DETAIL THIS AREA  
(BELOW)



**SURVEY NOTES:**  
1. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.  
2. ALL DIMENSIONS ARE BASED ON THE NATIONAL GEODETIC DATUM OF 1983.  
3. ALL DIMENSIONS ARE BASED ON THE NATIONAL GEODETIC DATUM OF 1983.  
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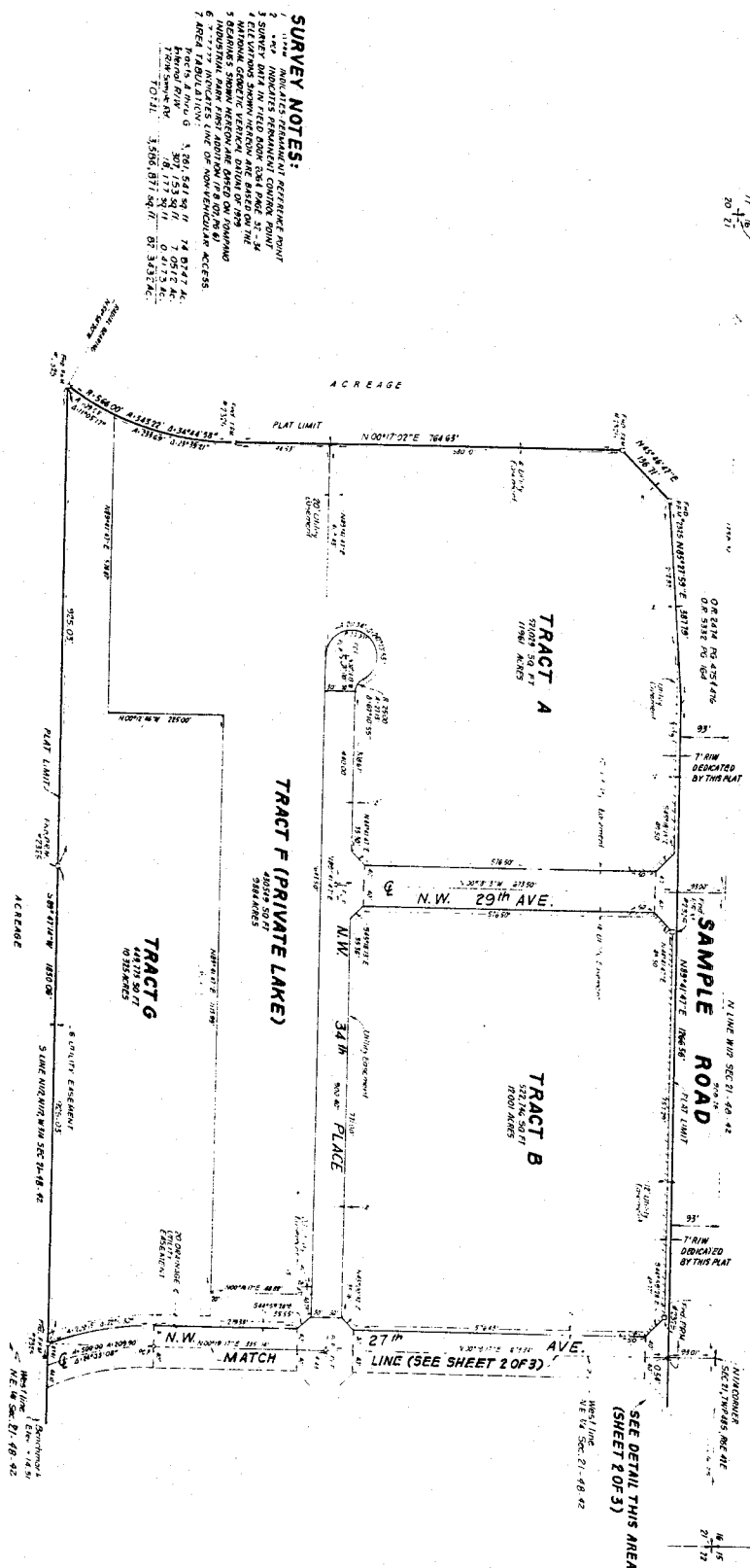


PZ23-12000019  
03/20/2024

**POMPAÑO INDUSTRIAL PARK  
THIRD ADDITION**

**PREPARED BY:**  
**KEITH AND SCHNARS, P.A.**  
**ENGINEERS-PLANNERS-SURVEYORS**  
**1115 N.E. 4TH AVENUE**  
**FORT LAUDERDALE, FLORIDA**

**SHEET 3 OF 3**





# EXHIBIT "A"

## INVENTORY OF EXISTING SITES

### POMPANO BEACH, FLORIDA

August 26, 1997

<u>Cell Site</u>	<u>Location</u>	<u>Facility</u>	<u>Height</u>	<u>Design</u>
CDHL	2695 N. Riverside Drive	Rooftop	132	9 directional panel antennas
CDO	750 E. Sample Road	Monopole	100	9 directional panel antennas
CDOW	2210 N. Powerline Road	Self-Support	100	10 directional panel antennas
CDXN	101 N.E. 16th Street	Monopole	100	9 directional panel antennas
CDXO	111 Briny Avenue	Rooftop	287	10 directional panel antennas
CDXS	1600 S. Federal Highway	Rooftop	140	9 directional panel antennas
CDXW	180 S.W. 3rd Street	Co-Location (City Tower)	180	9 directional panel antennas
CDZZ	1001 S.W. 46th Avenue	Monopole	100	9 directional panel antennas

Nina\Invent.BSM

# DRC

PZ23-12000019

03/20/2024

STATE OF FLORIDA )  
 ) ss  
COUNTY OF DADE )

**BEFORE ME**, the undersigned authority, personally appeared STANLEY OLESIEWICZ, ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is duly licensed in the State of Florida, as a professional surveyor and mapper, License No. 1633.
- (2) Affiant is employed by Leiter, Perez & Associates, Inc., which provides surveying services to BellSouth Mobility, Inc ("BellSouth") for numerous telecommunications installations throughout South Florida.
- (3) Affiant has direct knowledge of the proposed cell site located at 2900 West Sample Road, specifically located at the Southwest corner of the property known as the Festival Flea Market (the "Site").
- (4) At the request of BellSouth, the Affiant performed a survey of the proposed site to locate any existing towers or antenna support structures within a radius equal to the minimum distance between towers specified in Section 155.072(G)(5)(d)(3) of the City Code.
- (5) The required height of the proposed monopole for this site as determined by BellSouth is 100 feet.
- (6) Based upon the minimum tower separation distances listed in the Code, the Affiant found no existing towers or antenna support structures between the heights of fifty (50) to one-hundred (100) feet within a seven hundred and fifty (750) foot radius of the proposed monopole.
- (7) Based upon the minimum tower separation distances listed in the Code, the Affiant found no existing towers between the heights of one hundred and one (101) feet and one hundred and fifty (150) feet within a one thousand

# DRC

PZ23-12000019  
03/20/2024

(1,000) foot radius of the proposed monopole.

- (8) Based upon the minimum tower separation distances listed in the Code, the Affiant did locate lighting fixtures on the adjacent turnpike property that measure approximately one hundred (100) feet in height within a one thousand (1,000) foot radius of the proposed monopole.
- (9) This Affidavit is made at the request of BellSouth as part of the site plan application package for Bell site CDON.

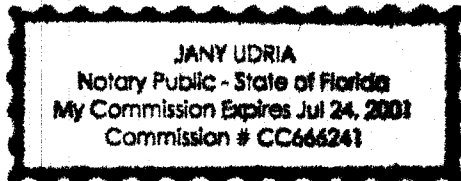
AFFIANT:


By: 

Print Name: Stanley Olesiewicz

STATE OF FLORIDA  
COUNTY OF DADE

Sworn to and subscribed before me this 14th day of August, 1997.



  
NOTARY PUBLIC,

Print Name: Jany Udria

Commission No.: CC 666241

Commission Expires: July 24, 2001

PZ23-12000019

03/20/2024

**AFFIDAVIT OF JAMIE KIMBLE**  
**FOR CELL SITE CDON**

STATE OF FLORIDA       )  
                                  ) ss  
COUNTY OF BROWARD    )

**BEFORE ME**, the undersigned authority, personally appeared JAMIE KIMBLE, ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is employed by BellSouth Mobility Inc ("BellSouth") as the manager of Radio-Frequency Engineering in the Radio Frequency Department.
- (2) Affiant is responsible for the determination of BellSouth's coverage needs throughout South Florida. The coverage requirements are dictated by the Radio Frequency Grid.
- (3) BellSouth has identified an area within the City of Pompano Beach that has a deficiency in coverage for the provision of its wireless services. The geographic search area is located in the vicinity of the Florida Turnpike and Sample Road. It extends approximately  $\frac{1}{4}$  to  $\frac{1}{2}$  mile in all directions from this interchange.
- (4) Affiant has direct knowledge of the proposed cell site located at 2900 W. Sample Road (the "Site") and the needs of BellSouth.

# DRC

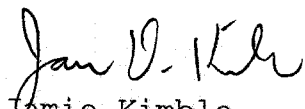
PZ23-12000019

03/20/2024

- (5) The proposed Site is within the identified search area and has been tested for radio frequency coverage and meets the requirements of BellSouth to correct the deficiency of coverage in this geographic area.
- (6) The site will serve two functions by providing additional coverage and system capacity in the Florida Turnpike road area. The primary need is to provide the additional coverage for the portable traffic along the Turnpike. Currently we are unable to provide the necessary serving signal to portable phones creating a condition of poor C/I (Signal to Interference ratio). This type of condition results in poor call quality and in some case the inability to complete calls.
- (7) Based upon the above described technical specifications and the wireless systems geographic location requirements, no suitable existing tower or antenna support structure is available and no reasonable alternative technology exists that can accommodate BellSouth's telecommunication facilities on an existing site.
- (8) The proposed tower or telecommunications facilities cannot be installed or collocated on another person's tower or antenna support structures located within a radius equal to the minimum distance between towers as required by Section 155.072 of the City Code from the proposed tower Site as there are no towers or antenna support structures in the geographic search area; therefore, the tower must be located at the Proposed site to meet the radio frequency coverage requirements of BellSouth's wireless communications system.
- (9) This Affidavit is made at the request of BellSouth as part of the Tower application package for cell site CDON.

**AFFIANT:**

By:

Name:  Jamie Kimble

# DRC

PZ23-12000 STATE OF FLORIDA

03/20/2024

COUNTY OF Palm Beach

Sworn to and subscribed before me this 29<sup>th</sup> day of August, 1997.

016\479\Aff.Kim

NOTARY PUBLIC,

PrintName: Susan Anita LeBrun

Commission No.: 10/13/ CC592882

Commission Expires: 10/13/2000

Susan Anita LeBrun



SUSAN ANITA LEBRUN

My Comm Exp. 10/13/2000

Bonded By Service Ins

No. CC592882

( ) Personally Known ( ) Other I.D.



# DRC

 **BELLSOUTH Mobility**

PZ23-12000019

03/20/2024

EW. G.

**BellSouth Mobility**  
5201 Congress Avenue  
Boca Raton, Florida 33487

561 995-3000

*August 28, 1997*

*Mr. Reagan Yarbrough  
Director of Planning and Zoning  
City of Pompano Beach  
100 West Atlantic Blvd.  
Pompano Beach, FL 33061*

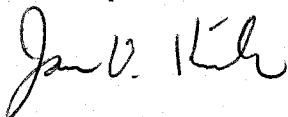
**Re: BellSouth Mobility Inc. Application for Site Plan Approval**  
**Location: 2900 W. Sample Road**  
**Cell Site: CDON**

*Dear Mr. Yarbrough:*

*This letter is submitted in support of the application for development of a tower pursuant to Section 155.072 (G) (4) (e) of the City Code.*

*This letter is to certify that the proposed monopole structure planned for the site CDON will be designed following all FCC requirements to assure that the construction and placement of the tower will produce minimal signal interference with public safety communications and the usual and customary transmission or reception of radio, television, or other communications services enjoyed by adjacent residential and non-residential properties.*

*Sincerely,*



**Jamie D. Kimble**  
**Manager, RF Engineering**  
**BellSouth Mobility**

*Cc: Ms. Karen Burgett*

PZ23-12000019

03/20/2024

AFFIDAVIT OF PAUL SCARPELLO  
FOR CELL SITE CDON

STATE OF FLORIDA       )  
                              ) ss  
COUNTY OF BROWARD    )

BEFORE ME, the undersigned authority, personally appeared PAUL SCARPELLO ("Affiant") who, being first duly sworn upon oath, deposes and says:

- (1) Affiant is an independent Telecommunications Consultant and has provided consulting services to BellSouth Mobility Inc ("BellSouth") for the past 2 years.
- (2) Affiant's services include the location and siting of cellular transmitting facilities for BellSouth throughout the South Florida area.
- (3) In locating the proposed cell site located at 2900 West Sample Road, (the "Site"), the Affiant was directed to acquire a site that met BellSouth's Radio Frequency Grid, the appropriate City Codes and was capable of supporting BellSouth's antennas at a height of 100 feet.
- (4) Affiant was responsible for the location and acquisition of the Site, has direct knowledge of the Site and is familiar with the properties located in the surrounding area, including the applicable zoning and land use designations.
- (5) Affiant has reviewed the Affidavit of Stanley Olesiewicz, Surveyor, prepared by Leiter, Perez and Associates dated August 14, 1997, and has personal knowledge of the light fixtures located on the adjacent Florida Turnpike property; however, Affiant was advised by BellSouth that the light fixtures were not usable antenna support structures.
- (6) Affiant made diligent efforts for permission to install or collocate BellSouth's telecommunication facilities on all city-owned towers or antenna support structures located within a radius equal to the minimum distance between towers from the proposed tower site; however, Affiant was unsuccessful in locating on existing structures as both Affiant and the surveyor's investigation of the geographic area indicated that there were no existing towers or antenna support structures located within the designated search area.

# DRC

PZ23-12000019

03/20/2024

(7) This Affidavit is made at the request of BellSouth as part of the Tower application package for cell Site CDON.

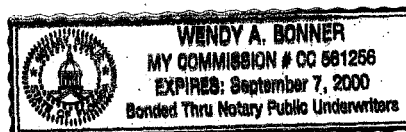
AFFIANT:

Paul Scarpello  
Paul Scarpello

Sworn to and subscribed before me this 5th <sup>Sept</sup>~~August~~, 1997.

Wendy A Bonner  
NOTARY PUBLIC  
Print Name: Wendy Bonner  
Commission No.: \_\_\_\_\_  
Commission Expires: \_\_\_\_\_

016\288\Affidavit.sca



DRC

08-9-1987 10:28 BMI RE

TEL: 407 995 3594

P. 003

PZ23-12000019

03/20/2024

Exhibit "B"



United States of America  
Federal Communications Commission  
**RADIO STATION AUTHORIZATION**  
Cellular Radiotelephone Service

FLORIDA CELLULAR SERVICE, INC.  
1100 PEACHTREE STREET  
SUITE 14E06  
ATLANTA, GA 30309

Call Sign: KNKA225

Market: 0012      Channel Block: B-1      SID: 0024, 1990  
Market Name:      MIAMI, FLORIDA

The Licensee hereof is authorized, for the period indicated, to operate a radio transmitting station in accordance with the terms and conditions hereinafter described. This authorization is subject to the provisions of the Communications Act of 1934, as amended, subsequent Acts of Congress, international treaties and agreements to which the United States is a signatory, and all pertinent rules and regulations of the Federal Communications Commission, contained in Title 47 of the Code of Federal Regulations.

Initial Grant Date..... May 31, 1984

Expiration Date..... October 01, 2004

**WAIVERS / CONDITIONS:**

Pursuant to Section 309(h) of the Communications Act 1934, as amended, (47 U.S.C. § 309(h)), this authorization is subject to the following conditions: (1) This authorization does not vest in the licensee any right to operate a station nor any right in the use of the electromagnetic spectrum designated herein beyond the term thereof nor in any other manner than authorized herein. (2) Neither this license nor the right granted thereunder shall be assigned or otherwise transferred in violation of the Communications Act of 1934, as amended (47 U.S.C. § 151, *et. seq.*). (3) This authorization is subject in terms to the right of use or control conferred by Section 706 of the Communications Act of 1934, as amended (47 U.S.C. § 606).

This authorization does not convey to the licensee the right to receive protection from the capture of subscriber traffic, co-channel interference or first-adjacent-channel interference in any area outside of the authorized cellular geographic service area (CGSA) of the system. Moreover, any facility authorized herein with a service area boundary (SAB) extending into the CGSA of any other operating cellular system on the same channel block, regardless of when such other cellular system was authorized, is subject to the following condition: In the event that the licensee of the other cellular system requests that the SAB of the facilities authorized herein be removed from its CGSA, the licensee herein must reduce transmitting power or antenna height (or both) as necessary to remove the SAB from the CGSA, unless written consent from the licensee of the other cellular system, allowing the SAB extension to remain, is obtained.

Issued by IFG on Wednesday January 29, 1997  
FCC Form 463A

**DRC**

P72 0101

**CITY OF POMPANO BEACH  
Project Names Inquiry**

11/10/97  
11:09:04

Project number . . . : 97 12000042  
Project description . : SPR-ANTENNA TOWER  
P2291200042  
03/20/2024

**AGENT**

NINA BONISKE, ESQ.  
WEISS, SEROTA, & HELFMAN  
2665 S.BAYSHORE DR, STE 420  
MIAMI

FL 33133

Phone . : 305 854-0800  
Fax . . :  
Mobile . :

**PROPERTY OWNER**

R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
Owner of . : 2900 NW 36 ST COMM  
8221-07-D -TRACTS A & B TOGE

Phone . : 494-8881  
Fax . . :  
Mobile . :

POMP

Press Enter to continue.  
F3=Exit F12=Cancel

# DRC

PZ23-12000019

03/20/2024

## WEISS SEROTA & HELFMAN, P.A.

ATTORNEYS AT LAW

2665 SOUTH BAYSHORE DRIVE

SUITE 420

MIAMI, FLORIDA 33133

TELEPHONE (305) 854-0800

TELECOPIER (305) 854-2323

ROY J. BARQUET  
STEPHEN S. BODDEN  
NINA L. BONISKE  
DANIEL H. COULTOFF  
L. ROBERT ELIAS  
EDWARD G. GUEDES  
STEPHEN J. HELFMAN  
JILL A. JARKEYS\*  
GILBERTO PASTORIZA  
ELLEN N. SAUL\*  
GAIL D. SEROTA\*  
JOSEPH H. SEROTA  
DANIEL A. WEISS\*  
RICHARD JAY WEISS  
DAVID M. WOLPIN  
STEVEN W. ZELKOWITZ

### BROWARD OFFICE

888 EAST LAS OLAS BOULEVARD

SUITE 710

FORT LAUDERDALE, FLORIDA 33301

TELEPHONE (954) 763-1189

### PALM BEACH OFFICE

1872 SOUTHWEST 17TH STREET

BOCA RATON, FLORIDA 33486

TELEPHONE (561) 392-8762

TELECOPIER (561) 392-7551

\*OF COUNSEL

August 28, 1997

Mr. Reagan Yarbrough  
Director of Planning  
and Zoning  
City of Pompano Beach  
100 West Atlantic Blvd.  
Pompano Beach, Florida 33061

**Re: BellSouth Mobility Inc Application for Site Plan Approval**  
**Location: 2900 W. Sample Road**  
**Cell Site: CDON**

Dear Mr. Yarbrough:

As you know, the undersigned represents R.S. Associates (the owner of the property) and BellSouth Mobility Inc in reference to the pending application to construct a telecommunications facility on a parcel of land located at the Festival Flea Market. The plans have previously been reviewed by the DRC, the Industrial Development Board, the Planning and Zoning Board, and the Zoning Board of Appeals. However, in light of the new requirements of the Telecommunications Ordinance, I am providing supplemental documentation, as well as a site plan application package.

It is my understanding that the permitting procedure under the Telecommunications Ordinance requires receipt of a development order from the Planning and Zoning Board. Bearing in mind that these same plans have received significant review, I request that this application be scheduled for the September Planning and Zoning Board meeting, if possible. Accordingly, I have enclosed the following documentation:

1. Three (3) original site plan applications;
2. Duplicate original owner Consent Forms;
3. Seven (7) sets of plans (including survey);



4. A copy of the deed to the property;
5. A copy of the plat; and
6. The following documents are submitted to comply with the requirements of Sec. 155.072(G) (4) of the City Code:

- a. The fee established for an application for site plan approval as specified in Chapter 157 along with \$1,500.00 to cover the costs of review of the application by the City's engineering consultant;

Enclosed are three (3) checks for the following payments: \$605.40 for site plan review; \$302.70 for landscape review, and \$1,500.00 for engineering consultant review.

- b. The inventory of existing sites required in Section D(6) of this ordinance;

See: Inventory of existing sites. Exhibit "A."

- c. Copies of the licenses or franchises required to be filed with the City pursuant to Section D(9);

See: F.C.C. Cellular Radiotelephone Service License dated January 29, 1997. Exhibit "B."

- d. A scaled site plan clearly indicating the location, type and height of the proposed tower, on-site land uses and zoning, elevation drawings of the proposed tower, topography, and any other information deemed by the City to be necessary to assess compliance with this ordinance;

See: Attached plans prepared by Wayne Vensel, Architect.

- e. A certification that the applicant will comply with all applicable federal, state or local laws including all the provisions of this ordinance;

See: Letter from BellSouth Mobility Inc. Exhibit "C."

- f. The names, addresses and telephone numbers of all owners of other towers or antenna support structures within a radius equal to the minimum distance between towers as required by this

ordinance of the proposed new tower site, including city-owned property;

There are no usable towers or antenna support structures.

See: Affidavit of Stanley Olesiewicz, Surveyor. Exhibit "D"; and Affidavit of Jamie Kimble, Manager RF Engineering, BellSouth Mobility Inc. Exhibit "E."

- g. Written documentation in the form of an affidavit that the applicant made diligent, but unsuccessful efforts for permission to install or collocate the applicant's telecommunications facilities on all city-owned towers or antenna support structures located within a radius equal to the minimum distance between towers as required by this ordinance of the proposed tower site;

There are no City-owned towers or antenna support structures within the radius.

See: Affidavit of Stanley Olesiewicz. Exhibit "D" and Affidavit of Paul Scarpello. Exhibit "F."

- h. Written, technical evidence from an engineer that the proposed tower or telecommunications facilities cannot be installed or collocated on another tower or antenna support structure located within a radius equal to the minimum distance between towers as required by this ordinance of the proposed tower site and must be located at the proposed site in order to meet the coverage requirements of the applicant's wireless communications system; and

See: Affidavit of Jamie Kimble, Manager RF Engineering, BellSouth Mobility Inc. Exhibit "E."

- i. Each application to allow construction of a tower shall include a written statement from an engineer that the construction and placement of the tower shall produce minimal signal interference with public safety communications and the usual and customary transmission or reception of radio television, or other communications services enjoyed by adjacent residential and non-residential properties.

# DRC


PZ23-120000.19 Reagan Yarbrough  
August 28, 1997  
03/20/2024  
Page 4

See: Letter from Jamie Kimble, Manager RF  
Engineering, BellSouth Mobility Inc. Exhibit "G."

BellSouth's radio frequency engineers are available to meet  
with your consultant should additional technical information be  
required.

Please let me know if I need to provide you with additional  
documentation.

Very truly yours,



Nina L. Boniske

NLB/mas  
016.288  
Enclosures  
cc: Ms. Karen Burgett

# DRC

PZ23-12000019

03/20/2024

## CITY OF POMPANO BEACH, FLORIDA

Application for

## A P P R O V A L   O F   S I T E   P L A N S

\* \* \* \* \*

Please take notice that, pursuant to Section 155.<sup>072</sup> of the Code of Ordinances, the undersigned requests a review, recommendation and approval of development plans on the following described property zoned I-1 PCI Modif.

Lot(s) \_\_\_\_\_ Block \_\_\_\_\_ Subdivision \_\_\_\_\_

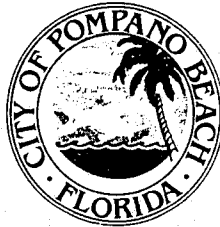
or Acreage: Tract "G" of Pompano Industrial Park Third Addition,  
Plat Book III, Page 33Project Street Address: 2900 W. Sample RoadImprovements located on property The parent parcel contains a retail outlet  
known as the Festival Flea Market and parking lots for the MarketProposed development Cellular communications facility consisting of an  
unmanned telecommunications facility and a 100 foot monopole support  
structure with antennasPermit Review Application (PRA) No. 9705031SPR 2105.40  
LPR 302.70

Review Fee Paid - Receipt # \_\_\_\_\_

2408.10Owner of record:  
R/S Associates, a Pennsy. Limited  
Partnership, Harry Shooster,  
(Print or type name and title)  
General Partner  
Address 2900 West Sample RoadPompano Beach, FL 33073Phone (954) 979-4555Signature [Signature]Date 7-29-97Agent:  
Nina L. Boniske, Esq.(Print or type name and title)  
Weiss Serota & Helfman  
Address 2665 S. Bayshore Dr, Suite 42Miami, FL 33133Phone (305) 854-0800Signature [Signature]Date 7-30-97

# DRC

PZ23-12000019  
03/20/2024



---

City of Pompano Beach, Florida

---

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061

September 25, 1997

David Snavely, P.E.  
Electrical Engineer  
Engineering & Project Management  
261 S.W. 63rd Avenue  
Plantation, Florida 33317

Re: Request for Technical Review of the Application for a Bell South Tower  
Located at 2900 West Sample Road

Dear Mr. Snavely:

We would appreciate your review and written opinion pursuant to Section 155.072(G)  
(Construction of New Telecommunications Towers) of the following:

- 1) Construction of the proposed tower is required because of technological reasons and is essential for the applicant to provide its telecommunications service; and
- 2) No suitable existing tower or antenna support structure site is available and no reasonable alternative technology exists to accommodate the applicant's telecommunications facility on an existing site.

..... / .....

# DRC

PZ23-12000019  
03/20/2024

DEPARTMENT OF DEVELOPMENT SERVICES  
Post Office Drawer 1300  
Pompano Beach, Florida 33061

September 25, 1997

Page 2

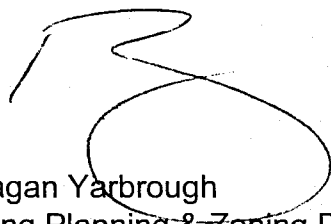
To assist in your determination, please find attached the following:

- 1) application
- 2) plat map
- 3) inventory of existing sites
- 4) FCC Radio Station Authorization
- 5) Affidavit from Stanley Olesiewicz
- 6) Affidavit from Jamie Kimble.

If you need additional documentation, please contact our office at (954) 786-4634.

Please submit your written findings along with an invoice for your services.

Yours truly,



Reagan Yarbrough  
Acting Planning & Zoning Director

RY:dmt

Attachments

cc: PRA 9705031



# DRC

Phone: 954 792 9379  
Fax: 954 792 1939

PZ23-12000019  
03/20/2024

**David Snavelly, P.E.**

# Fax

**To:** Mr. Reagan Yarbrough

**From:** David Snavelly

**Fax:** 9,1,954,7864617

**Date:** October 15, 1997

**Phone:** [Click here and type phone number]

**Pages:** [Click here and type number of pages]

**Re:** [Click here and type subject of fax]

**CC:** [Click here and type name]

☐ **Urgent**

☐ **For Review**

☐ **Please Comment**

☐ **Please Reply**

☐ **Please Recycle**

**•Comments:** Here is my evaluation of the BellSouth tower proposal. Would you please confirm receipt to my voice mail, as I am out of town and could send it again.

Regards,

David Snavelly

# DRC

PZ23-12000019  
03/20/2024

F A X

---

To: 9,1,954,7864617  
Company:  
Fax number: 9,1,954,7864617  
Business phone:

From: David Snavelly  
Fax number: +1 (817) 5845108  
Business phone:  
Home phone:

Date & Time: 10/15/97 4:12:13 PM  
Pages: 2  
Re:

---

# DRC

PZ23-12000019  
03/20/2024

F A X

---

To: 9,1,954,7864617  
Company:  
Fax number: 9,1,954,7864617  
Business phone:

From: David Snavely  
Fax number: +1 (817) 5845108  
Business phone:  
Home phone:

Date & Time: 10/15/97 4:09:56 PM  
Pages: 6  
Re:

---

# DRC

PZ23-12000013  
03/20/2024



## CASH PAYMENT REQUISITION

\*SEE BACK FOR ALLOWABLE USES

FINANCE DEPARTMENT USE ONLY	
VENDOR NUMBER	
DUE DATE/PREPAID	
PREPARED BY	
APPROVED BY	
INPUT BY	

NET AMOUNT \$ 500<sup>00</sup>

DATE REQUESTED 11/19/97

REQUESTED BY J Mark Leaf

AUTHORIZED SIGNATURE [Signature] 11/19/97

SEPARATE CHECK REQUIRED YES XX

CHECK TO GO TO DEPT. YES XX

REMIT TO NAME:

David Snavelly, PE

REMIT TO ADDRESS:  
(Required)

261 SW 63 Ave

Plantation  
CITY

FL  
STATE

33317  
ZIP CODE

INVOICE DATE, INVOICE NUMBER AND/OR DESCRIPTION

Invoice # PB1097, 11/4/97 Evaluation of Tower  
Siting

ACCOUNT DESCRIPTION	FUND	DEPT	DIV	SUB	EL	OB	AMOUNT
							\$500.00

# DRC

CITY OF POMPANO BEACH  
ADMINISTRATIVE POLICY

PZ23-12000019  
03/20/2024

Number: 150.01  
Effective: Jan. 1, 1990  
Revised: June 7, 1991

## I. PROCEDURES

The Finance Department must receive completed cash payment requisition forms by Tuesday at noon for a check to be issued on Thursday of the same week.

An original cash payment requisition form is to be completed in its entirety, typed and signed in ink by the individual requesting payment. The department head's signature is the preferred authorization; however, certain division heads can approve. The listing of authorized signers will be updated at least annually by the Controller. If additional approval is deemed necessary, the Finance Department will seek the City Manager's approval.

Supporting documentation, such as the original invoice/receipt or other correspondence must accompany the CPR. The Finance Department will mail payments directly to vendors except in extenuating circumstances.

## II. ALLOWABLE USES

Cash payment requisitions can be used to pay the following expenditures:

1. Dues, memberships, publications and subscriptions under \$200 each
2. Library publications
3. Judgements, insurance settlements and premiums, and worker's compensation related payments
4. Payroll taxes and related expenses (see III)
5. Payments to other governmental agencies
6. Police cash advances
7. Principal, interest and fiscal agent fees
8. Non-contractual legal and professional services (see III)
9. Refunds (see III)
10. Reimbursements (see III)
11. Utilities
12. Advertising

All other expenditures will be processed through the purchase order system unless prior approval has been granted by the Finance Director or Controller.

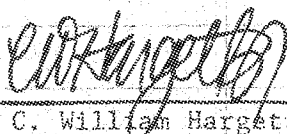
## III. DEFINITIONS

Payroll taxes and related expenses - credit union, retirement, health insurance, tax levys, support payments, employment taxes, unemployment taxes, federal withholding and other deductions.

Non-contractual legal and professional services - legal and professional services not awarded by bid, contract, request for proposal/qualification statement or state-regulated competitive negotiations; including but not limited to bids awarded to architects, engineers, land surveyors, consultants, and public accountants.

Refunds - utilities, duplicate payments, cancellation of services, security deposits.

Reimbursements - postage, petty cash, imprest checking accounts. Registration fees for local schools if no other costs are incurred; otherwise these fees must be reported on the travel advance and certification forms.



C. William Hargett, Jr.  
City Manager

January 31, 1996

Date

# DRC

PZ23-12000013  
03/20/2024



## CASH PAYMENT REQUISITION

\*SEE BACK FOR ALLOWABLE USES

FINANCE DEPARTMENT USE ONLY	
VENDOR NUMBER	
DUE DATE/PREPAID	
PREPARED BY	
APPROVED BY	
INPUT BY	

NET AMOUNT \$ 1,000.00

DATE REQUESTED 11/19/97

REQUESTED BY J. Mark Leaf

AUTHORIZED SIGNATURE [Signature] 11/19/97

SEPARATE CHECK REQUIRED YES XX

CHECK TO GO TO DEPT. YES XX

REMIT TO NAME:

Weiss, Serota + Helfman

REMIT TO ADDRESS:  
(Required)

2665 S Bayshore Dr #04

Miami  
CITY

FL  
STATE

33133  
ZIP CODE

INVOICE DATE, INVOICE NUMBER AND/OR DESCRIPTION

Refund unused portion of cellular tower evaluation fee

ACCOUNT DESCRIPTION	FUND	DEPT	DIV	SUB	EL	OB	AMOUNT
							\$1,000



# DRC

CITY OF POMPAHO BEACH  
ADMINISTRATIVE POLICY

PZ03-12000010  
03/20/2024

Number: 150.01  
Effective: Jan. 1, 1990  
Revised: June 7, 1991

## I. PROCEDURES

The Finance Department must receive completed cash payment requisition forms by Tuesday at noon for a check to be issued on Thursday of the same week.

An original cash payment requisition form is to be completed in its entirety, typed and signed in ink by the individual requesting payment. The department head's signature is the preferred authorization; however, certain division heads can approve. The listing of authorized signers will be updated at least annually by the Controller. If additional approval is deemed necessary, the Finance Department will seek the City Manager's approval.

Supporting documentation, such as the original invoice/receipt or other correspondence must accompany the CPR. The Finance Department will mail payments directly to vendors except in extenuating circumstances.

## II. ALLOWABLE USES

Cash payment requisitions can be used to pay the following expenditures:

1. Dues, memberships, publications and subscriptions under \$200 each
2. Library publications
3. Judgements, insurance settlements and premiums, and worker's compensation related payments
4. Payroll taxes and related expenses (see III)
5. Payments to other governmental agencies
6. Police cash advances
7. Principal, interest and fiscal agent fees
8. Non-contractual legal and professional services (see III)
9. Refunds (see III)
10. Reimbursements (see III)
11. Utilities
12. Advertising

All other expenditures will be processed through the purchase order system unless prior approval has been granted by the Finance Director or Controller.

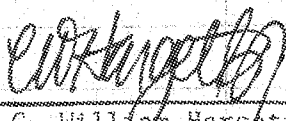
## III. DEFINITIONS

Payroll taxes and related expenses - credit union, retirement, health insurance, tax levys, support payments, employment taxes, unemployment taxes, federal withholding and other deductions.

Non-contractual legal and professional services - legal and professional services not awarded by bid, contract, request for proposal/qualification statement or state-regulated competitive negotiations; including but not limited to bids awarded to architects, engineers, land surveyors, consultants, and public accountants.

Refunds - utilities, duplicate payments, cancellation of services, security deposits.

Reimbursements - postage, petty cash, imprest checking accounts. Registration fees for local schools if no other costs are incurred; otherwise these fees must be reported on the travel advance and certification forms.

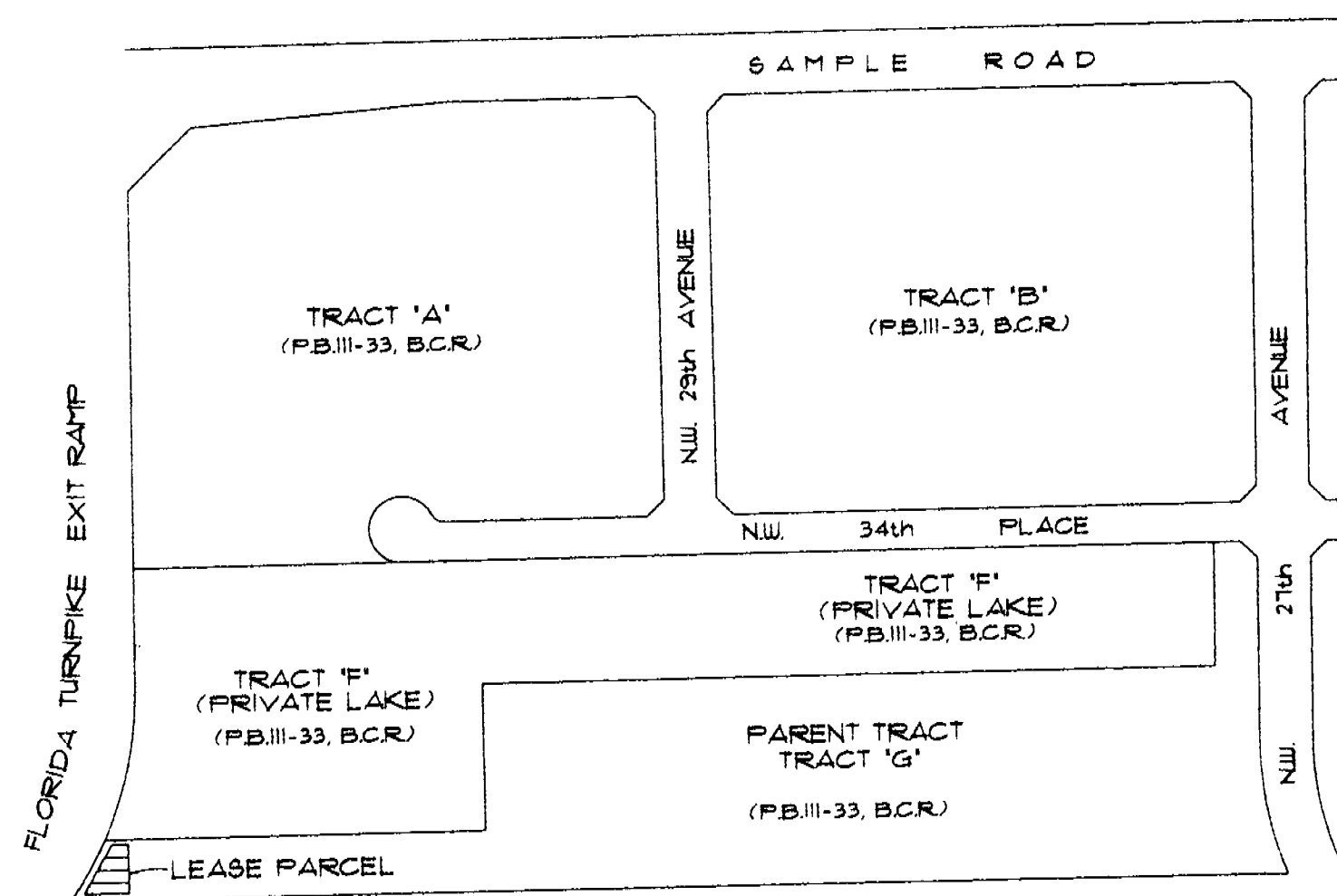


C. William Hargett, Jr.  
City Manager

January 31, 1996

Date





LOCATION MAP  
SCALE 1"=100'

LEGAL DESCRIPTION:

PARENT TRACT:

Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida.

All of the above lands lying and being in Broward County, Florida and containing 10.325 acres more or less.

LEASE PARCEL:

A portion of Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract "G"; thence N.89°47'14"E., along the South Line of said Tract "G", for 14.42 feet; thence N.29°37'59"E. for 11.53 feet to the POINT of BEGINNING of the hereinafter described Parcel; thence continue N.29°37'59"E. for 88.47 feet; thence N.89°47'14"E. for 22.00 feet North of and parallel with the South Line of said Tract "G", for 25.00 feet; thence S.00°12'46"E. for 75.00 feet; thence S.89°47'14"W. along a line 10.00 feet North of and parallel to the South Line of said Tract "G", for 68.03 feet to the POINT of BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.080 acres more or less.

INGRESS + EGRESS EASEMENT:

A portion of Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract "G"; thence N.89°47'14"E., along the South Line of said Tract "G", for 14.42 feet; thence N.29°37'59"E. for 11.53 feet; thence N.89°47'14"E. for 88.03 feet; thence N.00°12'46"W. for 22.00 feet to the POINT of BEGINNING of the hereinafter described Easement; thence continue N.00°12'46"W. for 20.00 feet; thence N.89°47'14"E. along a line 52.00 feet North of and parallel with the South Line of said Tract "G", for 1744.24 feet to a point on the East Line of said Tract "G", said point being on the arc of a curve, concave Easterly, thence Southeasterly along the arc of a curve, concave Easterly, having a radius of 540.00 feet, a chord bearing of S.17°09'02"E. and a central angle of 21°3'08" for an arc distance of 20.91 feet; thence S.89°47'14"W. along a line 32.00 feet North of and parallel with the South Line of said Tract "G", for 1750.33 feet to the POINT of BEGINNING.

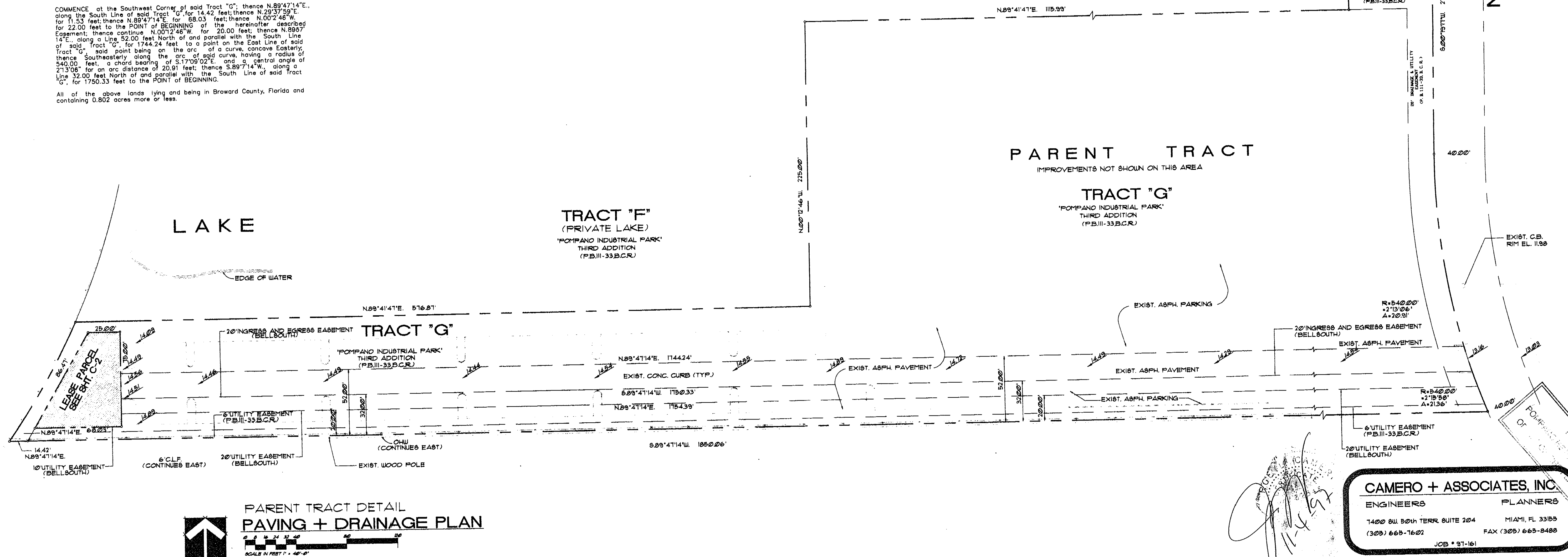
All of the above lands lying and being in Broward County, Florida and containing 0.802 acres more or less.

UTILITY EASEMENT:

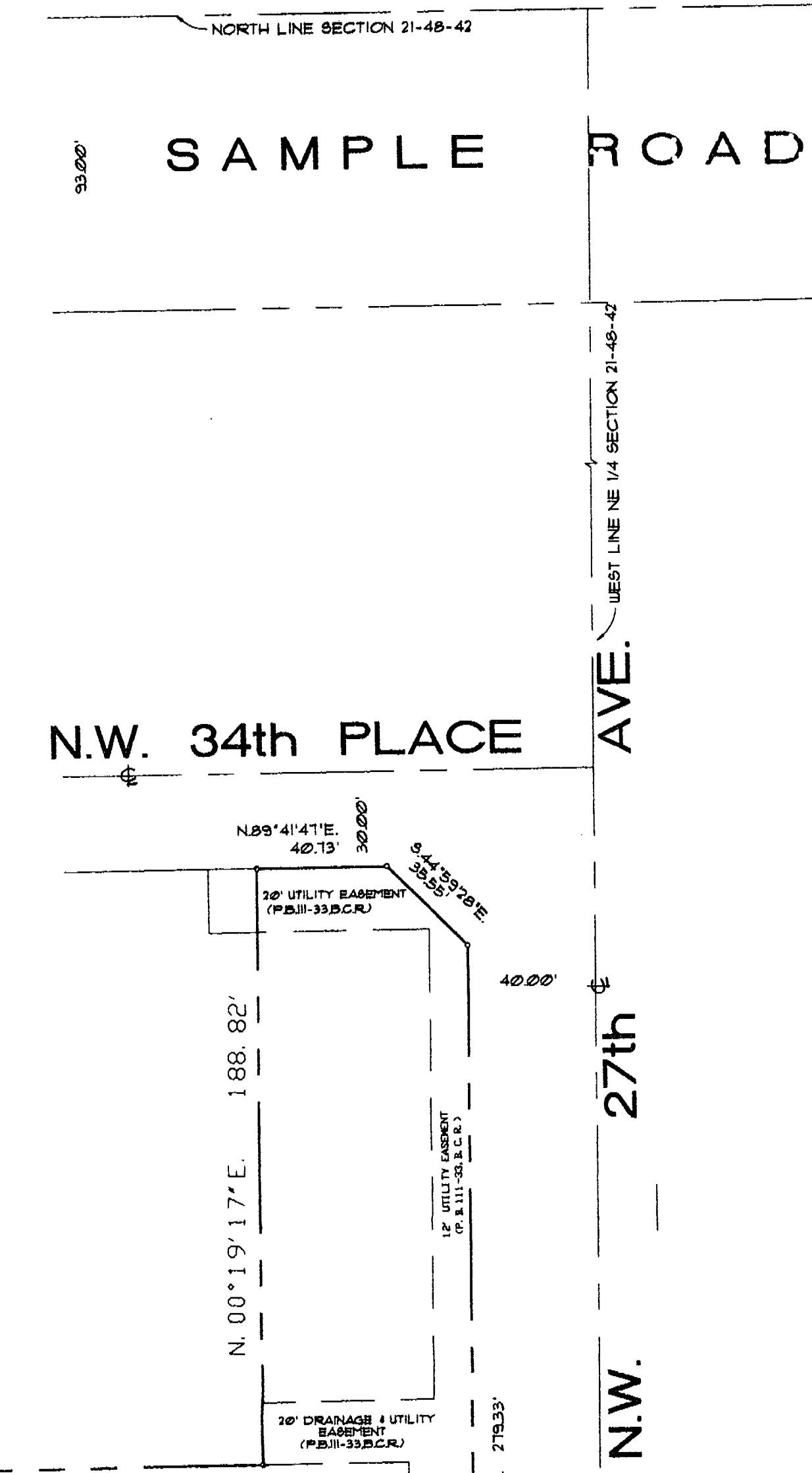
A portion of Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract "G"; thence N.89°47'14"E., along the South Line of said Tract "G", for 14.42 feet to the POINT of BEGINNING of the hereinafter described Easement; thence N.29°37'59"E. for 11.53 feet; thence N.89°47'14"E., along a line 10.00 feet North of and parallel with the South Line of said Tract "G", for 68.03 feet; thence N.00°12'46"W. for 10.00 feet; thence N.89°47'14"E., along a line 20.00 feet North of and parallel with the South Line of said Tract "G", for 1754.39 feet to a point on the East Line of said Tract "G", said point being on the arc of a curve, concave Easterly, thence Southeasterly along the arc of a curve, concave Easterly, having a radius of 540.00 feet, a chord bearing of S.20°44'12"E. and a central angle of 28°5'58" for an arc distance of 21.36 feet to the Southeast Corner of said Tract "G"; thence S.89°47'14"W. along the South Line of said Tract "G", for 1835.64 feet to the POINT of BEGINNING.

All of the above lands lying and being in Broward County, Florida and containing 0.824 acres more or less.



PARENT TRACT DETAIL  
PAVING + DRAINAGE PLAN  
SCALE 1"=40'



TRACT "F"  
(PRIVATE LAKE)  
'POMPANO INDUSTRIAL PARK'  
THIRD ADDITION  
(PB.III-33, B.C.R.)

PARENT TRACT  
IMPROVEMENTS NOT SHOWN ON THIS AREA  
TRACT "G"  
'POMPANO INDUSTRIAL PARK'  
THIRD ADDITION  
(PB.III-33, B.C.R.)

**CAMERO + ASSOCIATES, INC.**  
ENGINEERS PLANNERS  
1400 BUL BOUL TERR SUITE 204 MIAMI, FL 33155  
(305) 665-1602 FAX (305) 665-8488  
JOB # 97-161

IN MY PROFESSIONAL JUDGMENT AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, THESE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

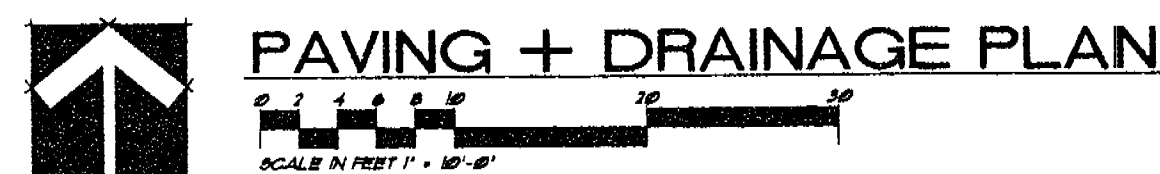
**WAYNE E. VENSEL**  
ARCHITECT, INC.  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
(305) 662-1690

**BellSouth Mobility Inc**  
CELLULAR SITE 'COON'  
POMPANO BEACH, FLORIDA

REVISIONS:

DATE: 10/31/97  
FILE: BE1201  
JOB: BE-12  
SHEET: C-1  
OF: C-2





0 2 4 6 8 10 20 30  
SCALE IN FEET 1" = 10'-0"

DATE: 10./31/97  
FILE: BEI2C2  
JOB: BE-12  
SHEET  
C-2

# DRC

PZ23-12000049  
03/20/2024

BUILDING CODE 1996  
BROWARD EDITION OF THE SOUTH FLORIDA  
BUILDING CODE

BUILDING CODE  
BROWARD EDITION OF THE SOUTH FLORIDA  
BUILDING CODE IN EFFECT

## Plans Received

1	12-9-97
2	1-21-98
3	1-26-98
4	

## CITY FILE COPY

97-6559

THIS PLAN IS  
APPROVED  
SUBJECT TO ALL CODES OF  
THE CITY OF POMPANO BEACH  
PLANS MUST BE KEPT AT THE  
BUILDING SITE FOR INSPECTORS

TRAFFIC \_\_\_\_\_  
Traffic Eng. \_\_\_\_\_ Date \_\_\_\_\_

PUBLIC WORKS \_\_\_\_\_  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/12/97 ✓ ENGINEERING W. L. 1/30/98  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

✓ ZONING Br. Bird 1/26/98  
Zoning Admin. \_\_\_\_\_ Date \_\_\_\_\_

1-27-98 12-12-97 ✓ BUILDING F. L. Bell 1-27-98  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12-12-97 ✓ PLUMBING James Scheffer 1-28-98  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/16/97 ✓ ELECTRICAL C. Brown 12/17/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/16 ✓ None AIR COND. W. L. 12/16/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

✓ FIRE \_\_\_\_\_ 12/17/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

BUILDING PERMIT # 97-6559

DATE ISSUED 1-30-98





**SITE 'CDON'**  
**AN UNMANNED CELLULAR COMMUNICATIONS FACILITY**  
**POMPANO BEACH, FLORIDA**

INDEX OF DRAWINGS

NO.	TITLE	ISSUE	REVISION
A-0	COVER SHEET SURVEY	9/30/97	
L-1	LANDSCAPE PLAN	9/30/97	
A-1	OVERALL SITE PLAN / SITE DATA	9/30/97	
A-2	MONOPOLE AND EQUIPMENT BUILDING PLAN	9/30/97	
A-3	EXTERIOR ELEVATIONS	9/30/97	
A-4	DETAILS	9/30/97	
S-1	CAISSON DETAILS	9/30/97	
E-1	ELECTRICAL PLAN	9/30/97	
E-2	GROUNDING PLAN AND NOTES	9/30/97	
E-3	GROUNDING DETAILS	9/30/97	

**WAYNE E. VENSEL**  
**ARCHITECT, INC.**  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
(305) 662-1690

**WITKIN DESIGN GROUP**  
**LANDSCAPE ARCHITECTURE AND PLANNING**  
255 ALHAMBRA CIRCLE  
CORAL GABLES, FLORIDA 33143  
SUITE 720  
(305) 443-2895

**RAMON KITZMAN**  
**P.E.**  
MIAMI, FLORIDA  
(305) 238-0585

**McFALL-KONKEL & KIMBALL**  
**CONSULTING ENGINEERS, INC.**  
7350 E. PROGRESS PLACE, #100  
ENGLEWOOD, CO. 80111  
(303) 721-6600





**PARENT TRACT:**

All of the above lands lying and being in Broward County, Florida and containing 10.325 acres more or less.

A portion of Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

All of the above lands lying and being in Broward County, Florida and containing 0.080 acres more or less.

A portion of Tract "G", of "POMPANO INDUSTRIAL PARK THIRD ADDITION", according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

All of the above lands lying and being in Broward County, Florida and containing 0.802 acres more or less.

A portion of Tract 'G', of 'POMPANO INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

All of the above lands lying and being in Broward County, Florida and containing 0.824 acres more or less.

1. BENCHMARK: Broward County Engineering Division Benchmark No. 2601, Section 21, Township 48 South, Range 42 East, Pompano Beach, Canal Crossing, Elevation Road, 0.25a miles West of Powerline Road. Benchmark is cut on headwall on South side of the road. Elevation is +14.83 N.S.V.D.

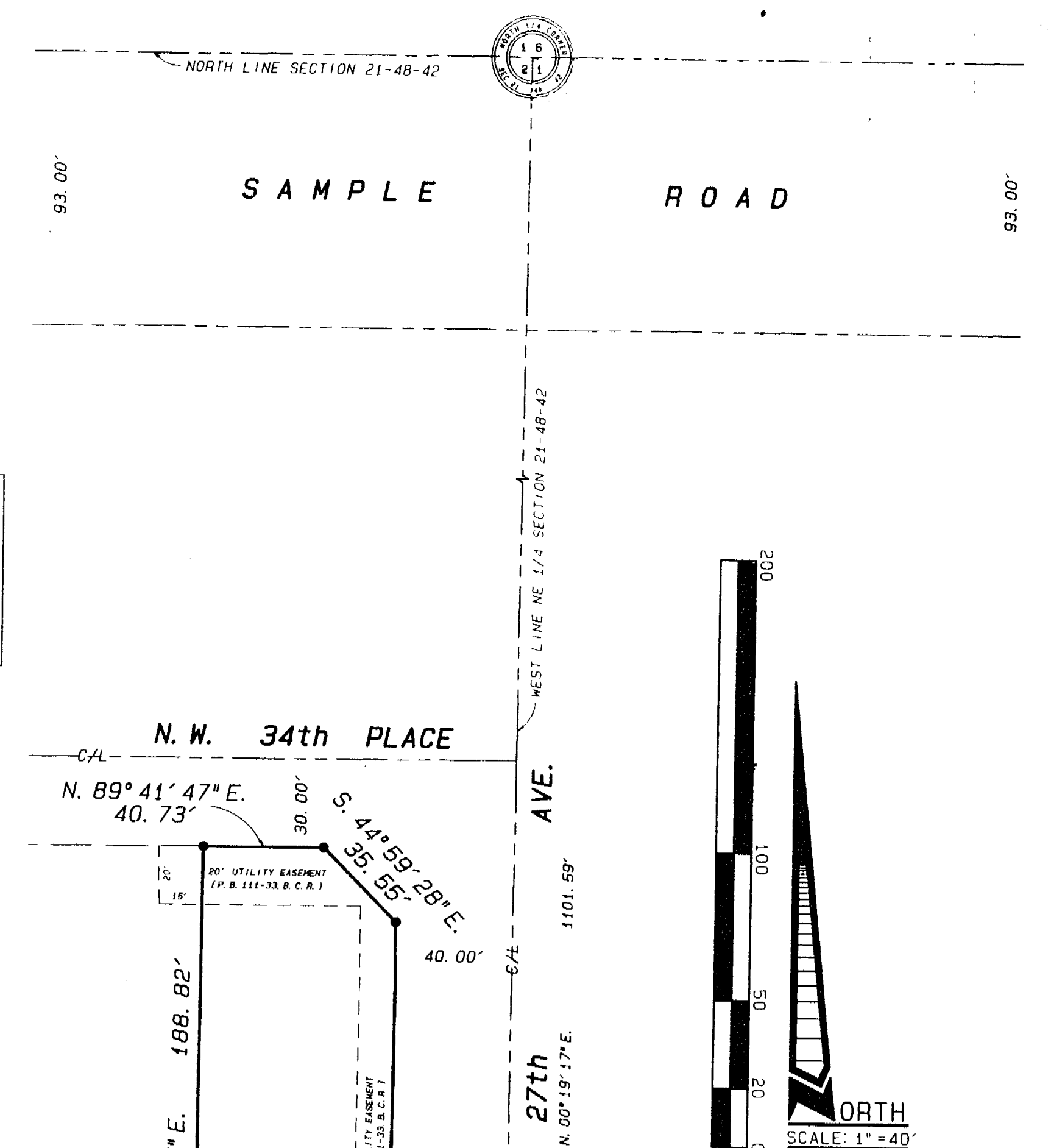
2. SKETCH OF SPECIFIC PURPOSE SURVEY: This survey was performed for design purposes, showing the location, elevations and features of the Lease Parcel shown hereon. This is a Boundary Survey of the Lease Parcel shown only (not a Right of Way or Easement Tract).

3. BEARINGS: Shown hereon are based on a bearing of N.00°19'17" W. along the West Line of the NE 1/4 of the NE 1/4 of Township 48 South, Range 42 East, as recorded in the Plat of "POMPANO INDUSTRIAL PARK THIRD ADDITION" as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida.

4. LATITUDE and LONGITUDE: Shown hereon are based on the State Plane Coordinate System - Transverse Mercator - Florida East Zone, National Survey Datum and are accurate to 1/10 second (plus or minus) as determined by the Florida Department of Transportation.



**G. P. S. LOCATION:**  
(CENTER LEASE PARCEL)  
**NAD 1927 DATUM:**  
LATITUDE - 26°16'13.7"N.  
LONGITUDE - 80°09'57.1"W.  
**NAD 1983 DATUM:**  
LATITUDE - 26°16'15.0"N.  
LONGITUDE - 80°09'56.3"W  
ELEVATION - +13.2 N G V D.



- ASPHALT  
- BRICK PAVERS  
- CONCRETE

- CHAIN LINK FENCE  
- NON-VEHICULAR ACCESS LINE  
- CENTRAL SINGLE EQUALS  
- MONUMENT LINE (CITY OF MIAMI)  
- PLUS OR MINUS (MORE OR LESS)  
- AIR CATCHER EQUALS  
- AIR CONDITIONER UNIT  
- ASPHALT BUILDING  
- BROWARD COUNTY RECORDS  
- CLIMATE CONTROL EQUALS  
- CONCRETE  
- CALCESTRIN  
- CONCRETE BLOCK MALL  
- CONCRETE BLOCK & STUCCO  
- COASTAL CONTROL LINE  
- CHAIN LINK FENCE  
- CLEARANCE  
- CONSTRUCTION  
- CURB  
- ELEV.  
- ELEVATION  
- E.S.  
- ENC.  
- ENCR.  
- E.P./E  
- O.T.  
- EDGE  
- FIRE HYDRANT  
- F.M.D.  
- G.P.  
- GUARD POST  
- LICENSED MANHO  
- LIGHT POLE  
- L.B.  
- MEASURED  
- M.H.  
- \*  
- NUMBER  
- OVERHEAD WIRES  
- POINT OF BEGINNING  
- POINT OF COMMENCEMENT  
- PLAT BOOK  
- P.C.  
- POINT OF CURVATURE  
- P.I.  
- POINT OF TANGENCY  
- P.O.C.  
- POINT OF COMPOUND CURVATURE  
- P.O.V.  
- POINT OF REVERSE CURVATURE  
- R.M.  
- RECORD  
- PERMANENT REFERENCE MONUMENT  
- RADIUS  
- RADIUS EQUALS  
- RANGE  
- RESIDENCE  
- ROAD  
- SEC.  
- SECTION  
- SQUARE FEET  
- TOWNSHIP  
- TYP.  
- TYPICAL  
- WATER MAIN (NET ABOVE GROUND)  
- W.M.  
- WATER METER  
- WATER VALVE  
- C.L.B.  
- CONCRETE LIGHT POLE  
- MOOD LIGHT POLE  
- MOOD UTILITY POLE  
- M.P.  
- MOBILE GUY WIRE



**G. P. S. LOCATION:**  
(CENTER LEASE PARCEL)  
**NAD 1927 DATUM:**  
LATITUDE = 26° 16' 13.7" N.  
LONGITUDE = 80° 09' 57.1" W.  
**NAD 1983 DATUM:**  
LATITUDE = 26° 16' 15.0" N.  
LONGITUDE = 80° 09' 56.3" W.  
ELEVATION = +13.2 N.G.V.D.

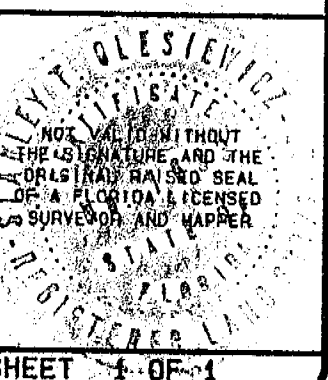
TYPE OF SURVEY: <u>SPECIFIC PURPOSE BOUNDARY &amp; TOPOGRAPHY.</u>		R E V I S I O N S	
PREPARED FOR: <u>BELLSOUTH MOBILITY, INC.</u>	DATE: <u>9-19-97</u>	JOB ORDER: <u>97-253</u>	DESCRIPTION: <u>UPDATE BOUNDARY &amp; TOPOGRAPHIC SURVEY</u>
<u>5201 GORESS AVENUE, BOCA RATON, FLORIDA 33487</u>	SURVEY DATE: <u>9-27-96</u>		
LEITER PEREZ & ASSOCIATES, INC.	JOB ORDER: <u>96-000</u>		
LAND DEVELOPMENT CONSULTANTS, INC.	FILE NO: <u>9-1459</u>		
CIVIL ENGINEERS - LAND SURVEYORS, LB 6787	F B		
LAND PLANNERS - ENVIRONMENTAL	P G		
1600 N.W. 17TH ST., SUITE 403 MIAMI, FLORIDA 33139	83 - 1		
PHONE: (305) 662-5133 BROWARD (954) 524-2202	46-52		
FAX: 813-978-0025			

**NOTES:**

1. ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) 1929.
2. THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTING AND/OR FOUNDATIONS (UNLESS OTHERWISE NOTED).
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED BY THIS FIRM REGARDING MATTERS OF INTEREST TO OTHER PARTIES, SUCH AS EASEMENTS, RIGHTS-OF-WAY, EASEMENTS, ETC.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO PARTY AND/OR PARTIES INDICATED HEREON AND IS A TRANSFERABLE OR ASSIGNABLE.
5. ALL IRON PIPES AND NAILS AND DISCS SET BY THIS FIRM WILL BE REMOVED.

**SURVEYOR'S CERTIFICATE:** WE HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER OUR DIRECTION, AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, 19107-B FLORIDA ADMINISTRATIVE, CODE PURSUANT TO SECTION 472-002-FLORIDA STATUTES.

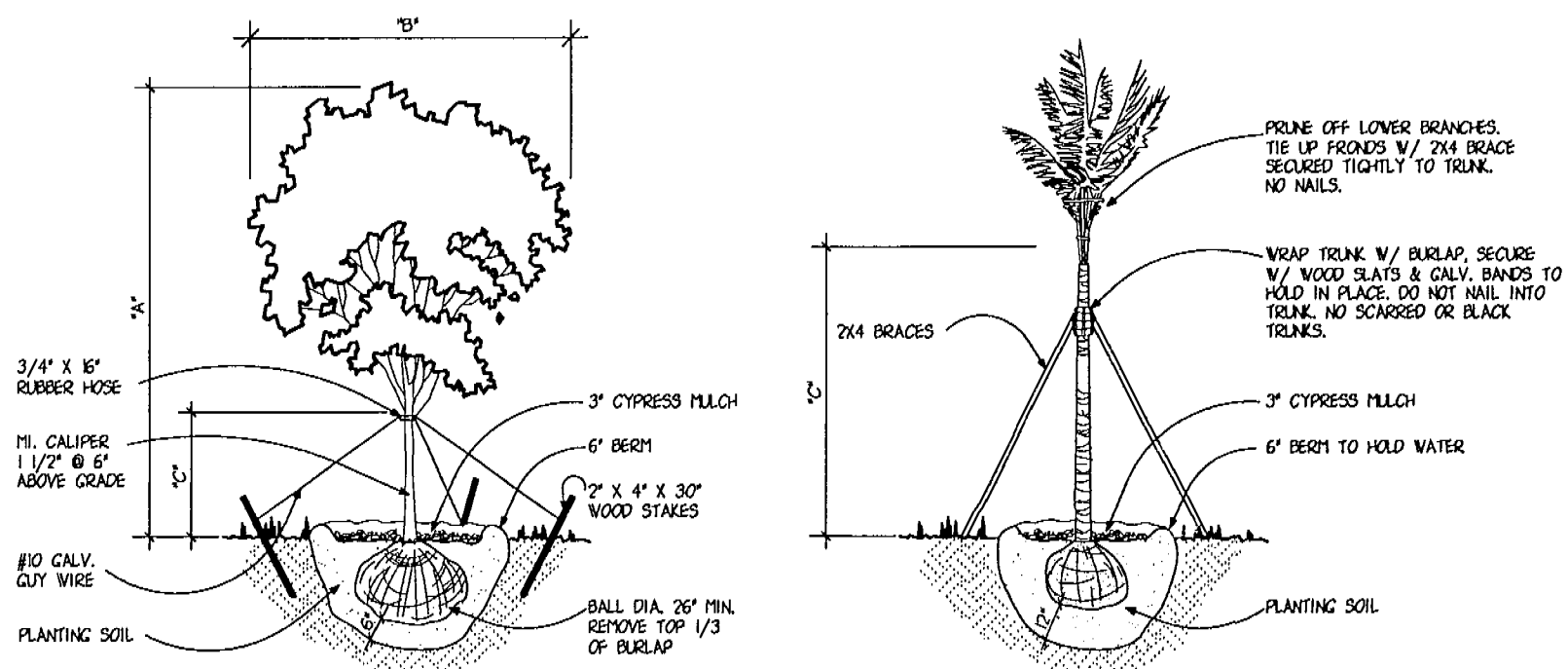
\_\_\_\_\_, LEITER, PEREZ & ASSOCIATES, INC.  
\_\_\_\_\_, VICE PRESIDENT  
\_\_\_\_\_, Registered Professional Surveyor and Mapper #1633  
State of Florida



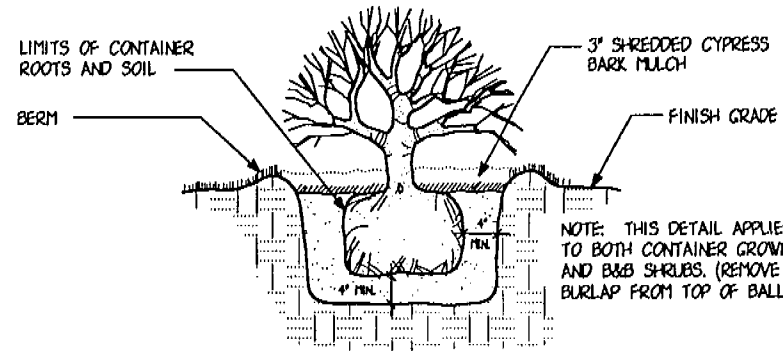


LANDSCAPE LEGEND								
KEY	SYMBOL	SCIENTIFIC NAME	COMMON NAME	HEIGHT A	SPREAD B	TRUNK C	QUANTITY	REMARKS
		QUERCUS VIRGINIANA	LIVE OAK	12'	6'	3"	5	
		CONOCARPUS ERECTA - SERICEA	SILVER BUTTONTWOOD	4'-0"	FULL	-	77	PLANT 3'-0" O.C.
			PEAR ROCK					INSTALL OVER ONE LAYER PRO 5' WEED BARRIER AS MFR. BY DEWITT COMPANY 1-800-888-9664
			BAHIA SOD					SOLID SOD

OVERALL SITE AREA = 3,489 SF.  
SOD AREA REQUIRED = 3,489 SF. X 20% = 698 SF.  
PROVIDED = 798 SF.



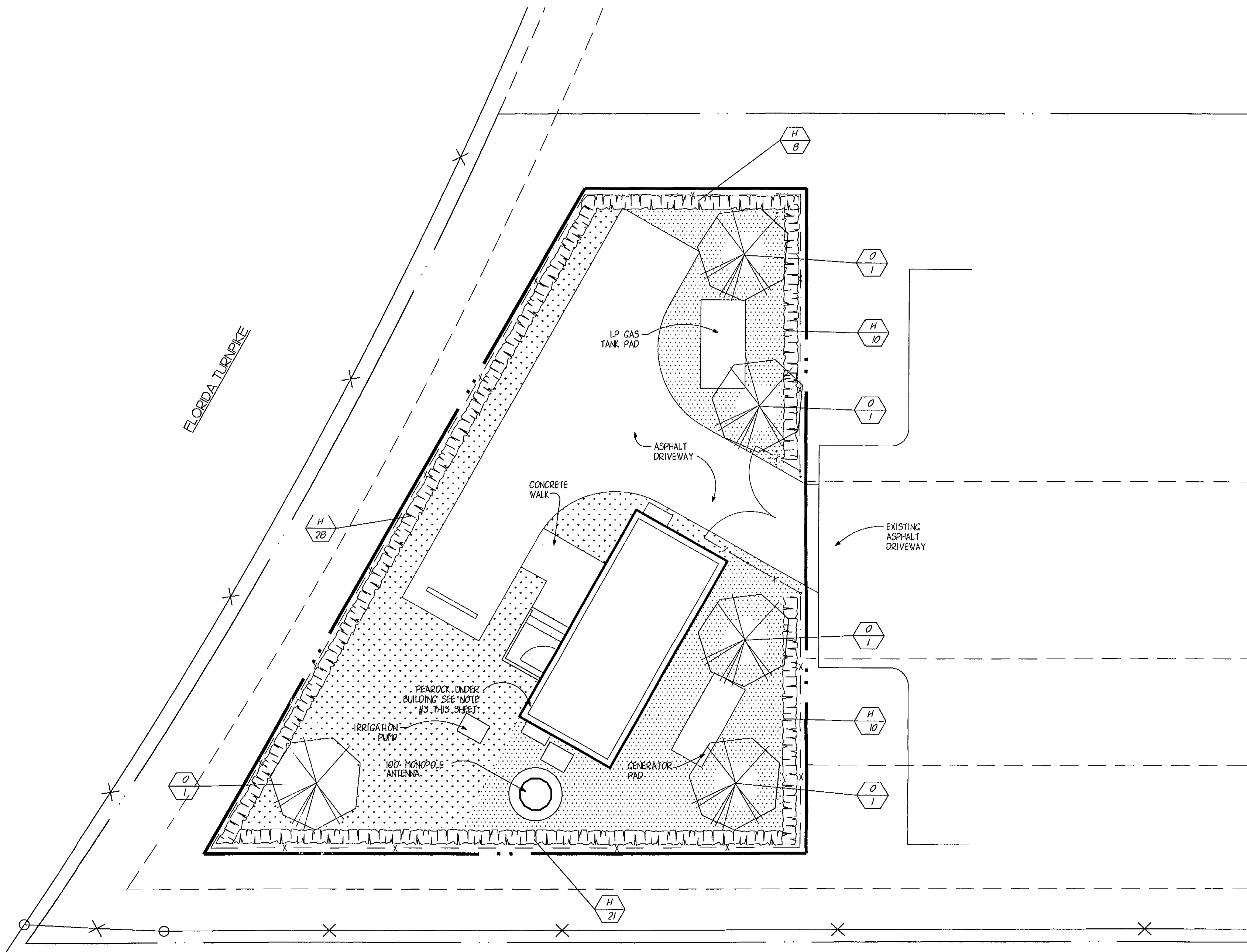
TREE PLANTING DETAIL  
NO SCALE



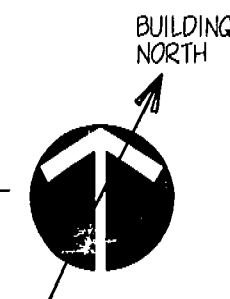
SHRUB PLANTING DETAIL  
NO SCALE

#### GENERAL LANDSCAPE NOTES

- PRIOR TO INSTALLING LANDSCAPE MATERIAL, UNDERGROUND UTILITIES SHALL BE LOCATED AND LOCATIONS OF LANDSCAPE MATERIAL ADJUSTED ACCORDINGLY.
- ALL LANDSCAPE AREAS SHALL HAVE 100% IRRIGATION COVERAGE WITH 50% OVERLAP, RUST FREE WATER. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR IRRIGATION SYSTEM.
- PROVIDE 1/4"-3/8" DIA. PEAROCK, 4" THICK UNDER EQUIPMENT BUILDING.



LANDSCAPE PLAN  
1/8" = 1'-0"



WAYNE E. VENSEL  
ARCHITECT, INC.

AS 7842  
AA 00054  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
(305) 662-6690

BELL SOUTH Mobility

BELL SOUTH  
CELLULAR SITE "CDN"

POMPANO BEACH, FLORIDA

#### REVISIONS

DATE 10/6/97

FILE BE12LI

JOB BE-12

SHEET 3

L-1  
OF 11

PROJECT DATA

SITE DATA

GROSS SITE AREA 3,489 SF.  
ZONING DISTRICT - "I-1" INDUSTRIAL

BUILDING DATA

BUILDING AREA 314 SF.

PARKING DATA

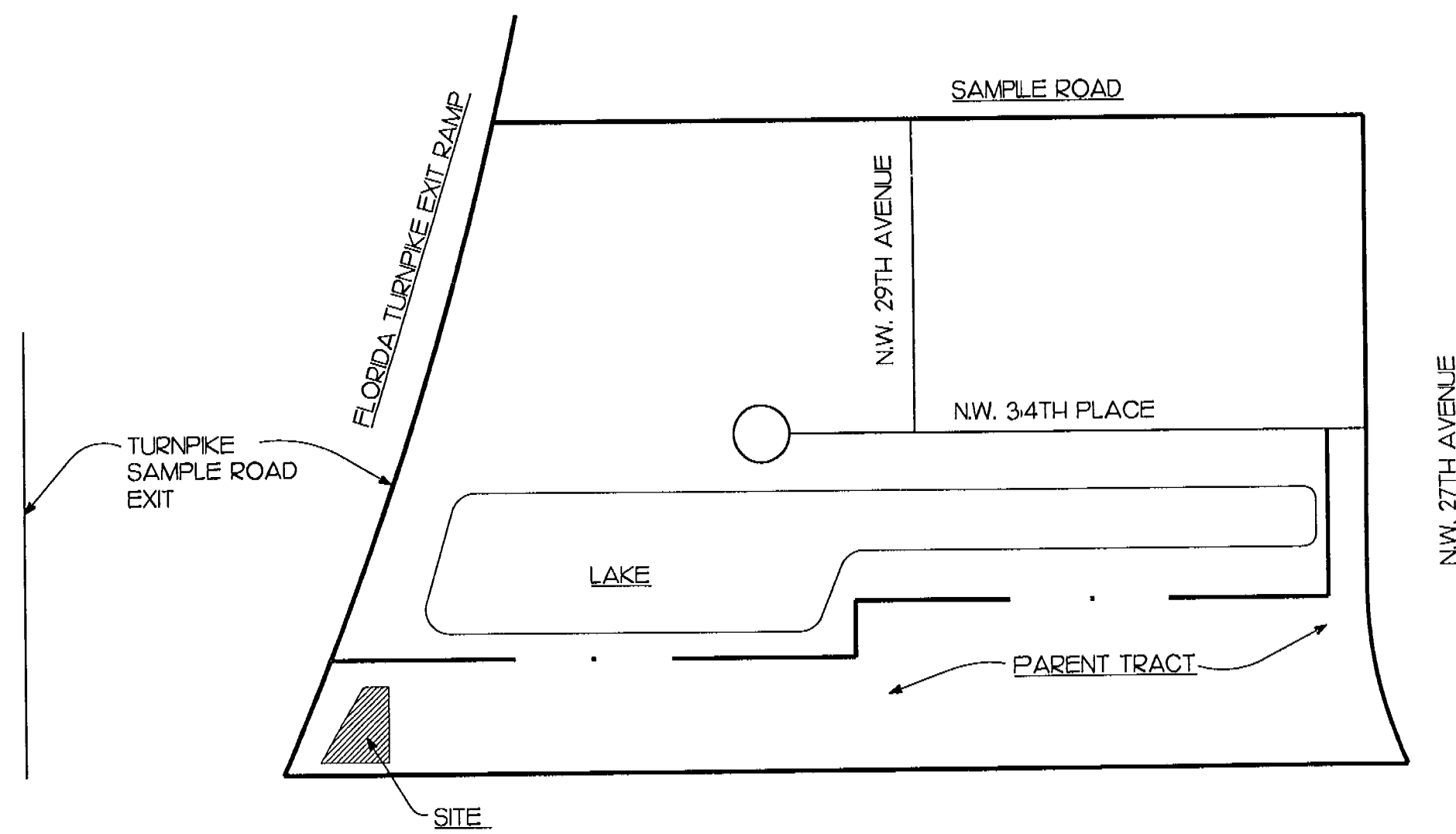
PARKING PROVIDED = 1

SITE COVERAGE DATA

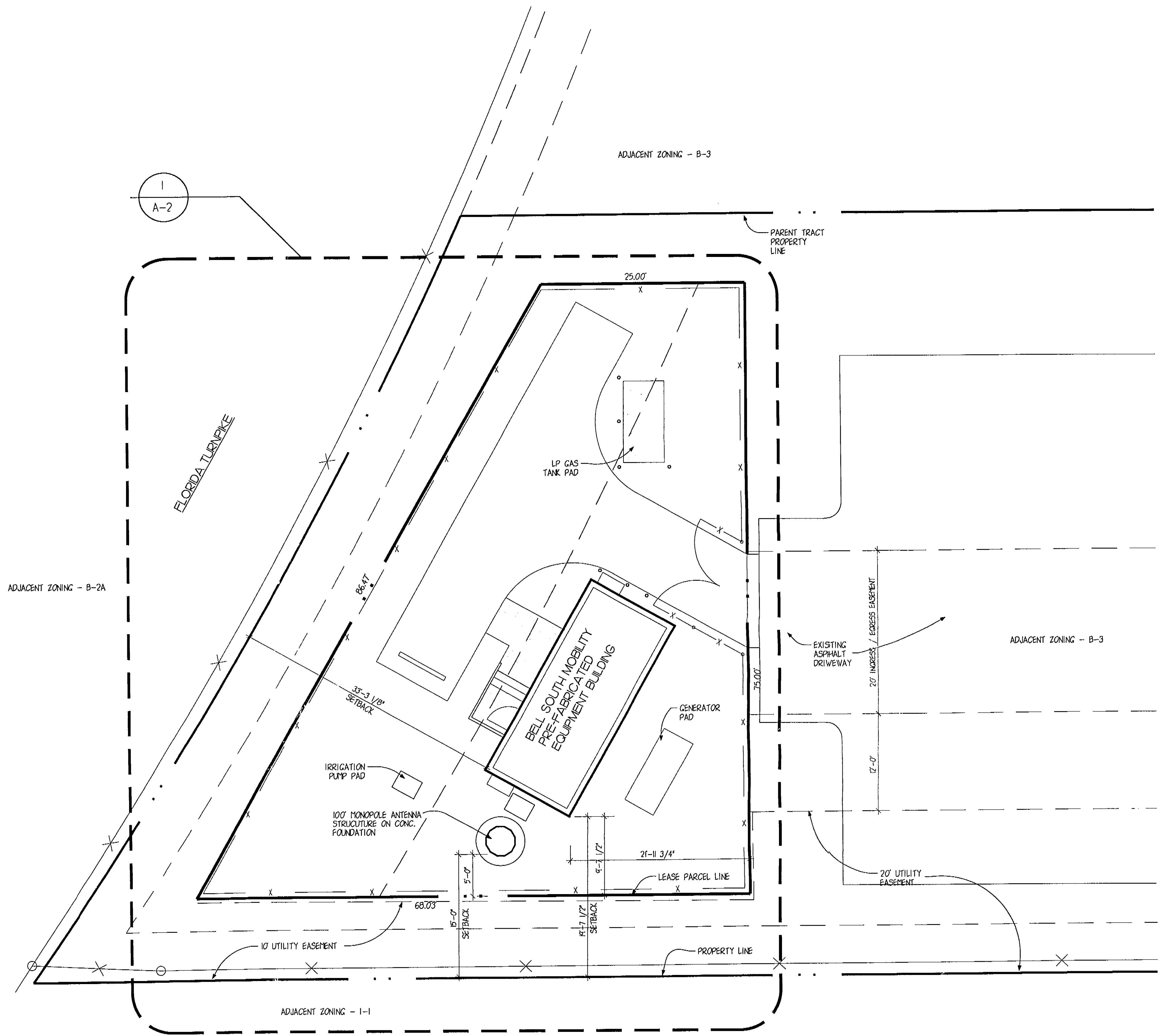
	AREA	%	PERVIOUS AREA	IMPERVIOUS AREA
BUILDING AREA	314	9.0	300	14
WALKS/TOWER	211	6.0	0	211
OPEN AREA	2,160	62.0	2,160	0
PAVED AREA	804	23.0	0	804
TOTALS	3,489 SF.	100.0 %	2,460 SF.	1,029 SF.
			70.5 %	29.5 %

GENERAL SITE NOTES:

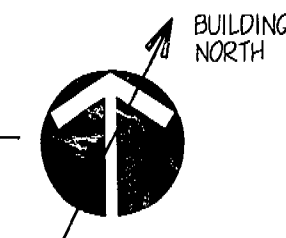
- I. SITE USE SUMMARY:
- A. CELLULAR RADIO EQUIPMENT BUILDING WILL HOUSE MOBILE TELEPHONE EQUIPMENT AND IS CONSIDERED AN UNMANNED STRUCTURE.
  - B. MAINTENANCE PERSONNEL WILL VISIT THE SITE FOR A SHORT DURATION APPROXIMATELY ONCE PER TWO WEEKS.
  - C. NO WATER OR SEWAGE PROVISIONS ARE REQUIRED AT THIS SITE.
  - D. THE FLORIDA ACCESSIBILITY CODE DOES NOT APPLY TO THIS PROJECT PER FAC 4.1.1(XA). THIS FACILITY IS UNMANNED.
  - E. NO TRASH WILL BE GENERATED AT THIS SITE.
  - F. DRAINAGE NOTE: NON-PERVIOUS AREAS INCLUDE PAVED AREAS, SIDEWALKS AND FOUNDATIONS FOR THE TOWER AND EQUIPMENT BUILDING. THE AREA UNDER THE BUILDING IS PERVIOUS. NON-PERVIOUS AREAS WILL SURFACE DRAIN TO ADJACENT PERVIOUS AREAS.



2 SITE LOCATION PLAN  
A-1 NO SCALE



1 OVERALL SITE PLAN  
A-1 1/8" = 1'-0"



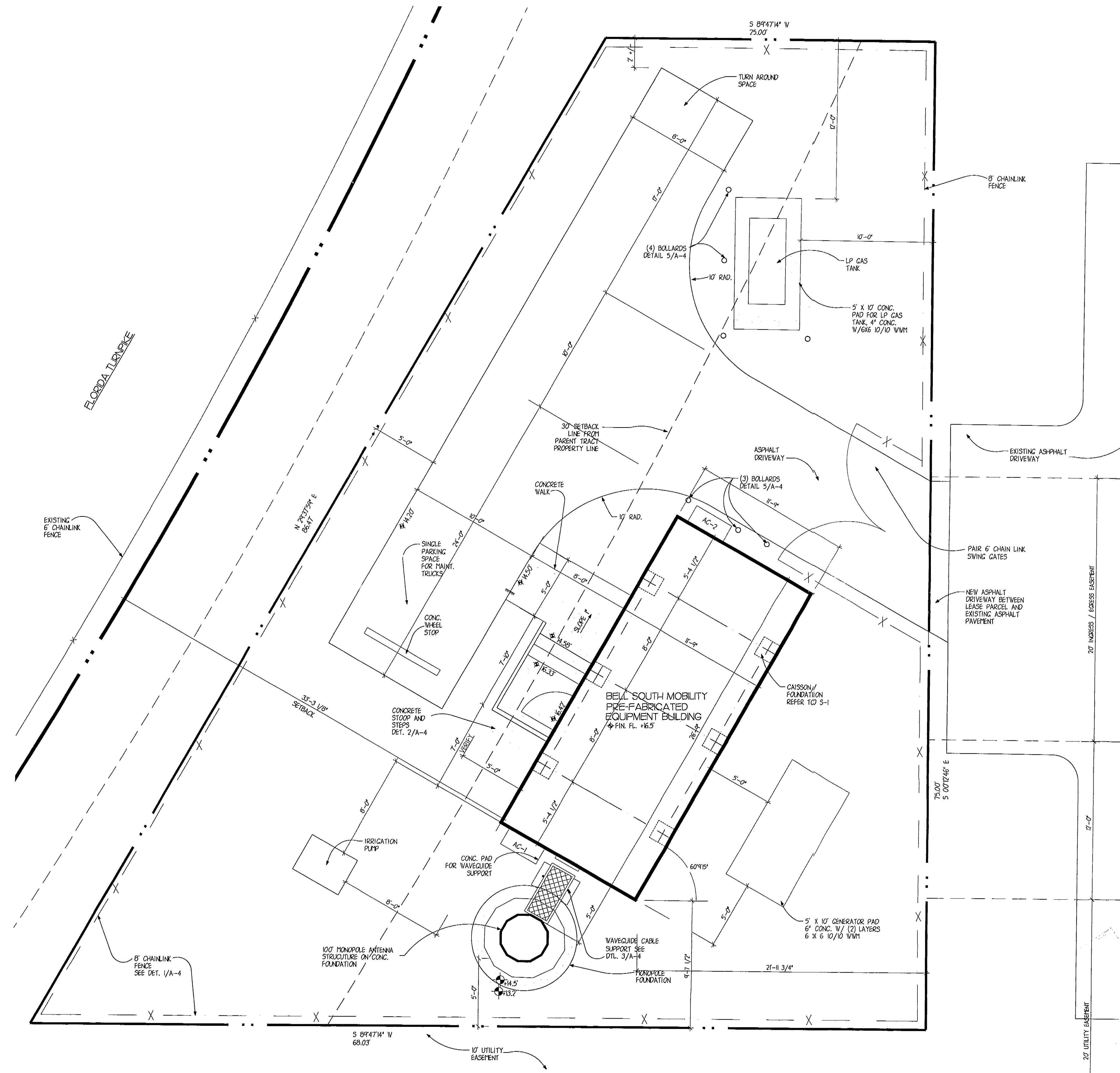
WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
(305) 662-4690

BELL SOUTH Mobility  
CELLULAR SITE "CDON"  
POMPANO BEACH, FLORIDA

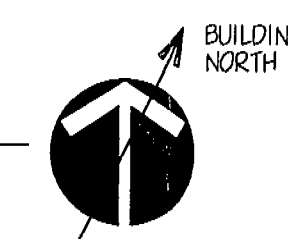
REVISIONS

DATE: 10/6/97  
FILE: BE12AI  
JOB: BE-12  
SHEET 4  
A-1  
OF 11





1  
A-2  
DETAIL SITE PLAN  
1/4" = 1'-0"

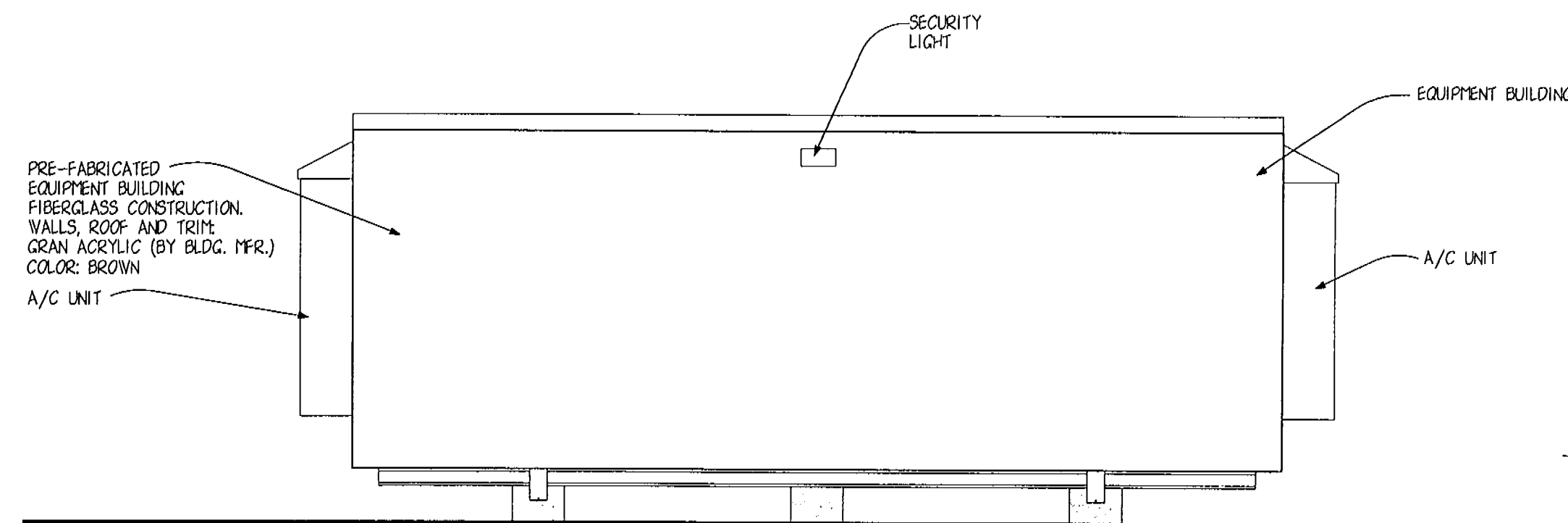


**WAYNE E. VENSEL**  
**ARCHITECT, INC.**  
AR 7642  
AL 00064  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
(305) 662-1690

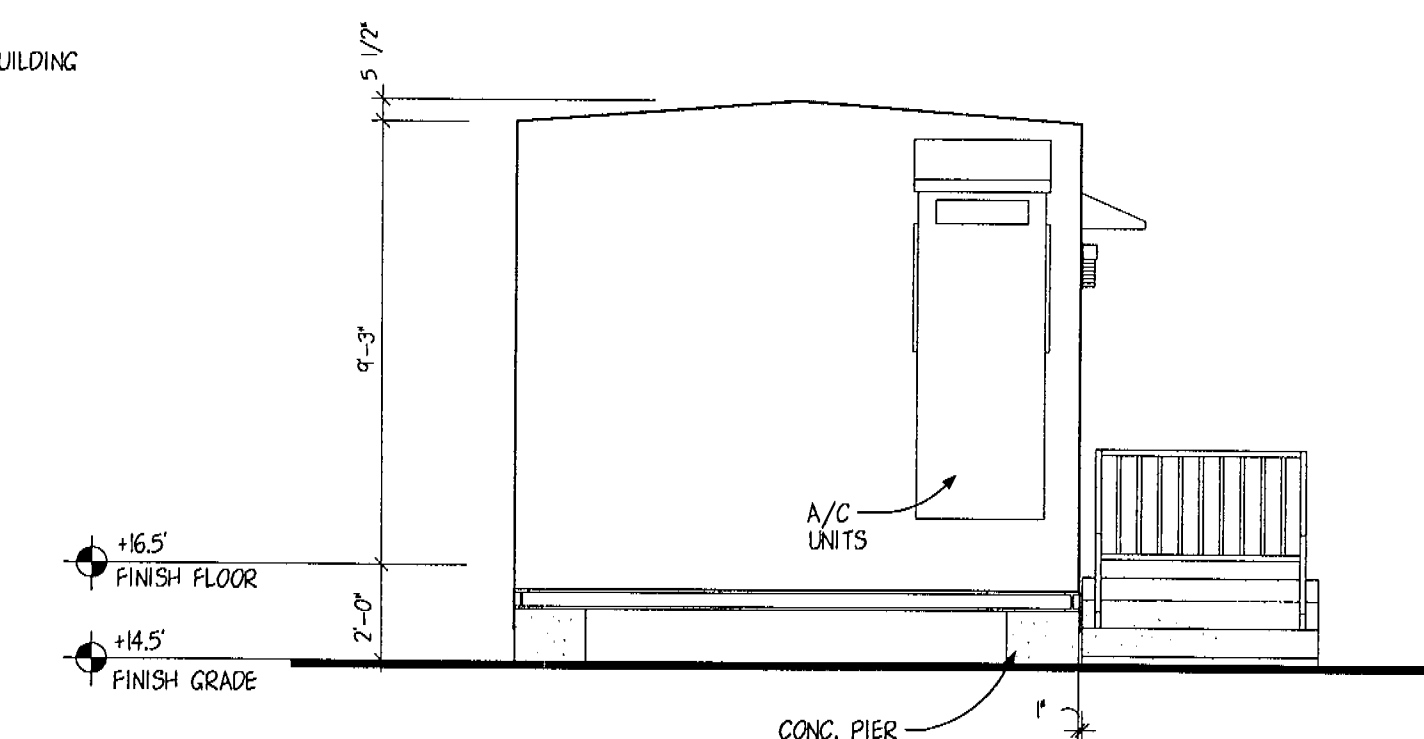
**BELL SOUTH Mobility**  
CELLULAR SITE "COON"  
POMPAHO BEACH, FLORIDA

REVISIONS

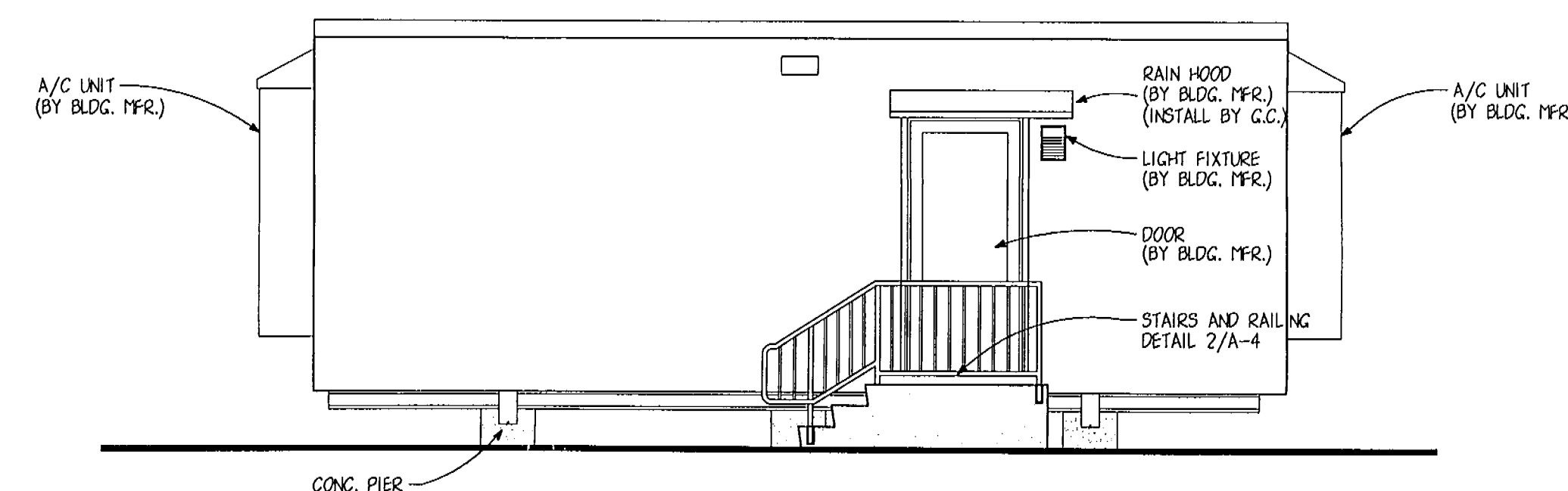
DATE: 10/6/97  
FILE: BE12A2  
JOB: BE-12  
SHEET 5  
A-2  
OF 11



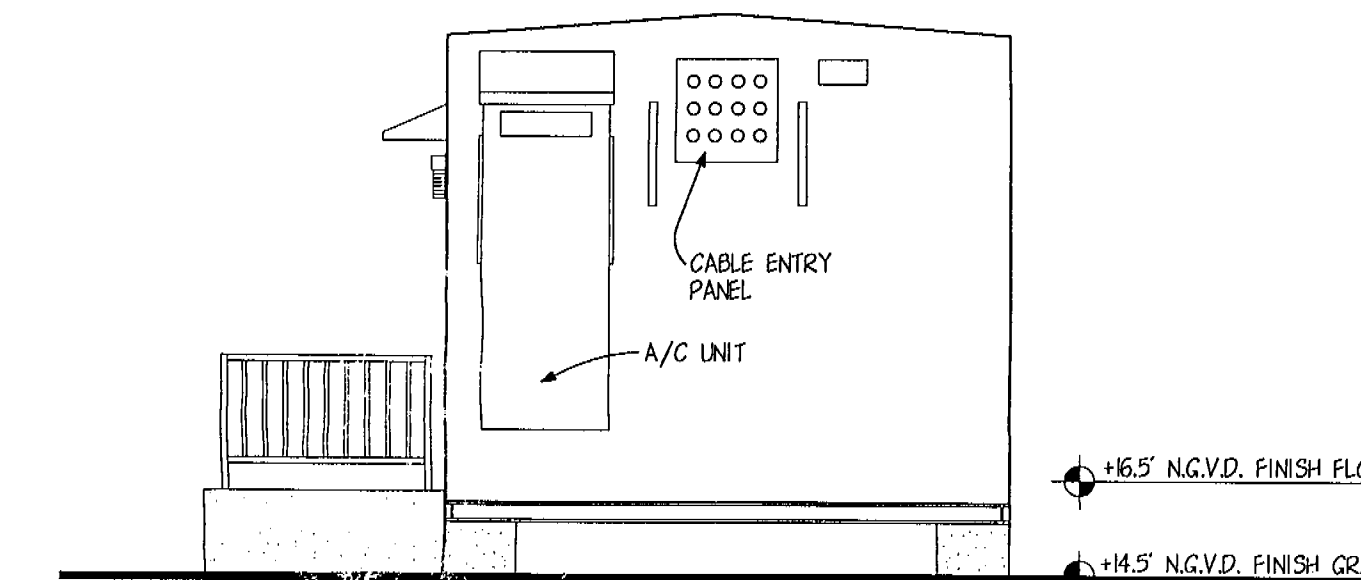
1 EAST ELEVATION  
A-3 1/4" = 1'-0"



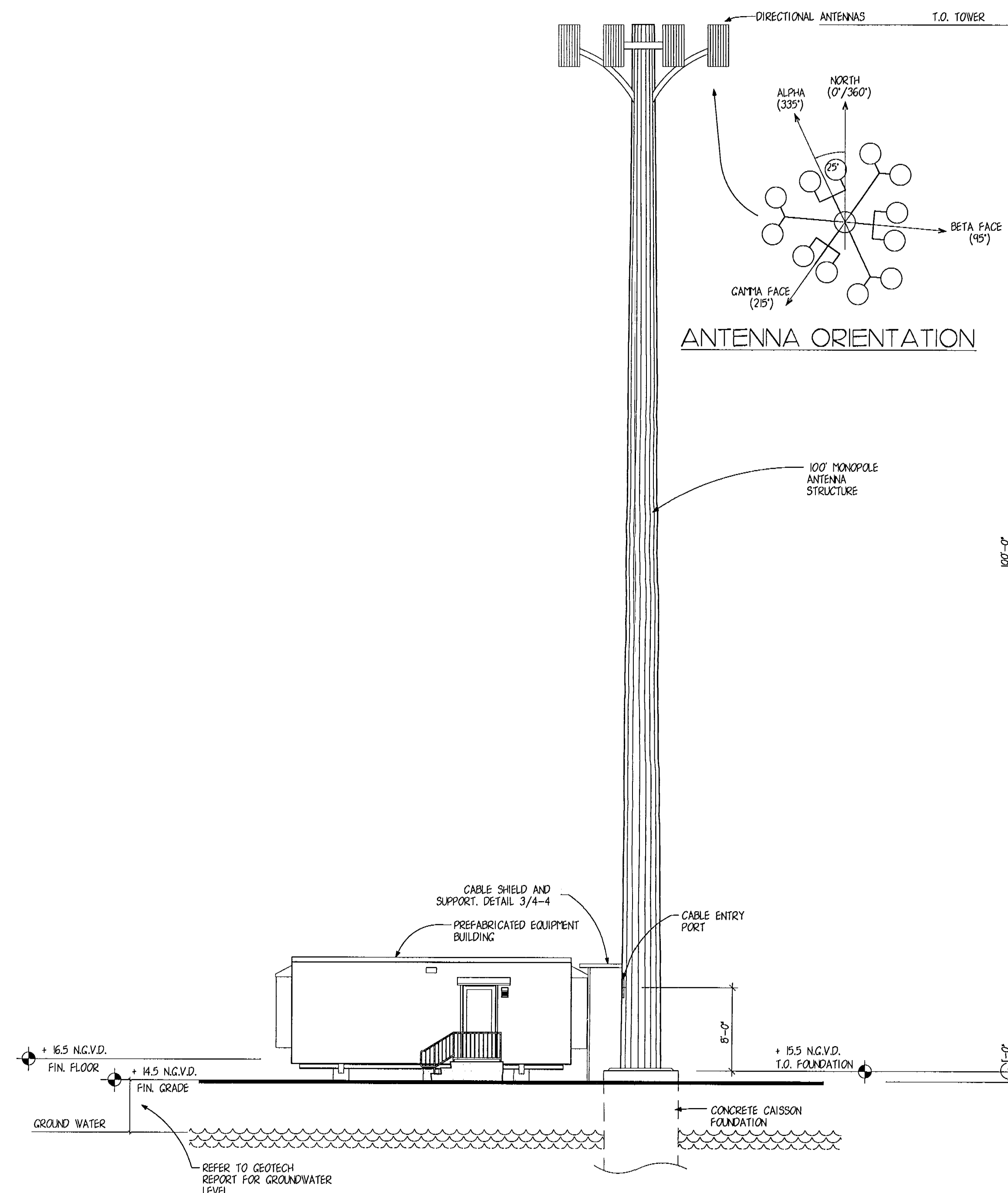
2 NORTH ELEVATION  
A-3 1/4" = 1'-0"



3 WEST ELEVATION  
A-3 1/4" = 1'-0"



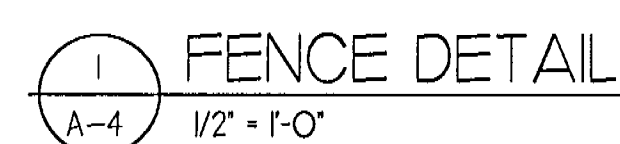
4 SOUTH ELEVATION  
A-3 1/4" = 1'-0"



2 OVERALL WEST ELEVATION  
A-2 1/8" = 1'-0"

- NOTES:
1. BELL SOUTH MOBILITY, INC. "STANDARD SPECIFICATION FOR ANTENNA SUPPORT TOWER & PREFABRICATED BUILDING" APPLY.
  2. TOWER DRAWING IS SCHEMATIC. FOR ACTUAL CONFIGURATION REFER TO TOWER MANUFACTURER'S ASSEMBLY DRAWINGS.
  3. PREFABRICATED EQUIPMENT SHELTER TO BE PROVIDED BY BELL SOUTH MOBILITY, INC., UNLOADED & SET ON FOUNDATION BY "PREFAB" MANUFACTURER. CONTRACTOR IS TO BE PRESENT AT INSTALLATION.
  4. CHAIN LINK FENCE NOT SHOWN FOR CLARITY.





**BELL SOUTH Mobility**  
BELL SOUTH

**BELL SOUTH**  
CELLULAR SITE "CDON"  
POMPANO BEACH, FLORIDA

REVISIONS

DATE: 10/6/97  
FILE: BE12A4  
JOB: BE-12  
SHEET 7  
A-4  
OF 11



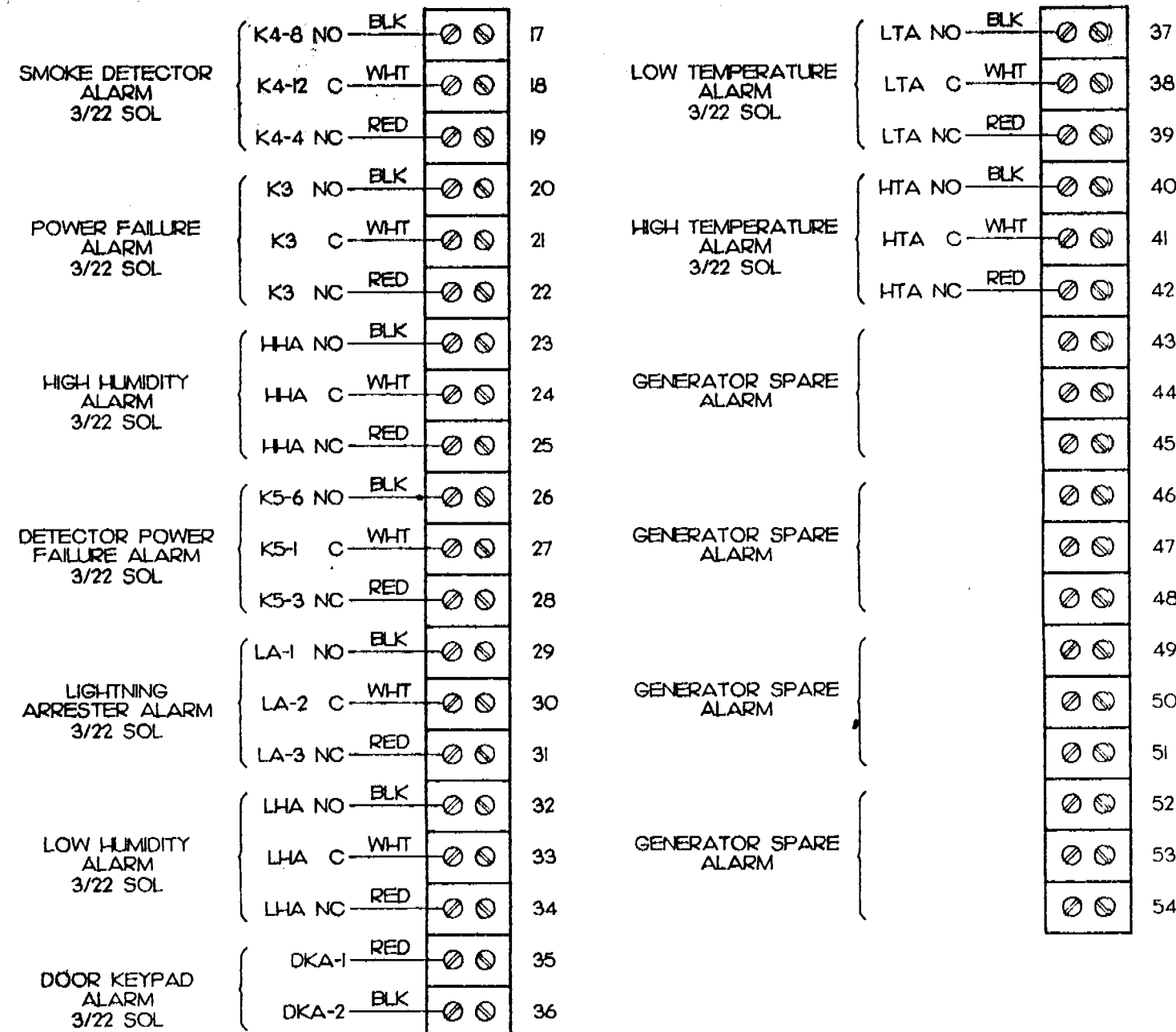
These drawings are provided by contract, these drawings and specifications shall not be reproduced or disclosed, in whole or part, without the written permission of VFP, Inc.

NOTES

- REFER TO DWG. 10116 FOR GENERAL NOTES.  
EXCEPTIONS: NOTE 7. ALL CONDUIT ON WALLS TO BE 1/2" EMT UNLESS NOTED OTHERWISE.
- REFER TO DWG. 101037 FOR NOTES, STD. WOOD.  
EXCEPTIONS: SEE SECTION A-A & DETAIL C ON SHEET 4.
- REFER TO DWG. 10131 FOR GENERAL GROUNDING NOTES.
- SECURE ROOF-TO-WALLS WITH 3/8 X 6 AND 3/8 X 8 LAG BOLTS.
- SECURE WALLS TOGETHER AT FOUR (4) CORNERS WITH 3/8 X 6 LAG BOLTS.
- SECURE SKID FLOOR AND WALLS TOGETHER AT PERIMETER WITH 1/2 X 8 LAG BOLTS. SKID ALSO SECURED TO FLOOR WITH 1/2 X 2 1/2 LAG BOLTS. SEE SKID DRAWING FOR LOCATIONS.
- ALL EMT CONDUIT TO HAVE CONNECTORS AT EACH END (EXCEPT CONDUIT CONTAINING GROUND WIRE), 1/4" AND LARGER TO ALSO HAVE BUSHINGS. ALL LT CONDUIT TO HAVE LT CONNECTORS AT EACH END, 1/4" AND LARGER TO ALSO HAVE BUSHINGS.
- ALL NIPPLES TO HAVE LOCKNUTS AND BUSHINGS AT EACH END UNLESS INDICATED OTHERWISE.
- TRIM WALL CORNERS, WALL-TO-WALL, AND WALL-TO-CEILING WITH COVE MOLD, WALL-TO-FLOOR WITH BASE MOLDING. TRIM INTERIOR CEILING SHEATHING JOINT WITH WHITE BATTEN TRIM. TRIM WGE OPENING WITH OUTSIDE CORNER MOLD.
- INSTALL HALO GROUND AS SHOWN ON SHEETS 4 & 5.
- ALL ALARM WIRES SHALL BE TERMINATED ON THE TERMINAL BLOCK (TB). (LEAVE FIRST 16 TERMINAL BLOCKS BLANK)
- THE FAN SHALL OPERATE FIVE MINUTES EVERY HOUR. THE FAN SHALL NOT OPERATE IF THE SMOKE DETECTOR IS OPERATING.
- ALL COUPLINGS FOR CONDUIT WITHIN TWO (2) FEET OF THE HALO GROUND SHALL BE GROUNDED WITH A #6 STR. WIRE. (COUPLING JUMPERS ARE NOT SHOWN ON PRINT)
- GROUND TERMINATIONS TO HAVE A BRASS, "DO NOT REMOVE", TAG FASTENED TO A 3/8" LAG BOLT.
- BUILDING ALARM WIRING AT THE TERMINAL BLOCK SHALL BE LABELED FOR THE APPROPRIATE ALARM. (SEE DETAIL #2)
- GROUND ACH'S AND DOOR FRAME TO SKID WITH #2 TINNED SOLID.
- PREDRILL HOLES AND DRIVE 1/2" PVC FOR #2 SOLID WIRE AND SILICONE EDGES.
- FRAME SUPPLY & RETURN GRILLE WITH 2 X 2'S PAINTED WHITE.
- WIRE (YELLOW) TO BE MECHANICALLY TWISTED, SOLDERED, AND COVERED WITH HEAT SHRINK TO 120 OHM RESISTOR.
- 4.7 OHM RESISTOR TO BE TWISTED AROUND PINS. (NO TERMINALS TO BE USED ON RESISTOR)
- EACH POLE OF CB #23 SHALL BE WIRED TO A SEPARATE RECEPTACLE CIRCUIT.
- K3 (POWER FAILURE ALARM) SHALL BE TAPPED FROM CB #23 AS SHOWN.
- ALL INTERIOR AND EXTERIOR SHEATHING TO BE APPLIED IN FULL SHEETS WITH OPENINGS ROUTED AFTER INSTALLATION.
- COIL AND TAG 2 FT OF WIRE IN INTERIOR BOX. (CKT #3)
- CUT OPENINGS FOR FLOOR VENT BLOWER AND FLOOR GRILLE THROUGH BOTH LAYERS OF STURDI-FLOOR AS SHOWN.
- RIP 2x4 NAILER BLOCKS IN FLOOR TO 2-1/2" AND LOCATE AS SHOWN.
- DRILL 3/4 HOLES THRU TRIPLES, CENTERED ON 3-1/2 FACE OF FLOOR JOIST WHERE SHOWN.
- FOR -002 ONLY REFER TO DWG. 465034 FOR SINGLE LAYER RFI/EMI SHIELDING DETAILS. SCREEN SHALL BE CONNECTED TO ALL METAL OBJECTS WHICH PENETRATE WALLS. I.e. DOORS, CONDUIT, ETC.
- REFER TO DWG #47337 FOR HVAC REDUNDANT CONTROL WIRING DIAGRAM.

PP I 400AMP, 120/240VAC, 10/3W, 60HZ, M.LUG

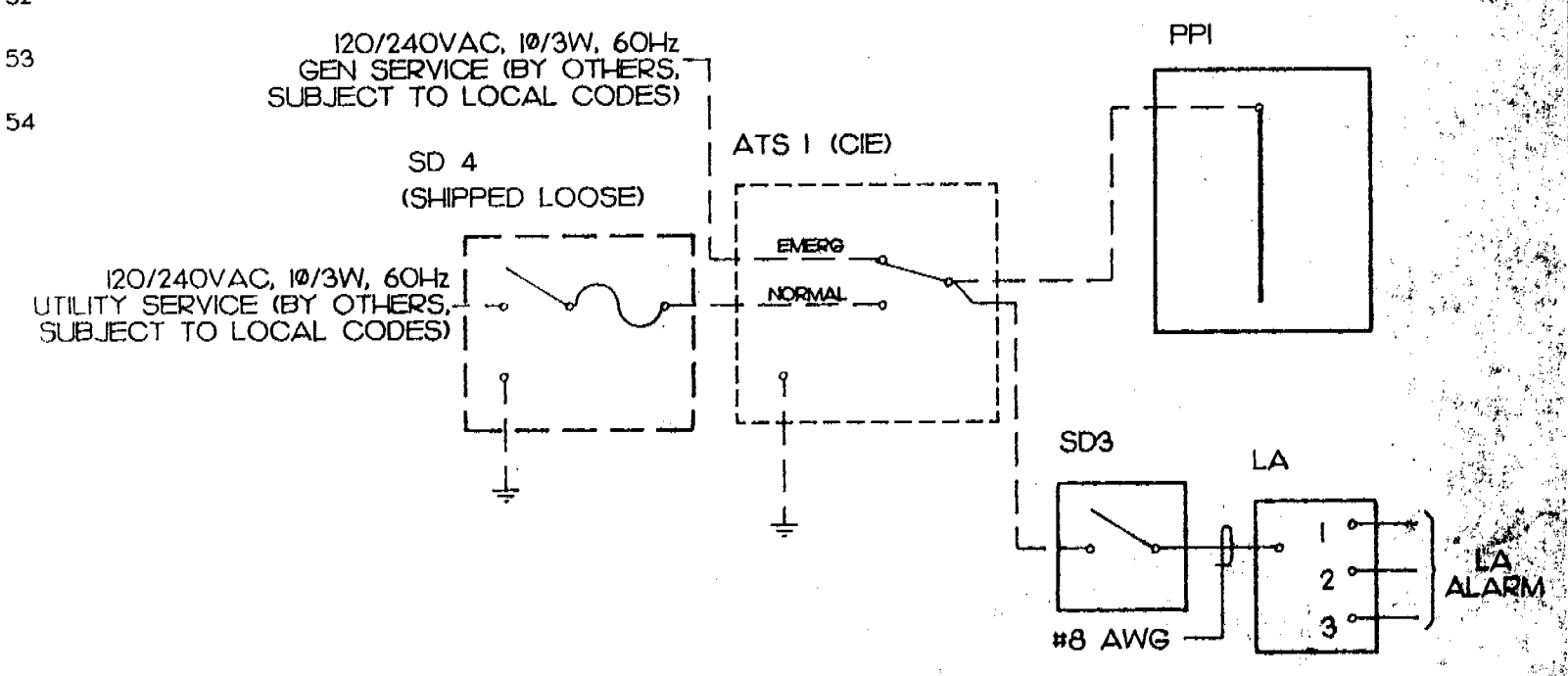
CKT #	# POLES	AMPS	# WIRES	AVG	LOAD	LEFT SIDE DESCRIPTION	CKT #	# POLES	AMPS	# WIRES	AVG	LOAD	RIGHT SIDE DESCRIPTION
1	2	40	2	8	25	RECTIFIER R-1	2	2	40	2	8	25	RECTIFIER R-2
3							4						
5	2	40	2	8	25	RECTIFIER R-3	6	2	40	2	8	25	RECTIFIER R-4
7							8						
9	2	20	2	12	12	RECTIFIER R-5	10	2	20	2	12	12	RECTIFIER R-6
11							12						
13	2	40	-	-	-	SPARE	14	2	40	-	-	-	SPARE
15							16						
17	1	20	2	12	1	EXHAUST/CLOCK/AC	18	1	15	-	-	-	SPARE
19	1	15	2	12	6	RECEPTS	20	1	15	-	-	16	SUITE FAN
21	1	15	2	12	7.5	LIGHTS	22	1	15	2	12	3	INVERTER
23	2	15	2	12	3	SUITE ROPT	24	2	20	-	-	5	EQUIPMENT RACKS
25	-	-	2	12	3	SUITE ROPT	26						
27	2	20	-	-	-	EQUIPMENT RACKS	28	2	20	-	-	5	EQUIPMENT RACKS
29							30						
31	1	20	2	12	12	TOWER LIGHTS	32	2	20	-	-	11	IRRIGATION PUMP
33	1	20	-	-	-	SPARE	34						
35	-	-	-	-	-	BLANK	36	2	100	2	2	76	ACH - 1
37	-	-	-	-	-	BLANK	38						
39	-	-	-	-	-	BLANK	40	2	100	2	2	76	ACH - 2
41	-	-	-	-	-	BLANK	42						



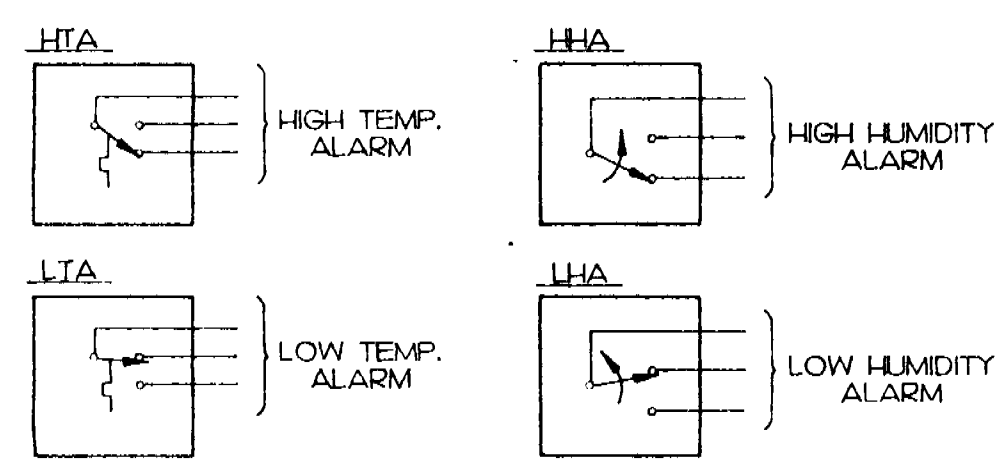
TERMINAL BLOCK WIRING DIAGRAM

REVISIONS					
ZONE	REV	DESCRIPTION	DATE	APPROVED	
N/A	A	UPDATE/AS BUILT PER CUST SPE	N5072	9-08-09	DPL
N/A	B	INC EON 1371, 1361 & 1335. UPDATE TO AS BUILT.	N5142	9-10-21	DPL
N/A	C	ADD FIELD NOTE	N5282	9-2-04-07	11-1

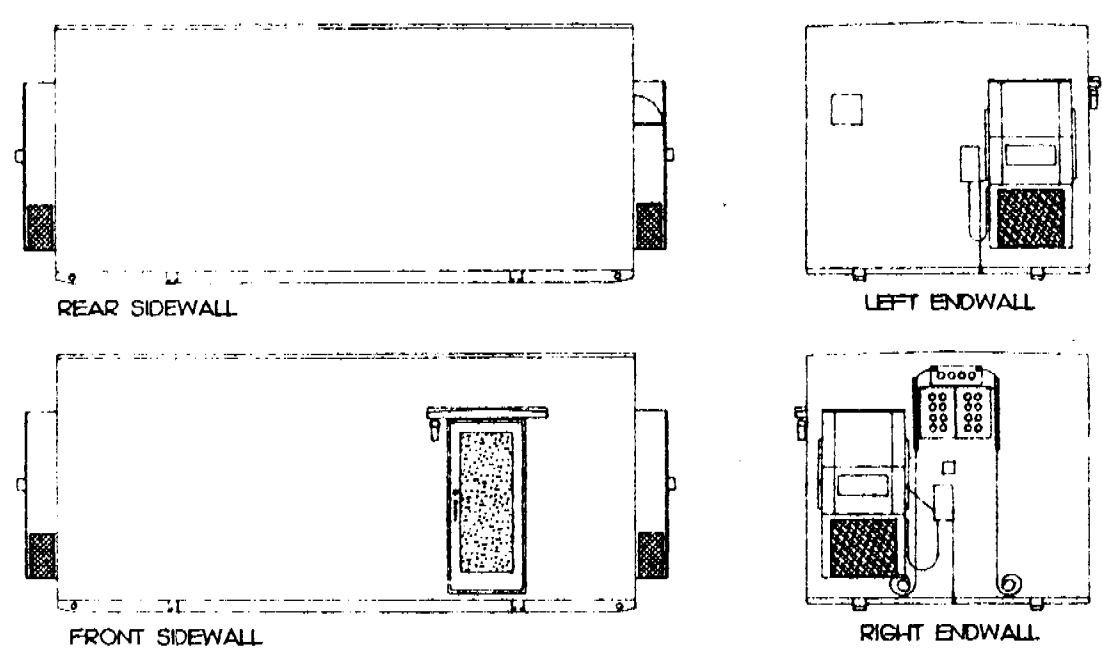
ECN 1496



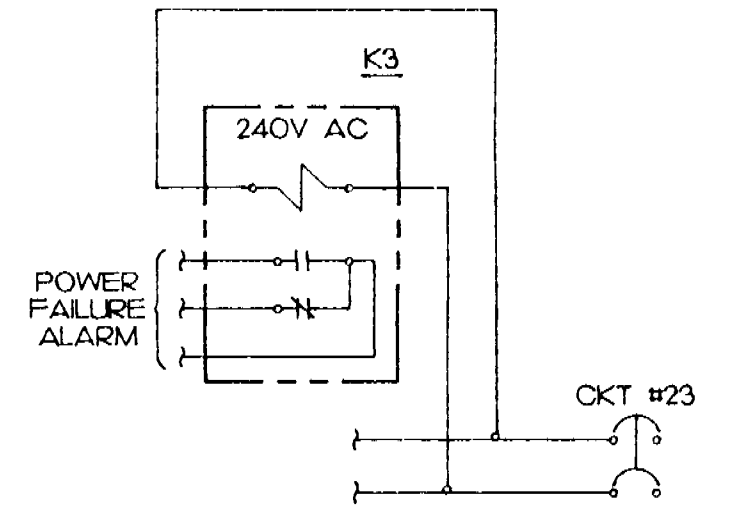
SERVICE ONE LINE DIAGRAM



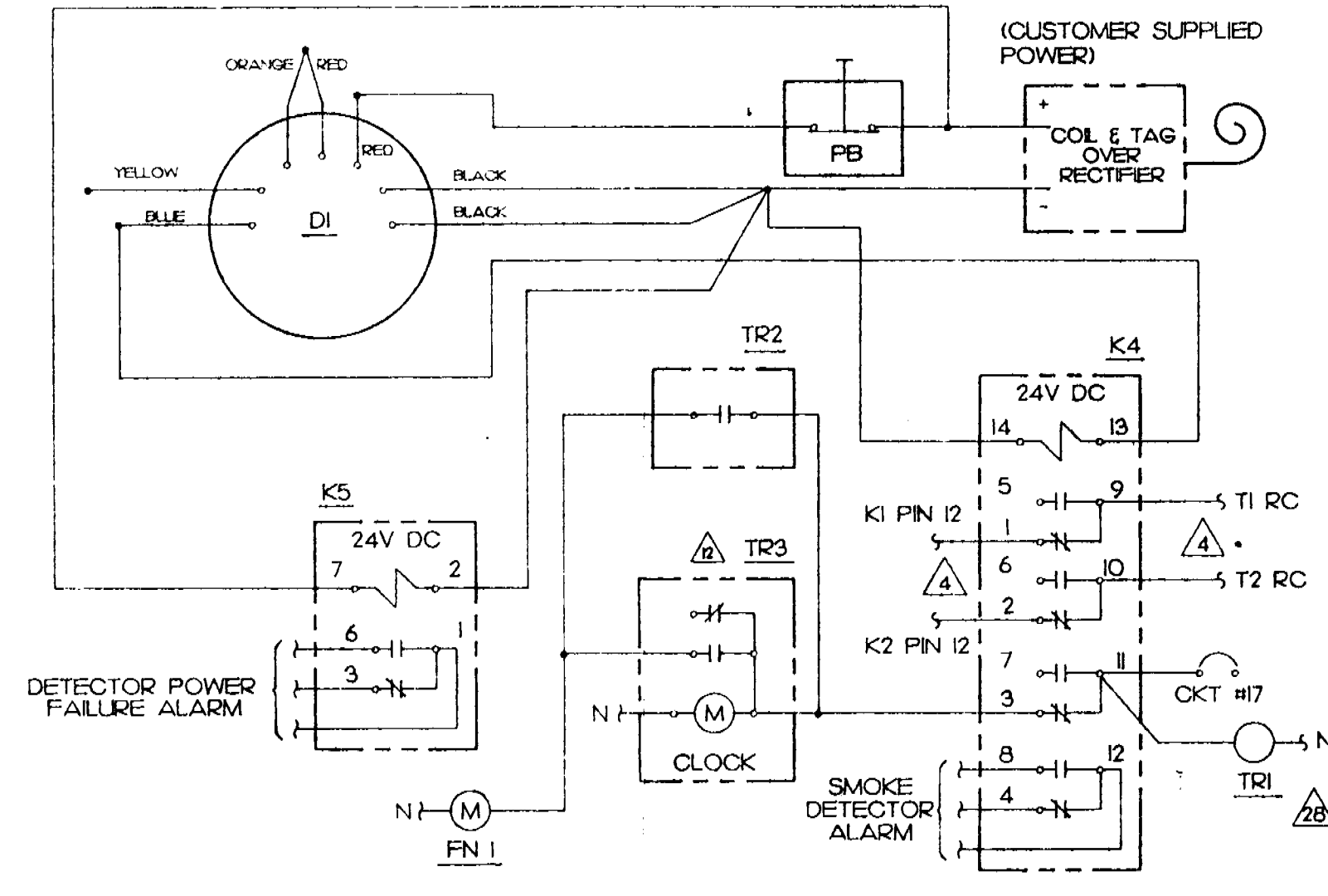
ALARM WIRING DIAGRAM



EXTERIOR ELEVATIONS



POWER FAIL ALARM



HVAC SHUTDOWN WIRING DIAGRAM

AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Codes and adhere to the following criteria:

Const. Type: VI

Occupancy: S

Allowable No. of Floors: 145

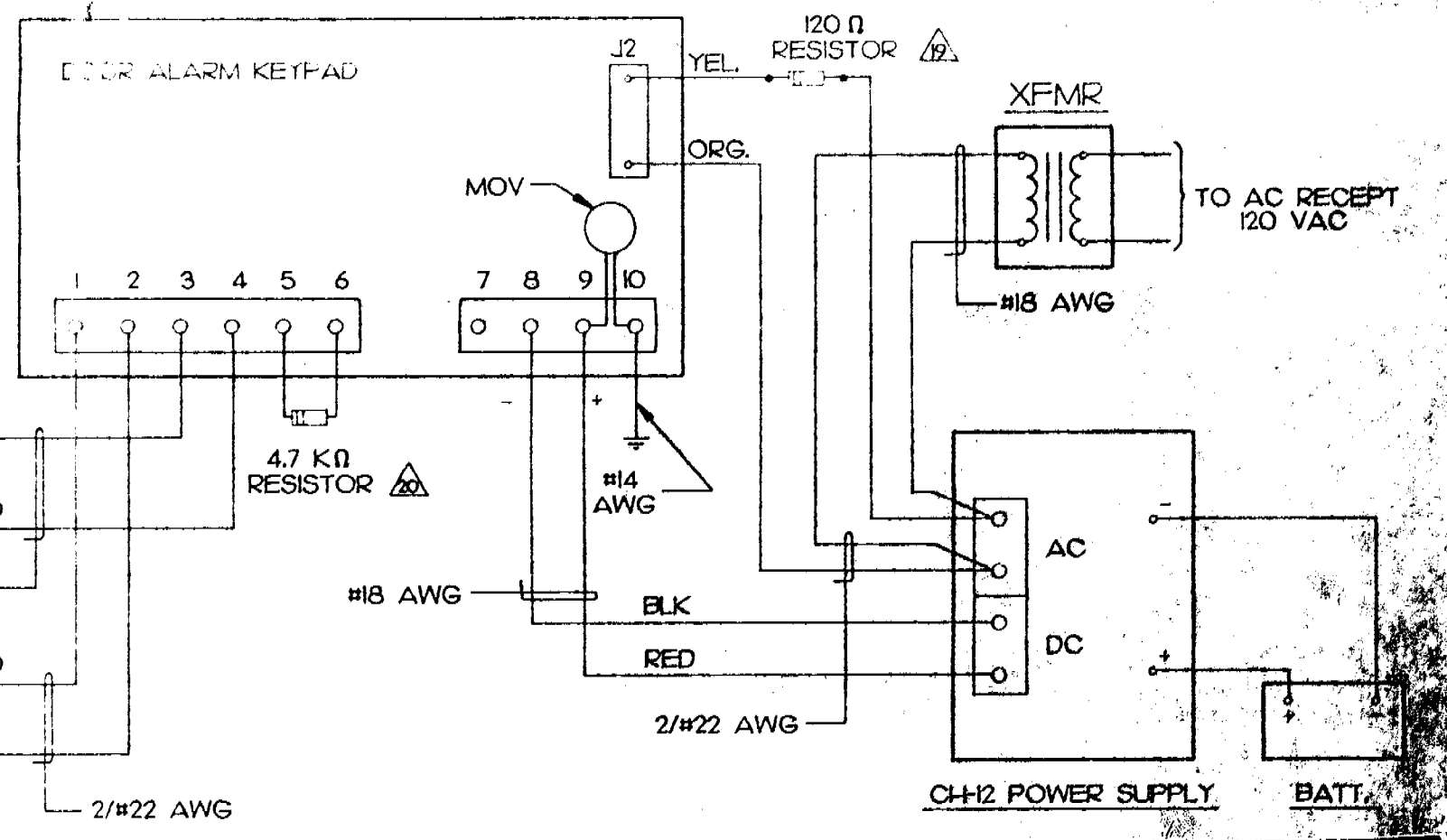
Wind Velocity: 0

Fire Rating of Ext. Walls: 200

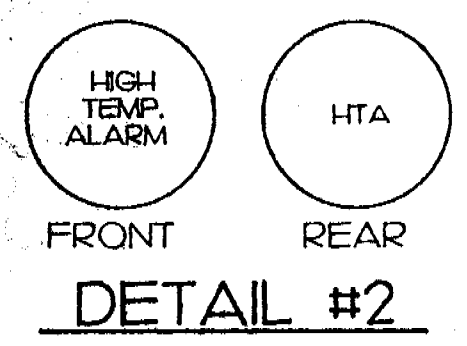
Floor Load: 9-24-97

Approval Date: 9-24-97

PSI PITTSBURGH TESTING

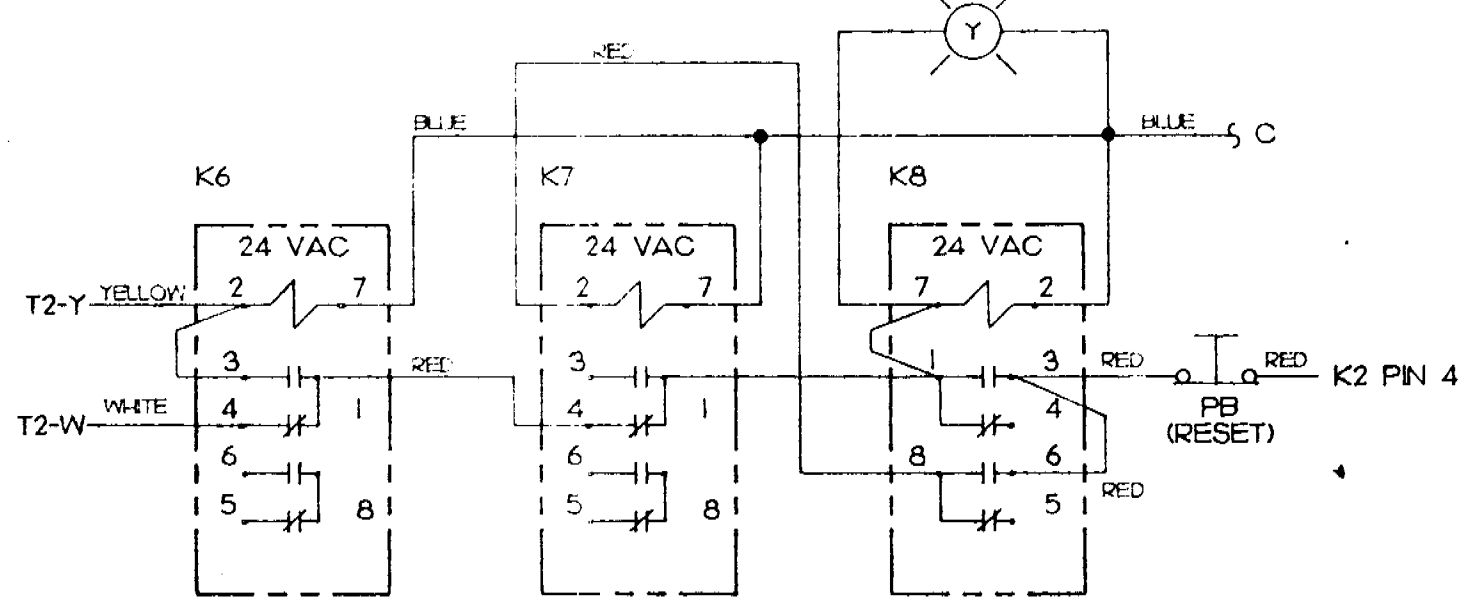


DOOR ALARM WIRING DIAGRAM



DETAIL #2

Allowable Stresses	
uniform floor load	200 psf
floor load (concentrated over 2 ft sq area)	3000 lbs
uniform roof live load	90 psf
roof live load (concentrated over 3 ft sq area)	1000 lbs
wind load (including sliding and overturning moments)	145 mph
seismic	zone 4
recommended foundation	47200-227



AC ADVISORY DIAGRAM

Code Classification	Occy	Constr
SBC 1991 - SBC07	S	VI (unprot)
NCSC 1991 (NC)		
NBC 1990 - BOCA	SI	SB
OSBC 1989 (OH)		
UBC 1988 - ICBO	B4	V (unprot)

B	B	B	C	REVISION	REV. STATUS OF SHEETS
5	4	3	2	1	SHEET

SEE SEPERATE PARTS LIST PL 401643-001

UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES ARE:

FRACTIONS DECIMALS ANGLES

DO NOT SCALE DRAWING

CONTRACT NO. 5001

APPROVALS: W. CULLOP, D. LODUCA

DATE: 9-05-02, 9-05-22

TITLE: 11'8" x 26'8" x 9'3" BLDG

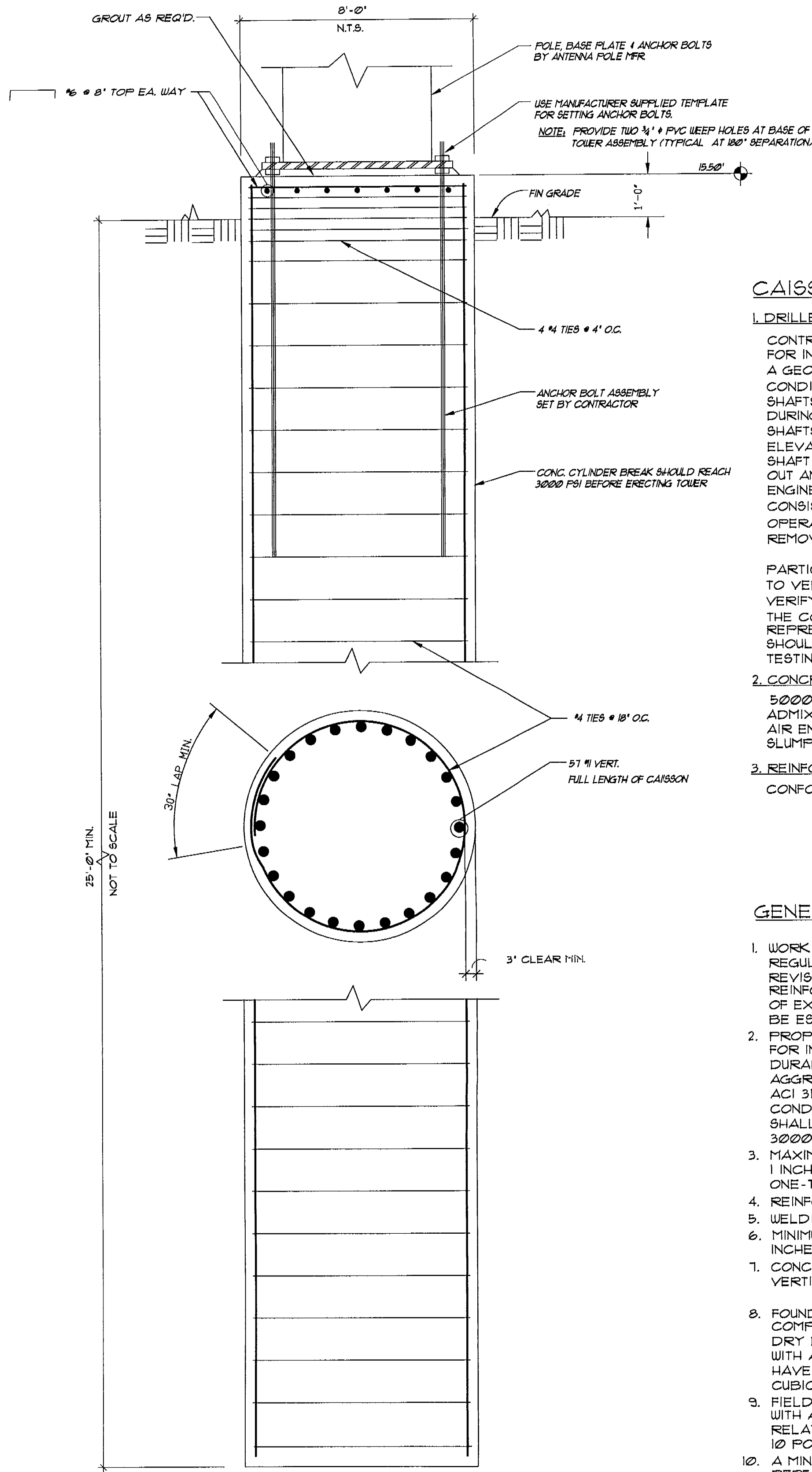
CAGE NO. 53223, DWG. NO. 401643

SCALE: N/A, N4945, 9-05-02, SHEET 1 OF 5

RELEASED  
SEP 18 1997  
VFP INC  
ENGINEERING

-001 AS SHOWN  
-002 RFI SHIELDED  
-003 MIRROR IMAGE





CAISSON SECTION 1  
SCALE: 1/2" = 1'-0"

100 FT. MONOPOLE CAISSON DESIGN CRITERIA	
MOMENT = 3660 FT-KIPS (43920 IN-KIPS)	
SHEAR = 492 KIPS	
AXIAL = 255 KIPS	
DESIGN WIND LOADS TO CONFORM TO THE REQUIREMENTS OF THE SOUTH FLORIDA BUILDING CODE. SUBMIT CALCULATIONS OF TOWER WITH SHOP DRAWINGS, PREPARED, SIGNED AND SEALED BY A PROFESSIONAL ENGINEER, TO SHOW COMPLIANCE WITH REQUIRED WIND LOADS.	

### CAISSON

#### 1. DRILLED SHAFT CAISSON

CONTRACTOR TO FOLLOW LAW ENGINEERING INC. RECOMMENDATIONS FOR INSTALLATION OF DRILLED SHAFT, CLOSE INSTALLATION MONITORING BY A GEOTECHNICAL REPRESENTATIVE FAMILIAR WITH THE SUBSURFACE SOIL CONDITIONS AT THE SITE IS CONSIDERED NECESSARY TO MEET THE DESIGN CRITERIA. DURING SHAFT INSTALLATION, THE ENGINEER SHOULD VERIFY THAT THE SHAFTS ARE WITHIN THE TOLERANCES FOR VERTICALITY, DIAMETER, AND TOP ELEVATION (EMBEDMENT INTO BEARING LAYER), THAT THE WALLS OF THE SHAFT HAVE NOT COLLAPSED, THAT THE BOTTOM HAS BEEN PROPERLY CLEANED OUT AND THAT GROUNDWATER INTRUSION IS PROPERLY CONTROLLED. THE ENGINEER WILL CHECK AND VERIFY THE SHAFT CONCRETE IS OF THE PROPER CONSISTENCY (SLUMP) AND THAT THE TREMIE EQUIPMENT OR CONCRETE PUMP IS OPERATING PROPERLY AND THAT THE COARSE MATERIAL FRAGMENTS ARE REMOVED FROM THE BENTONITE SLURRY DURING THE CIRCULATION PROCESS.

PARTICULAR ATTENTION IS REQUIRED DURING CONCRETE PLACEMENT IN ORDER TO VERIFY THAT A PROPER SHAFT HAS BEEN INSTALLED. THE ENGINEER WILL VERIFY THAT THE TREMIE PIPE OR PUMP HOSE IS KEPT ADEQUATELY BELOW THE CONCRETE SURFACE SO THAT CONCRETE SEGREGATION IS MINIMIZED. A REPRESENTATIVE NUMBER OF SLUMP TESTS AND CONCRETE TEST SAMPLES SHOULD BE FORMED FOR EACH 50 CUBIC YARDS OF CONCRETE FOR SUBSEQUENT TESTING.

#### 2. CONCRETE

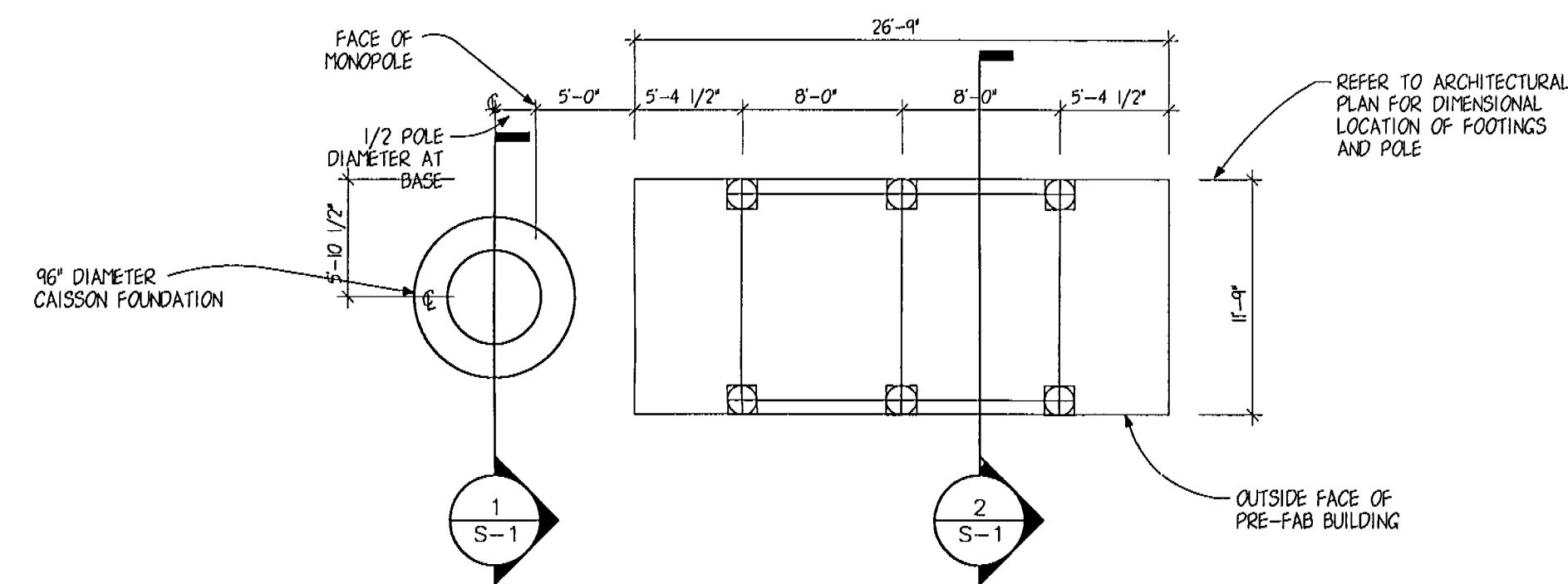
5000 PSI MINIMUM 28 DAY STRENGTH.  
ADMIXTURE: CONFORM TO ASTM C494, TYPE D.  
AIR ENTRAINING: 3% TO 6% CONFORM TO ASTM C260.  
SLUMP: 5" TO 1" MAXIMUM.

#### 3. REINFORCING

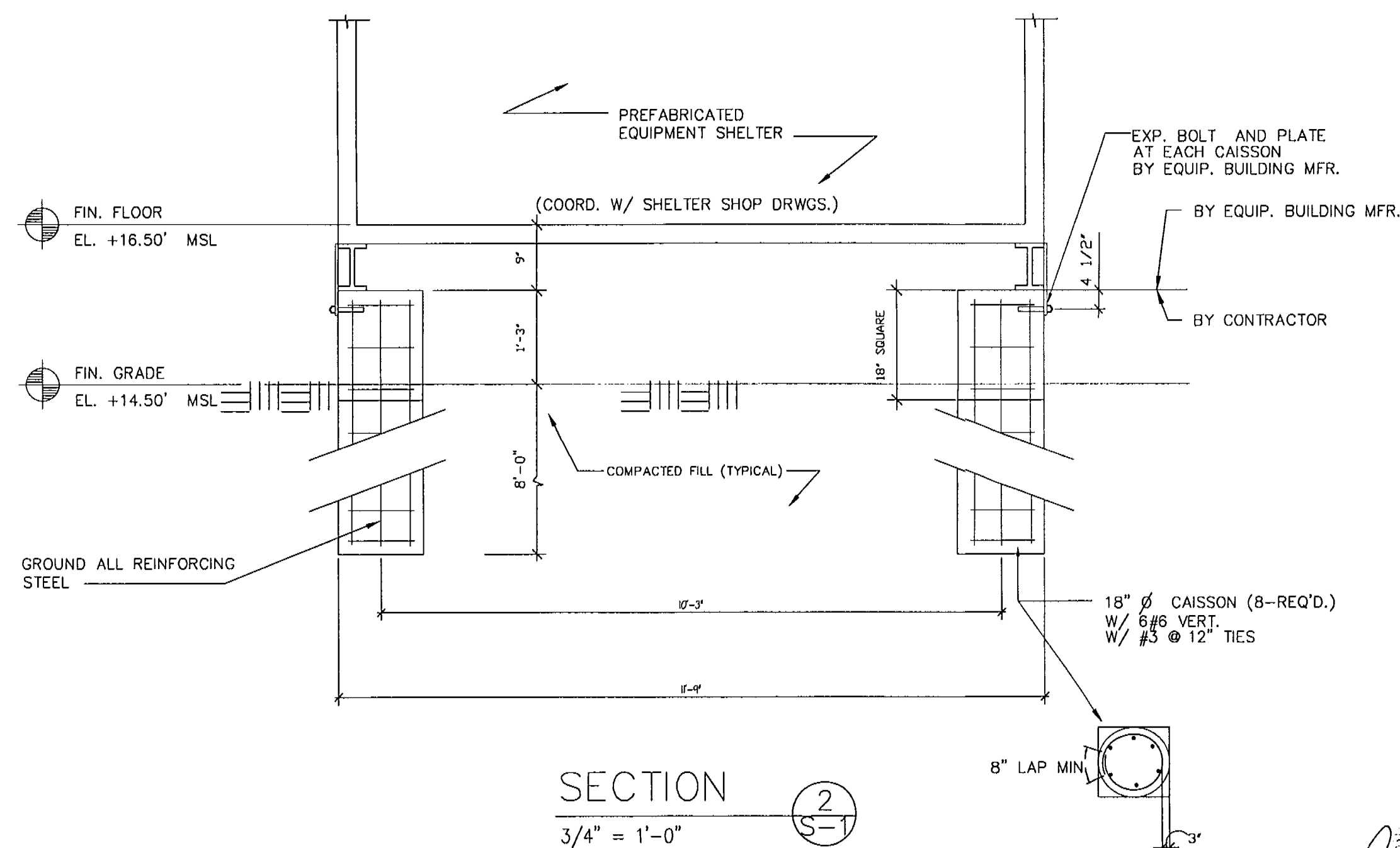
CONFORM TO ASTM A615-60 GRADE.

### GENERAL FOUNDATION NOTES

- WORK SHALL BE IN ACCORDANCE WITH LOCAL CODES, SAFETY REGULATIONS AND UNLESS OTHERWISE NOTED, THE LATEST REVISION OF ACI 318, 'BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE'. PROCEDURES FOR THE PROTECTION OF EXCAVATIONS, EXISTING CONSTRUCTION AND UTILITIES SHALL BE ESTABLISHED PRIOR TO FOUNDATION INSTALLATION.
- PROPORTIONS OF CONCRETE MATERIALS SHALL BE SUITABLE FOR INSTALLATION METHOD UTILIZED AND SHALL RESULT IN DURABLE CONCRETE FOR RESISTANCE TO LOCAL ANTICIPATED AGGRESSIVE ACTIONS. THE DURABILITY REQUIREMENTS OF ACI 318 CHAPTER 4 SHALL BE SATISFIED BASED ON THE CONDITIONS EXPECTED AT THE SITE. AS A MINIMUM, CONCRETE SHALL DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
- MAXIMUM SIZE OF CONCRETE AGGREGATE SHALL NOT EXCEED 1 INCH SIZE SUITABLE FOR INSTALLATION METHOD UTILIZED OR ONE-THIRD CLEAR DISTANCE BEHIND OR BETWEEN REINFORCING.
- REINFORCING STEEL SHALL BE ASTM A615 GRADE 60 (FY=60KSI).
- WELDING IS PROHIBITED ON REINFORCING STEEL AND EMBEDMENTS.
- MINIMUM CONCRETE COVER FOR REINFORCEMENT SHALL BE 3 INCHES UNLESS OTHERWISE NOTED.
- CONCRETE COVER FROM TOP OF FOUNDATION TO ENDS OF VERTICAL REINFORCEMENTS SHALL NOT EXCEED 3 INCHES.
- FOUNDATION DESIGN ASSUMES STRUCTURAL BACKFILL TO BE COMPACTED IN 8 INCH MAXIMUM LAYERS TO 95% OF MAXIMUM DRY DENSITY AT OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D698. ADDITIONALLY, STRUCTURAL BACKFILL MUST HAVE A MINIMUM COMPACTED UNIT WEIGHT OF 100 POUNDS PER CUBIC FOOT.
- FIELD DENSITY TESTS SHALL BE MADE IN ACCORDANCE WITH ASTM D1557, METHODS OF TEST FOR MOISTURE DENSITY RELATIONS OF SOILS, AND SOIL AGGREGATE MIXTURES USING 10 POUND RAMMER AND 18" DROP.
- A MINIMUM OF ONE IN-PLACE FIELD DENSITY TEST SHALL BE PERFORMED FOR EACH 2500 SQ. FT. OR FRACTION THEREOF, FOR EACH LIFT OF COMPACTED SOIL, AND SUCH TESTING SHALL BE PERFORMED IN ACCORDANCE WITH EITHER ASTM D1556, STANDARD TEST METHOD FOR DENSITY OF SOIL IN-PLACE BY THE SAND CONE, OR ASTM D2922, STANDARD TEST METHOD FOR DENSITY OF SOIL AND SOIL AGGREGATE IN-PLACE BY NUCLEAR METHODS (SHALL OW DEPTH), OR OTHER APPROVED METHODS.
- FOUNDATION DESIGN ASSUMES FIELD INSPECTION WILL BE PERFORMED TO VERIFY THAT CONSTRUCTION MATERIALS, INSTALLATION METHODS AND ASSUMED DESIGN PARAMETERS ARE ACCEPTABLE BASED ON CONDITIONS EXISTING AT THE SITE.
- LOOSE MATERIALS SHALL BE REMOVED FROM BOTTOM OF EXCAVATION PRIOR TO CONCRETE PLACEMENT. ALL FILL PLACED UNDER SLABS SHALL BE CLEAN SAND OR ROCK FREE OF DEBRIS AND OTHER DELETERIOUS MATERIALS. THE MAXIMUM SIZE OF ROCK WITHIN 12 INCHES BELOW THE FLOOR SLAB IN COMPACTED FILL SHALL BE 3 INCHES IN DIAMETER.
- CONCRETE SHALL BE PLACED IN A MANNER THAT WILL PREVENT SEGREGATION OF CONCRETE MATERIALS, INFILTRATION OF WATER OR SOIL AND OTHER OCCURRENCES WHICH MAY DECREASE THE STRENGTH OR DURABILITY OF FOUNDATION.
- FOUNDATION DESIGN ASSUMES CONTINUOUS CONCRETE PLACEMENT WITHOUT CONSTRUCTION JOINTS.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN FIELD BEFORE FINAL CONSTRUCTION.
- FOUNDATION DESIGN ASSUMES A MINIMUM ALLOWABLE BEARING CAPACITY OF 2000 PSF.



FOUNDATION PLAN  
SCALE: 1/4" = 1'-0"



SECTION 2  
3/4" = 1'-0"

NOTE:  
COORDINATE CAISSON DEPTHS WITH GEOTECHNICAL ENGINEERING REPORT INCLUDED WITHIN THE SPECIFICATION MANUAL.

WAYNE E. VENSEL  
ARCHITECT, INC.

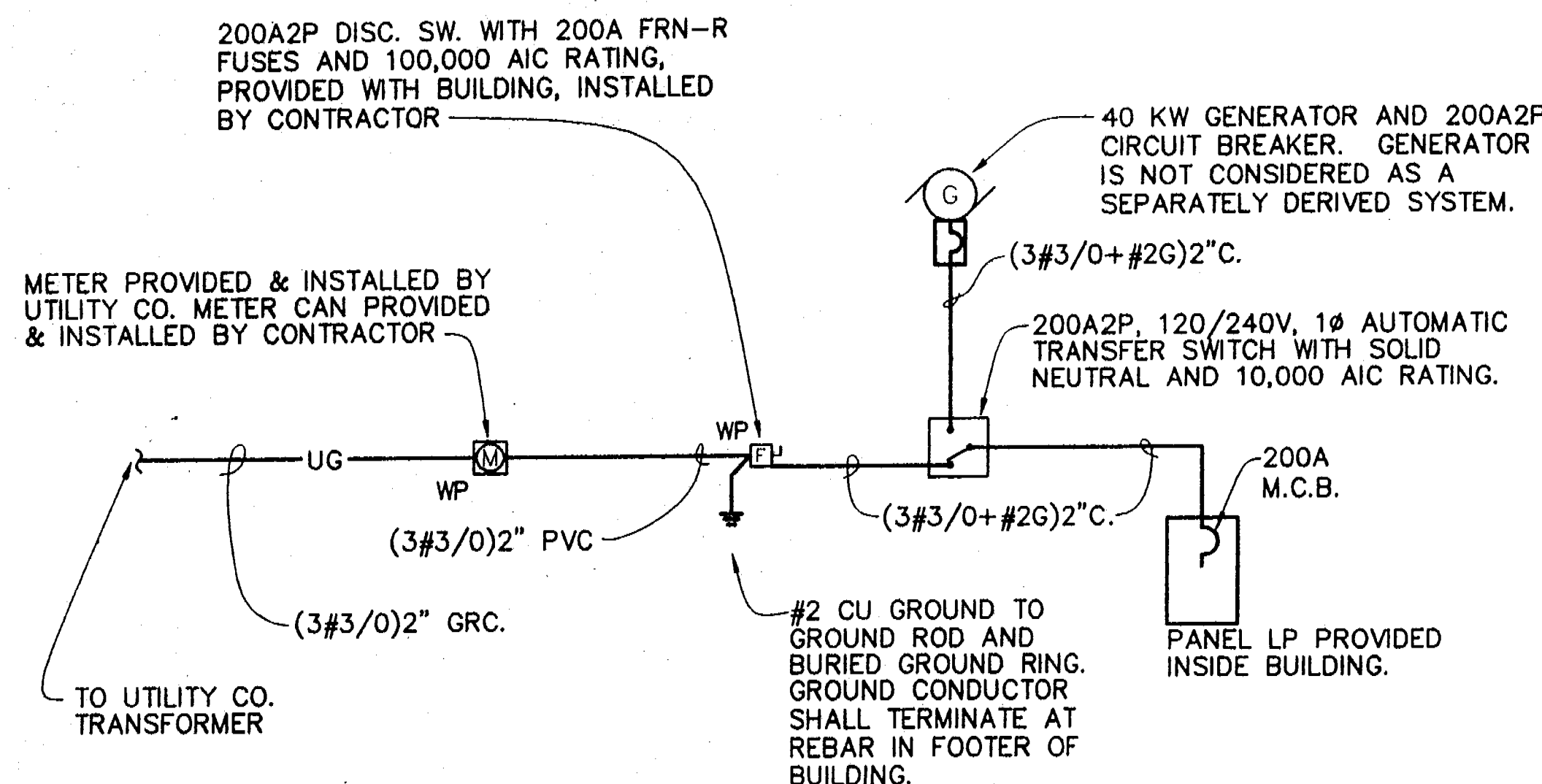


BELL SOUTH MOBILITY  
CELLULAR SITE 'COON'

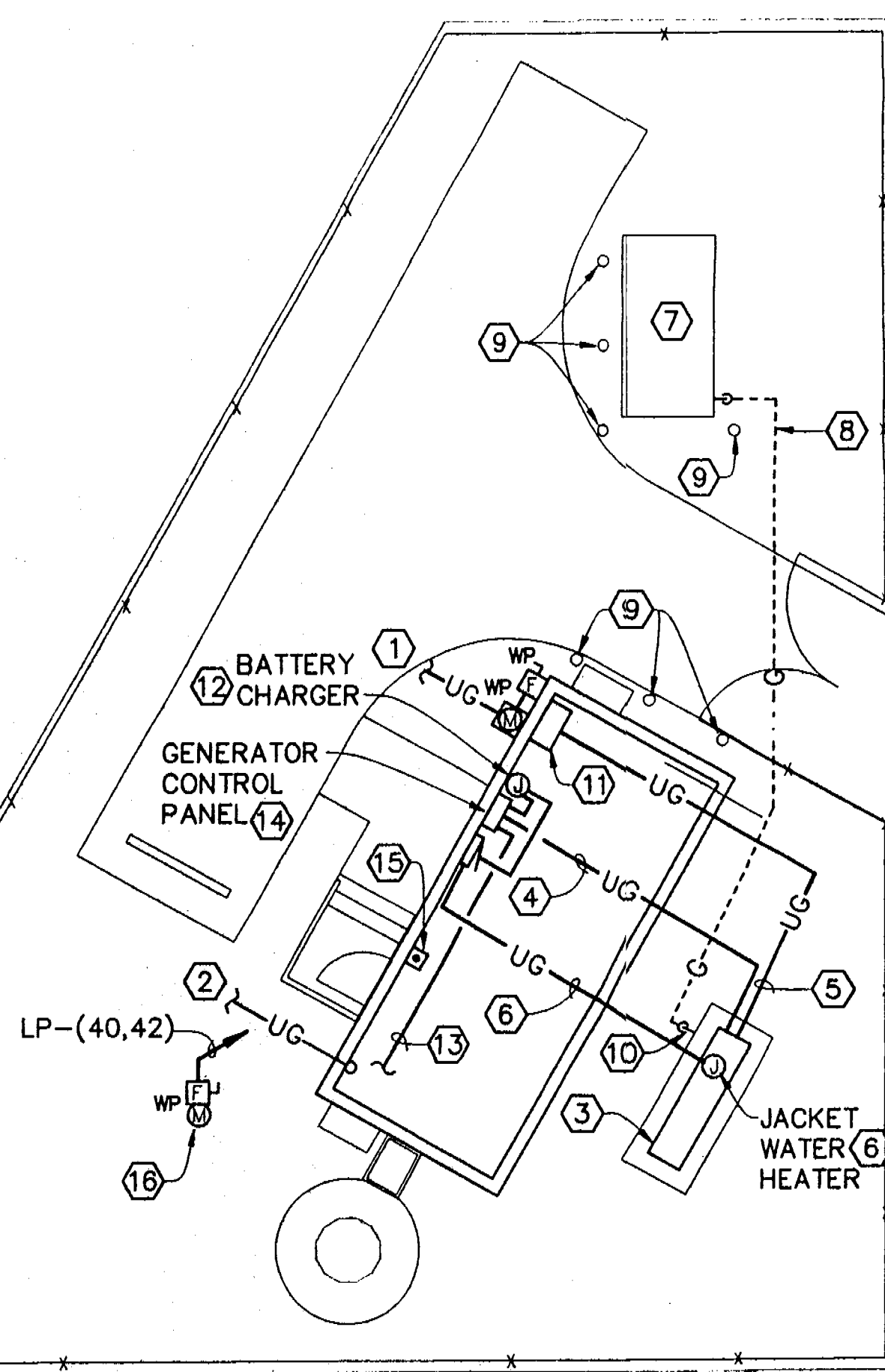
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OF 11





ELECTRICAL ONE-LINE DIAGRAM  
NO SCALE 120/240V-1Ø-3W SERVICE



ELECTRICAL PLAN  
SCALE: 1/8" = 1'-0"

## GENERAL NOTES:

1. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
2. COMPLETE CIRCUITING FOR BATTERY IN EMERGENCY LIGHTING FIXTURE INSIDE BUILDING. INSTALL EXTERIOR LUMINAIRE (PROVIDED BY BUILDING MANUFACTURER) TO EXTERIOR JUNCTION BOX.
3. SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE MODULAR BUILDING WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING.
4. SILICONE SEAL AROUND ALL BOLTS AND SCREWS USED TO SECURE EQUIPMENT TO EXTERIOR OF BUILDING.
5. COORDINATE WITH ELECTRICAL UTILITY COMPANY FOR EXACT METERING REQUIREMENTS AND SERVICE ROUTING. APPLY FOR ELECTRICAL SERVICE A.S.A.P..
6. COORDINATE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING WITH LOCAL TELEPHONE COMPANY. APPLY FOR TELEPHONE SERVICE A.S.A.P..
7. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO APPLY FOR COMMERCIAL POWER IMMEDIATELY UPON RECEIVING AWARD OF BID. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL RECEIPTS FROM THE POWER COMPANY ACKNOWLEDGING APPLICATION FOR POWER AND THOROUGH DOCUMENTATION OF ANY DISCUSSIONS WITH THE POWER COMPANY THEREAFTER. ALSO, THE GENERAL CONTRACTOR SHALL RECEIVE IN WRITING A CONFIRMATION FROM THE POWER COMPANY AS TO WHEN THE ANTICIPATED POWER CONNECTION WILL BE COMPLETE. IF COMMERCIAL POWER IS NOT AVAILABLE BY THE "POWER COMPLETE" DATE AS CALLED OUT IN THE SPECIFICATIONS, A GENERATOR WILL BE SUPPLIED AND MAINTAINED BY THE GENERAL CONTRACTOR UNTIL COMMERCIAL POWER IS OBTAINED. ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE MUTUALLY AGREED UPON BETWEEN THE OWNER, ARCHITECT AND GENERAL CONTRACTOR. IN THE EVENT THE GENERAL CONTRACTOR FAILS TO TAKE THE NECESSARY MEASURES AS DESCRIBED HERE-IN TO SECURE POWER BY THE POWER COMPLETE DATE, THEN ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE BORNE BY THE GENERAL CONTRACTOR.

PANEL " LP "											
120/240 VOLT				1 PHASE				3 WIRE SERVICE			
200 AMP. MAIN BREAKER				LUGS ONLY				MOUNTING: SURFACE			
10000 A.I.C. GROUND BUS				NEUTRAL				FLUSH			
DESCRIPTION	L	R	M/A/E	L1	L2	L	R	M/A/E	DESCRIPTION		
RECTIFIER 24V			E3018	40	1 2 40			E3016	RECTIFIER 24V		
---			3018		3 4			3016	---		
RECTIFIER 24V			E3016	40	5 6 40				RECTIFIER 24V		
---			3016		7 8				(REDUNDANT)		
RECTIFIER 48V				20	9 10 20				RECTIFIER 48V		
FUTURE					11 12				FUTURE		
SPR				40	13 14 40				SPR		
---					15 16				SPR		
EXHAUST/T.C.			M670		17 18			E500	BATT CHARGER		
RECEPTACLES		720			19 20 30			M2784	AC-1		
LIGHTS	800				21 22			2784	---		
COMM STR LTGS	1200				23 24 30			M2784	AC-2		
TTB		360			25 26			2784	---		
SP					27 28			E1000	JCKT WTR HTR		
					29 30				SP		
					31 32						
					33 34						
					35 36						
					37 38						
PVR			E2	15	39 40 30			M1380	IRRIGATION PUMP		
---			2		41 42			1380	---		
TOTAL	2000	1080	670	12064	LOADS IN VOLT-AMPERES			13896	7532	TOTAL	
TYPES OF LOADS (KVA)				CONNECTED	D.F.	DEMAND	CONNECTED 31.7 KVA				
LIGHTING				2.00	1.25	2.50	DESIGN 48.0 KVA				
RECEPT. (FIRST 10 KW)				1.08	1.00	1.08	DEMAND 26.3 KVA				
RECEPT. (REMAINDER)					0.50		SPARE 21.7 KVA				
MOTORS				3.43	1.00	3.43	CONNECTED 0L1 15.8 KVA				
LARGEST MOTOR				5.57	1.25	6.96	0L2 15.9 KVA				
APPLIANCES											
EQUIPMENT				1.50	1.00	1.50					
RECTIFIERS				18.10	0.60	10.86					
TOTAL				31.68 KVA		26.33 KVA	ALL CIRCUIT BREAKERS				
LOAD				132.0 AMPS		109.7 AMPS	ARE 20 AMP. 1 POLE.				
DESIGN						200.0 AMPS	UNLESS NOTED OTHERWISE.				
SPARE						90.3 AMPS					
L = LIGHTING R = RECEPTACLE M = MOTOR A = APPLIANCE E = EQUIPMENT											
K = KITCHEN H = ELECTRIC HEAT SPR = SPARE SP = SPACE											

\* NON-SIMULTANEOUS LOADS

## UTILITY CONTACTS FOR CDON

### TELEPHONE:

SOUTHERN BELL  
8601 W. SUNRISE BLVD.  
PLANTATION, FL 33322  
(954) 423-6249  
ATTN: MR. STEVE CALHOUN

### ELECTRIC:

FLORIDA POWER & LIGHT  
330 S.W. 12TH AVENUE  
POMPAÑO BEACH, FL 33069  
(954) 781-1031  
ATTN: MR. H.F. SMITH

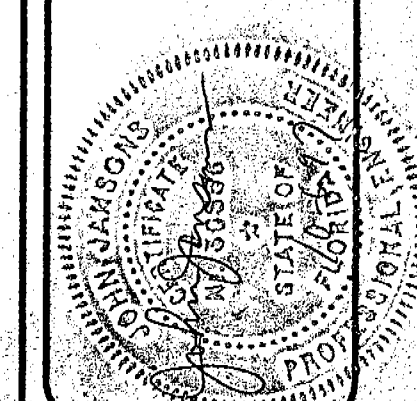
## FLAG NOTES THIS SHEET:

1. ELECTRICAL SERVICE ENTRANCE. VERIFY EXACT LOCATION AND ROUTING OF INCOMING SERVICE WITH UTILITY AND OWNER. MOUNT METER AND DISCONNECT SWITCH ON THE BUILDING AT +6'-0" ABOVE FINISHED GRADE. PROVIDE GALVANIZED RIGID CONDUIT (GRC) FOR ENTIRE LENGTH OF INCOMING SERVICE.
2. UNDERGROUND TELEPHONE SERVICE ENTRANCE. VERIFY EXACT LOCATION, AND ROUTING OF INCOMING SERVICE WITH UTILITY AND OWNER. PROVIDE (2) 2" CONDUITS WITH PULLWIRE PROVIDE GALVANIZED RIGID CONDUIT (GRC) FOR ENTIRE LENGTH OF INCOMING SERVICE OR 30'-0" FROM BUILDING, WHICHEVER IS SHORTER.
3. 40 KW, 120/240V, 1Ø KOHLER GENSET PROVIDED AND SET IN PLACE BY OTHERS. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO GENERATOR AND FINAL CONNECTIONS AS INDICATED.
4. PROVIDE CONTROL CIRCUITS AND ALARM CIRCUITS IN A 1-1/2" CONDUIT UNDERGROUND FROM GENERATOR TO GENERATOR CONTROL PANEL IN BUILDING. REFER TO THE MANUFACTURER'S SPECIFICATIONS AND WIRING DIAGRAMS FOR CONTROL CIRCUITS REQUIRED. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND FEEDER TO CONTROL PANEL.
5. PROVIDE UNDERGROUND FEEDER FROM GENERATOR TO A.T.S. IN BUILDING. REFER TO ELECTRICAL ONE-LINE DIAGRAM, THIS SHEET, FOR FEEDER SIZE. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND FEEDER TO A.T.S.
6. FOR CONNECTION TO JACKET WATER HEATER, 120V, 1Ø, 1000W. ROUTE (2#12+12G)3/4"C. UNDERGROUND BENEATH PREFABRICATED BUILDING TO LP-28. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND TO PANELBOARD.
7. PROVIDE NEW 500 GALLON LP TANK TO SERVICE GAS GENERATOR. MOUNT ON CONCRETE PAD AS RECOMMENDED BY MANUFACTURER. MAINTAIN 10'-0" MINIMUM CLEARANCE FROM ANY BUILDING, IGNITION SOURCE OR PROPERTY LINE THAT ADJACENT PROPERTY CAN BE BUILT UPON, PER NFPA 58. PROVIDE WITH SINGLE STAGE PRESSURE REGULATOR.
8. PROVIDE 3/4" STEEL GAS PIPING (SIZED PER NFPA #54) FROM TANK TO SECOND STAGE PRESSURE REGULATOR AT PREFABRICATED BUILDING. REFER TO PLUMBING SPECIFICATION, SHEET E-3. REMOVE ALL RUST WITH A WIRE BRUSH. PROVIDE TWO COATS OF TAR FOR PIPE INSTALLED UNDERGROUND. EXTEND TAR COATING 6" ABOVE FINISHED GRADE. PROVIDE GALVANIZED PAINT ON ALL ABOVE-GRADE PIPE. USE NON-CORRODING COUPLINGS. PAINT PIPE PRIOR TO INSTALLATION. ROUTE PIPING TO GENERATOR AND CONNECT TO GENERATOR PIPE TAP WITH FLEXIBLE CONNECTION AND DRIPLEG. ALL PIPING TO BE BURIED A MINIMUM OF 24" BELOW GRADE. MAINTAIN A MINIMUM OF 12" SEPARATION BETWEEN PIPING AND UNDERGROUND ELECTRICAL LINES. 298 CFH.
9. 36" HIGH PROTECTIVE BOLLARDS PROVIDED BY GENERAL CONTRACTOR.
10. NEW PRESSURE REGULATOR AND UNION AT GENERATOR FOR SECOND SINGLE STAGE REGULATION. LOCATE NEXT TO GENERATOR. PROVIDE GAS SHUT-OFF VALVE NEXT TO GENERATOR.
11. AUTOMATIC TRANSFER SWITCH (A.T.S.) PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR. LOCATE INSIDE OF BUILDING IN APPROXIMATE LOCATION INDICATED. RELOCATE EQUIPMENT AS REQUIRED. REFER TO ELECTRICAL ONE-LINE DIAGRAM, THIS SHEET, FOR CONNECTIONS.
12. FOR CONNECTION TO BATTERY CHARGER, 120V, 1Ø, 500W. ROUTE (2#12+12G)3/4"C. TO LP-18.
13. CONNECT ALL AUXILIARY ALARM FROM GENERATOR CONTROL PANEL TO THIS STRIP AND LABEL. USE #14 AWG CONDUCTORS IN 1/2"C FOR ALL ALARM LEADS. PROVIDE NORMALLY OPEN OR CLOSED (VERIFY WITH OWNER) CONTACTS FROM GENERATOR SIDE TO ACTIVATE "GENERATOR ON" SIGNAL.
14. GENERATOR CONTROL PANEL PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR.
15. PUSH BUTTON FOR EMERGENCY GENERATOR SHUTDOWN PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE ALL NECESSARY APPURTENANCES FOR A COMPLETE OPERATING SYSTEM. COORDINATE WIRING WITH GENERATOR MANUFACTURER. COORDINATE LOCATION WITH OWNER.
16. PROVIDE CONNECTION TO IRRIGATION PUMP, 240V, 1Ø, 2HP, 2.76 KVA. PROVIDE (2#12+12G)1/2"C TO 30A2P CIRCUIT BREAKER IN PANEL. PROVIDE 30A2P-WP DISCONNECT SWITCH WITH 20A FRN-R FUSES. ROUTE CIRCUITING THROUGH CONTROL PANEL PROVIDED WITH PUMP.

## GROUNDING/ELECTRICAL LEGEND

- ⊙ GENERATOR RECEPTACLE
- ⊕ FUSED DISCONNECT SWITCH
- ⊖ NON-FUSED DISCONNECT SWITCH
- ⊗ METER
- ⊘ SERVICE WEATHERHEAD
- ⊙ POLE
- ⊕ PULL BOX
- ⊖ CONDUIT RUN
- ⊗ WEATHERPROOF
- ⊘ CONNECTION TO GROUND RING
- ⊙ INSPECTION SLEEVE
- ⊕ GROUND ROD WITH INSPECTION SLEEVE
- ⊖ TRANSIENT VOLTAGE SURGE SUPPRESSOR
- ⊗ CIRCUIT BREAKER
- ⊘ TRANSFER SWITCH, AS SPECIFIED
- ⊙ GENERATOR

McFALL-KONKEL & KIMBALL  
CONSULTING ENGINEERS, INC.  
Mechanical, Electrical, Environmental & Energy Consultants  
7390 East Progress Place, Suite 100  
Englewood, Colorado 80111  
(303) 721-6500



WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
C305662-1690

BELL SOUTH Mobility  
MIAMI AREA SITE "CDON"  
2900 W. SAMPLE ROAD  
POMPAÑO BEACH, FLORIDA

REVISIONS:

DATE: 10/06/97

FILE: BE-12

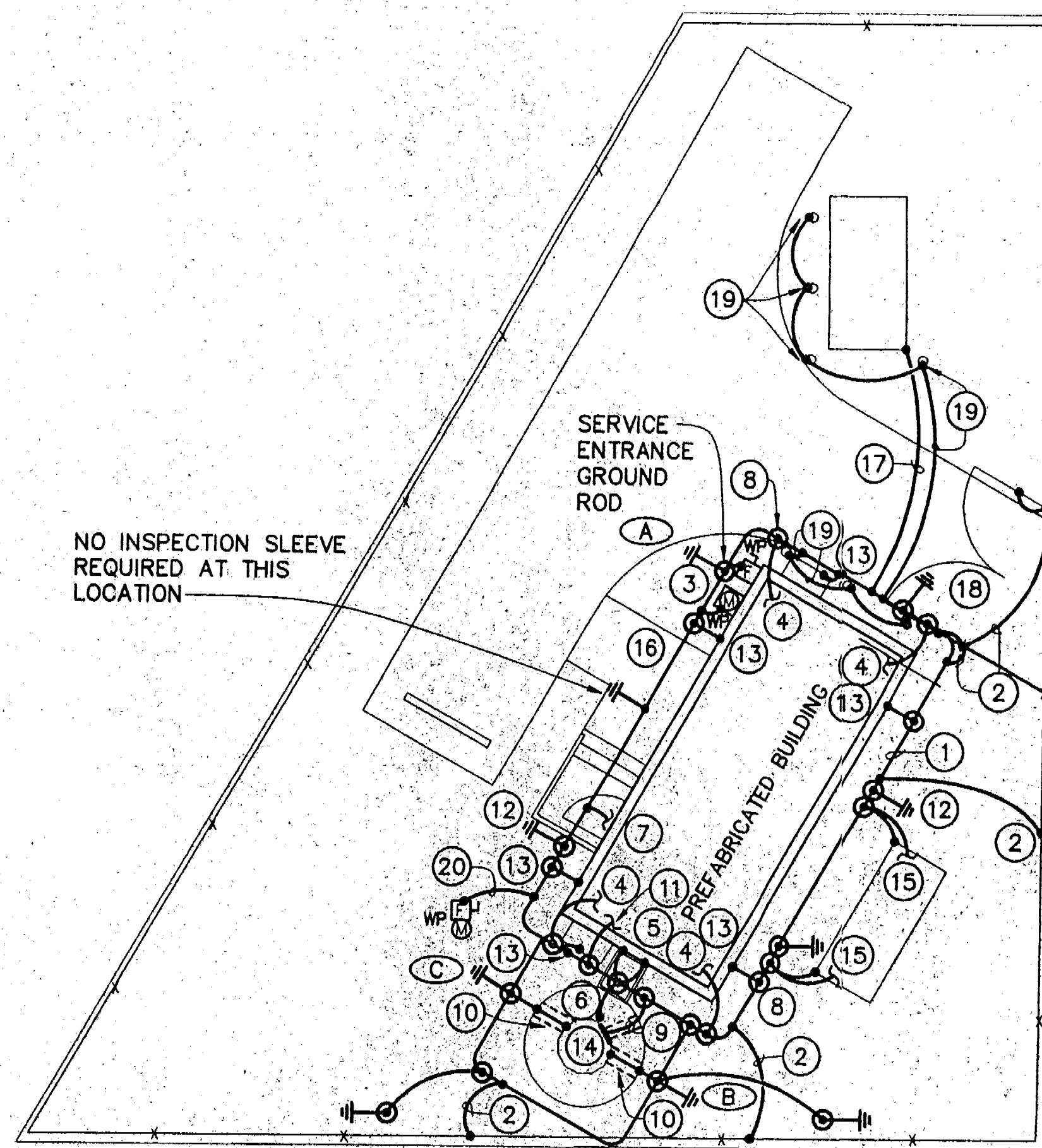
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## GENERAL NOTES:

1. ALL GROUNDING CABLE IN CONCRETE OR THROUGH WALLS SHALL BE IN 3/4" PVC CONDUIT. NO METALLIC CONDUIT SHALL BE USED FOR GROUNDING CONDUCTOR SLEEVES.
2. GROUND ALL EXPOSED METALLIC OBJECTS ON BUILDING EXTERIOR USING A TWO-BOLT HOLE NEMA DRILLED CONNECTOR SUCH AS T & B 32207 OR APPROVED EQUAL.
3. DO NOT INSTALL BURIED GROUND RING OUTSIDE OF PROPERTY LINE. CONTRACTOR SHALL NOTIFY BMI WHEN THE BURIED GROUND RING IS INSTALLED SO THE REPRESENTATIVE CAN INSPECT GROUND RING BEFORE IT IS BACKFILLED WITH SOIL.  
CONTACT: KAREN BURGETT (561) 477-4500.  
BMI INITIAL \_\_\_\_\_ DATE \_\_\_\_\_
4. ALL EXTERIOR GROUNDING CONDUCTORS, INCLUDING GROUND RING SHALL BE #2 AWG SOLID BARE TINNED COPPER. MAKE ALL GROUND CONNECTIONS AS SHORT AND DIRECT AS POSSIBLE. AVOID SHARP BENDS. THE RADIUS OF ANY BEND SHALL NOT BE LESS THAN 8" AND THE ANGLE OF ANY BEND SHALL NOT EXCEED 90°. GROUNDING CONDUCTORS SHALL BE ROUTED DOWNWARD TOWARD THE BURIED GROUND RING.
5. ALL EXTERNAL GROUND CONNECTIONS SHALL BE EXOTHERMICALLY WELDED. ALL EXOTHERMIC WELDS TO BURIED GROUND RING SHALL BE THE PARALLEL TYPE, EXCEPT FOR THE GROUND RODS WHICH ARE TEE EXOTHERMIC WELDS. REPAIR ALL GALVANIZED SURFACES THAT HAVE BEEN DAMAGED BY EXOTHERMIC WELDING. USE SPRAY GALVANIZER SUCH AS HOLUB LECTROSOL #15-501.
6. GROUND RING MUST BE INSTALLED BEFORE THE COMMUNICATION STRUCTURE ERECTION BEGINS AND THE MODULAR BUILDING IS SET. GROUNDING CONNECTION TO THE BUILDING AND COMMUNICATION STRUCTURE MUST BE MAINTAINED AT ALL TIMES.
7. WHERE MECHANICAL CONNECTORS (TWO-HOLE OR CLAMP) ARE USED, APPLY A LIBERAL PROTECTIVE COATING OF AN ANTI-OXIDE COMPOUND SUCH AS "NO OXIDE-A" BY DEARBORN CHEMICAL COMPANY ON ALL CONNECTORS. PROVIDE LOCK WASHERS ON ALL MECHANICAL CONNECTORS. USE STAINLESS STEEL HARDWARE THROUGHOUT. THOROUGHLY REMOVE ALL PAINT AND CLEAN ALL DIRT FROM SURFACES REQUIRING GROUND CONNECTIONS, REPAINT TO MATCH EXISTING. AFTER CONNECTION IS MADE TO MAINTAIN CORROSION RESISTANCE. ALL GROUND CONNECTIONS SHALL BE APPROVED FOR THE TYPES OF METALS BEING ATTACHED TO.
8. THE ELECTRICAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL UTILITY COMPANY TO HAVE A REPRESENTATIVE AT THE SITE TO DISCONNECT THE UTILITY NEUTRAL FROM BMI. GROUNDING SYSTEM DURING FINAL INSPECTION SO THAT ENGINEER CAN PERFORM REQUIRED TESTING ON THE GROUNDING SYSTEM. THE ELECTRICAL CONTRACTOR SHALL PROVIDE TO ENGINEER A LIST (2) DAYS PRIOR TO INSPECTION WITH SCHEDULED TIMES INDICATED FOR THE DISCONNECT/RECONNECTS. IF CONTRACTOR FAILS TO HAVE UTILITY COMPANY AVAILABLE DURING THE FINAL INSPECTION, CONTRACTOR SHALL PAY THE COST FOR AN INDEPENDENT GROUNDING CONSULTANT TO PERFORM THE GROUND RESISTANCE TEST. GROUNDING CONSULTANT SHALL BE SELECTED BY BMI. IF UTILITY REPRESENTATIVE FAILS TO APPEAR DUE TO NO FAULT OF THE CONTRACTOR, NO PENALTY SHALL APPLY.

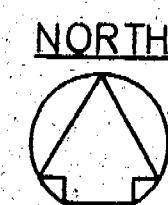


GROUND ROD SPACING CHART		
(A) TO (B)	=	12'-1"
(B) TO (C)	=	11'-4"
(C) TO (A)	=	10'-6"

## GROUNDING NOTES THIS SHEET:

1. PROVIDE A GROUND RING BURIED 18" BELOW GRADE. THE GROUND RING SHALL BE INSTALLED 2'-0" AWAY FROM FOUNDATION (MINIMUM UNLESS SHOWN OTHERWISE ON DRAWING).
2. BOND FENCE POST TO GROUND RING AS SHOWN USING AN EXOTHERMIC WELD. BOND FENCE GATE TO POST WITH A FLEXIBLE COPPER JUMPER STRAP. PROVIDE EXOTHERMIC WELD TO BOND STRAP TO GATE AND FENCE POST. PROVIDE LENGTH AS REQUIRED TO MAKE CONNECTION.
3. BOND DISCONNECT SWITCH, METER, PULLBOX, TELEPHONE CABINET AND SERVICE CONDUITS TO BURIED GROUND RING AS THEY CROSS. CONNECT GROUND CONDUCTOR TO CONDUIT USING PIPE CLAMP. DO NOT EXOTHERMICALLY WELD TO CONDUIT.
4. BOND CORNER DOWNLEAD CONDUCTOR FROM INTERIOR GROUND RING (SUPPLIED BY BUILDING MANUFACTURER) TO BURIED GROUND RING.
5. BOND WAVEGUIDE HATCHPLATE GROUND BAR TO BURIED GROUND RING. EXOTHERMICALLY WELD CONNECTIONS AT GROUND BAR AND BURIED GROUND RING. SEE EXTERIOR HATCHPLATE GROUNDING DETAIL, SHEET E-3.
6. EACH LEG OF THE WAVEGUIDE STRUCTURE SHALL BE INDIVIDUALLY BONDED TO THE BURIED GROUND RING. EXOTHERMICALLY WELD CONNECTIONS AT POST FOR WAVEGUIDE STRUCTURE AND BURIED GROUND RING.
7. BOND REBAR IN CONCRETE FOR COMMUNICATION STRUCTURE, BUILDING AND STEPS TO BURIED GROUND RING. EXOTHERMICALLY WELD A #2 TINNED SOLID COPPER CONDUCTOR TO THE REBAR AND CONNECT TO THE BURIED GROUND RING.
8. PROVIDE INSPECTION SLEEVE WHERE SHOWN FOR ALL PRIMARY CONNECTIONS TO BURIED GROUND RING. SEE INSPECTION SLEEVE DETAIL, SHEET E-3, FOR TYPICAL INSPECTION SLEEVE.
9. PROVIDE GROUNDING CONDUCTOR(S) FROM THE BURIED GROUND RING FOR CONNECTION TO THE ANTENNA CABLE GROUNDING BAR AT POINT OF COMMUNICATION STRUCTURE EXIT. VERIFY EXACT LOCATION OF GROUNDING BAR FOR PROPER CONDUCTOR LENGTH. GROUNDING BAR PROVIDED BY THE ANTENNA CABLE INSTALLER. FINAL EXOTHERMIC WELD FROM GROUNDING CONDUCTOR TO GROUND BAR SHALL BE THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR. COORDINATE WITH ANTENNA CABLE INSTALLER FOR SCHEDULE TO MAKE CONNECTION. PROVIDE 3/4" PVC SLEEVE WITH A GRADUAL BEND IN THE CONCRETE FOUNDATION. SEE COMMUNICATION STRUCTURE EXIT GROUND BAR DETAIL, SHEET E-3.
10. EXOTHERMICALLY WELD GROUNDING CONDUCTOR TO COMMUNICATION STRUCTURE LEG AT 1'-0" ABOVE PAD AND BOND TO BURIED GROUND RING. PROVIDE A 3/4" PVC SLEEVE WITH A GRADUAL BEND IN THE CONCRETE FOUNDATION.
11. BOND SINGLE POINT GROUND BAR TO BURIED GROUND RING. EXOTHERMICALLY WELD CONNECTIONS AT GROUND BAR AND BURIED GROUND RING.
12. 5/8" x 8'-0" LONG COPPER CLAD GROUND ROD. REFER TO CHART THIS SHEET FOR SPACING. TYPICAL FOR ALL GROUND RODS SHOWN, UNLESS OTHERWISE NOTED. SEE GROUND ROD INSPECTION SLEEVE DETAIL, SHEET E-3.
13. BOND AC UNITS, DOOR FRAMES AND MISCELLANEOUS LIFTING HOOKS TO BURIED GROUND RING. CONNECTION TO LIFTING HOOK SHALL BE MADE AT THE AXLE BAR WITH AN APPROVED GROUNDING CLAMP.
14. BOND ANTENNA CABLE LADDERS ON COMMUNICATION STRUCTURE TO BURIED GROUND RING.
15. BOND REBAR IN GENERATOR PAD TO BURIED GROUND RING. PROVIDE #2 GROUNDING CONDUCTOR FOR CONNECTION TO GENERATOR FRAME BY OTHERS. PROVIDE 24" PIGTAIL FOR FUTURE CONNECTION TO FRAME. PROVIDE INSPECTION SLEEVE AT BURIED GROUND RING FOR BOTH CONNECTIONS.
16. BOND ALL THREE CONDUITS TO BURIED GROUND RING (SEE SHEET E-1 FOR LOCATIONS). USE CONDUIT CLAMP AT CONDUIT AND AN EXOTHERMIC WELD AT BURIED GROUND RING. MAKE CONNECTION TO CONDUIT 6" ABOVE GRADE AS CONDUIT EXITS GROUND NEXT TO PREFAB. BUILDING SO THAT CONNECTION IS VISIBLE.
17. BOND PROPANE TANK FRAME TO BURIED GROUND RING. USE TWO-HOLE CONNECTOR AT FRAME AND EXOTHERMIC WELD AT BURIED GROUND RING. PROVIDE AN INSPECTION SLEEVE AT BURIED GROUND RING.
18. BOND PROPANE PIPING TO BURIED GROUND RING AS IT CROSSES. USE PIPE CLAMP AT PIPING AND AN EXOTHERMIC WELD AT BURIED GROUND RING.
19. BOND STEEL PIPE BOLLARDS TOGETHER AND THEN TO BURIED GROUND RING. EXOTHERMICALLY WELD CONNECTIONS TO BOLLARDS AND GROUND RING.
20. BOND DISCONNECT SWITCH FOR IRRIGATION PUMP TO BURIED GROUND RING.

GROUNDING PLAN  
SCALE: 1/8" = 1'-0"



WAYNE E. VENSEL  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
305 962-1600

BELL SOUTH Mobility  
MAMI AREA SITE COON  
2900 W. SAMPLE ROAD  
POMPANO BEACH, FLORIDA

REVISIONS	
DATE: 10/06/97	BY: E-2
FILE: E-2	SHEET: E-2
OF: 3	



SECTION 15400  
PLUMBING

PART 1 GENERAL

- 1.0 THE GENERAL PROVISIONS OF THE CONTRACT, INCLUDING GENERAL AND SUPPLEMENTARY CONDITIONS AND DIVISION 1 SPECIFICATION SECTIONS AND CONTRACT DOCUMENTS APPLY TO WORK IN THIS SECTION. CONSULT THEM FOR FURTHER INSTRUCTIONS AND BE GOVERNED BY THE REQUIREMENTS THEREUNDER.

WORK INCLUDED (BUT NOT LIMITED TO)

- A. GAS PIPING.

PART 2 PRODUCTS

2.0 SPECIALTY SCHEDULE

- A. DIELECTRIC UNIONS OR COUPLINGS AND FLANGES UNION RATED FOR 250 PSI WITH GALVANIZED OR PLATED STEEL THREADED AND, COPPER SOLDER END AND IMPERVIOUS ISOLATION GASKET APPROVED FOR USE ON GAS LINES. COUPLINGS APPROVED FOR USE ON GAS LINES AND ABLE TO WITHSTAND HYDROSTATIC TEST PRESSURES OF 1000 PSI AT 250°F WITH AN INERT, NONCONDUCTIVE LAMINATE MATERIAL AND THREADED TO NPS STANDARDS. FLANGES TO BE COMPLETE WITH INSULATED BOLT SHEAVES, WASHERS AND GASKETS.

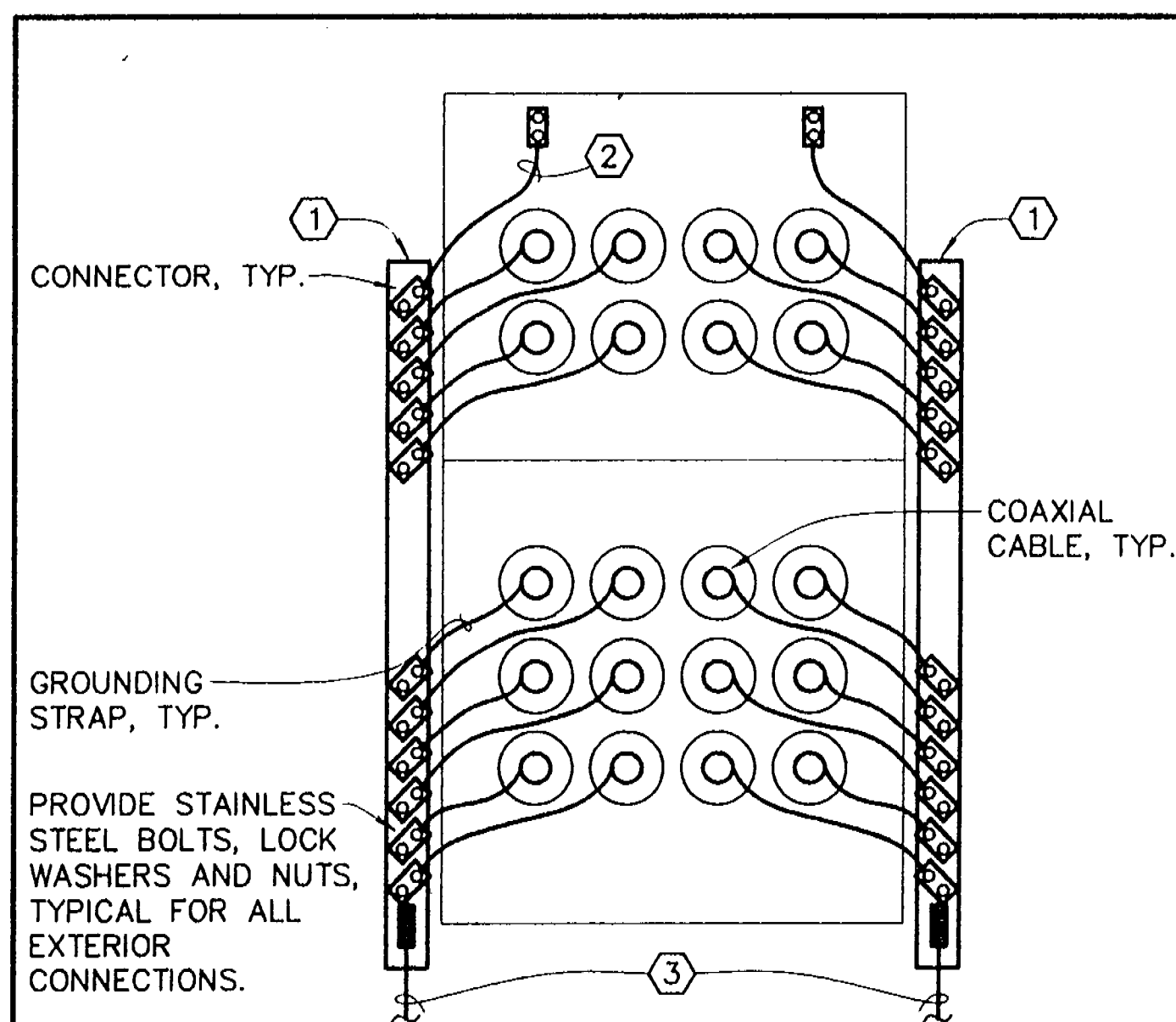
2.1 GAS PIPING MATERIALS

- A. PIPE AND FITTINGS: SCHEDULE 40, ASTM-A53 BLACK STEEL PIPE.
1. ABOVE GRADE PIPING; 2 INCHES AND SMALLER, USE 150 LB. MALLEABLE IRON FITTINGS AND THREADED JOINTS IN EXPOSED LOCATIONS AND STANDARD WEIGHT SOCKET WELD FITTINGS AND WELDED JOINTS IN INACCESSIBLE LOCATIONS.
  2. BELOW GRADE PIPING; USE 150 LB. FORGED STEEL FITTINGS AND WELDED JOINTS. PROVIDE CATHODIC PROTECTION AS REQUIRED. PIPING SHALL BE PROVIDED WITH A FACTORY APPLIED COATING OF EITHER FUSION BONDED EPOXY OR TAPE WRAP. FACTORY COATING MUST BE ACCEPTABLE TO THE UTILITY COMPANY.
- B. VALVES
1. LUBRICATED PLUG VALVES  
CLASS 125, 175 LB. W.O.G. CAST IRON, SCREWED OR FLANGED WITH LOW FRICTION COATED PLUG.
  2. NON-LUBRICATED PLUG VALVES  
CLASS 150, 175 LB. W.O.G. SEMI STEEL, SCREWED OR FLANGED, DEZUNIK 425, RS49, KEYSTONE 1512 OR 1522, OR RESUN FIG. R-1430 OR R-1431.
  3. GAS COCKS  
125 PSI WORKING PRESSURE, AGA LISTED, GROUND JOINT, FLAT HEAD, 3/4" & 1" ONLY. CRANE, ANDERSON METALS CORP., OR APPROVED EQUIVALENT.

3.0 GAS PIPING

A. GENERAL

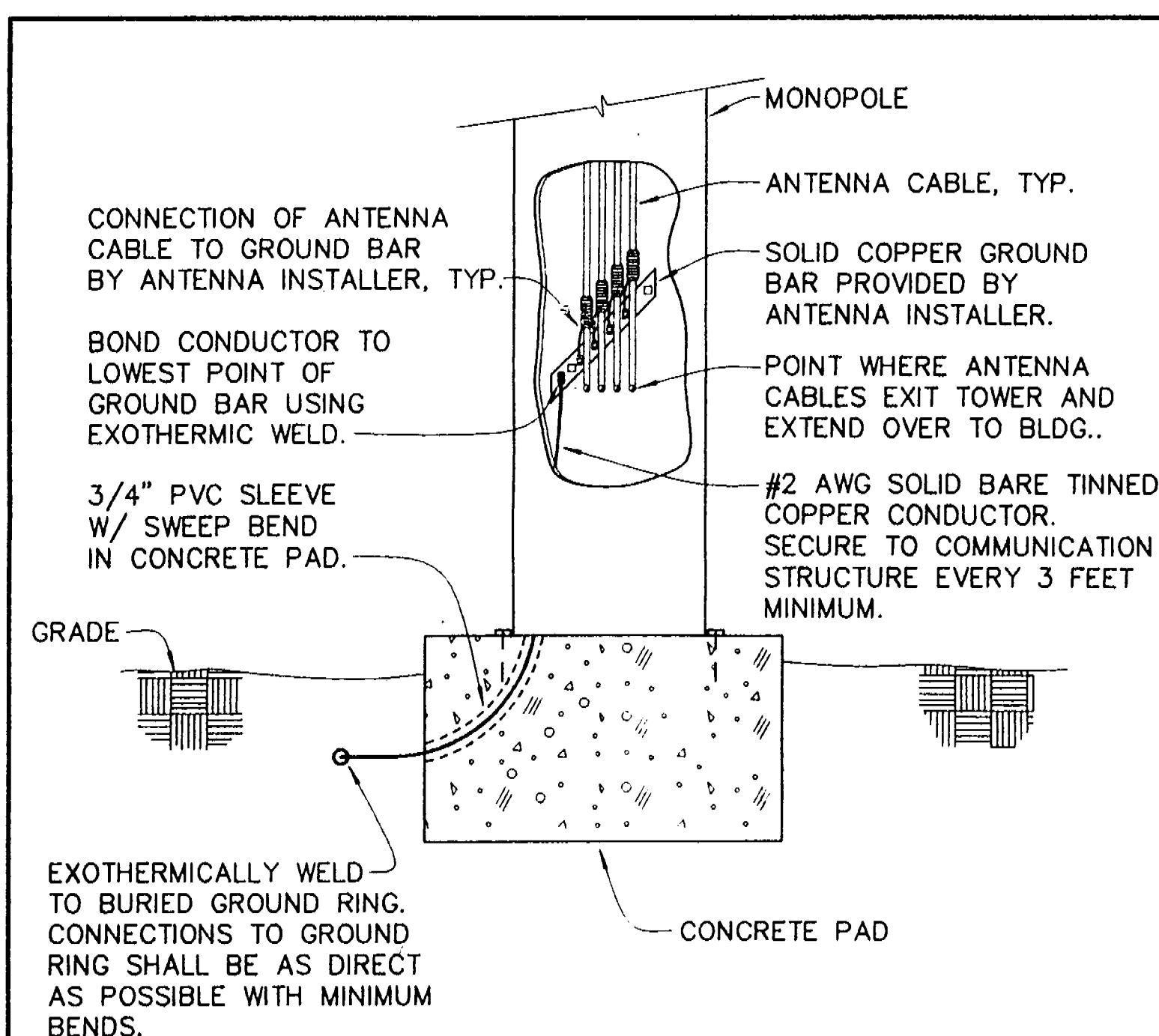
1. ALL UNDERGROUND PIPE SHALL BE BURIED 24 INCHES MINIMUM AND SURROUNDED WITH 4" CLEAN SAND BEFORE BACKFILLING. ALL BURIED JOINTS SHALL BE WELDED AND LEFT EXPOSED UNTIL TESTING HAS BEEN COMPLETED.
2. BURIED PIPE COATING  
BURIED PIPE TAPE WRAP SHALL BE MACHINE WRAPPED USING A 50% OVERLAP WRAP MINIMUM. PIPE SHALL BE COATED WITH PRIMER BEFORE WRAPPING. PIPE MAY BE WRAPPED PRIOR TO TESTING. FITTINGS AND JOINTS SHALL BE DOUBLE WRAPPED. EXTEND FITTING AND JOINT WRAPPING NOT LESS THEN 6 INCHES PAST THE END OF THE FITTING OR JOINT INTO THE PIPE SECTION. TEST PIPE, JOINTS AND FITTING PRIOR TO WRAPPING JOINTS AND FITTINGS. THE TYPE OF WRAP USED SHALL BE AS RECOMMENDED BY THE MANUFACTURER FOR THE AMBIENT TEMPERATURE DURING INSTALLATION.
3. PROVIDE LUBRICATED PLUG VALVES, SIX INCH LONG CONDENSATE DIRT POCKETS AND UNIONS AT EQUIPMENT CONNECTIONS.
4. INSTALLATION, MATERIALS AND/OR EQUIPMENT NOT INDICATED ON THE DRAWINGS, SPECIFIED OR COVERED BY THE REQUIREMENTS OF UTILITY OR AGENCY HAVING JURISDICTION SHALL BE IN ACCORDANCE WITH NFPA 54 "NATIONAL FUEL GAS CODE" (1992).
5. AFTER PRESSURE TEST, PURGE LINES PER NFPA 54 INSTRUCTIONS.
6. TEST PIPING SYSTEM PRIOR TO CONCEALMENT. ENSURE THAT THE TEST PRESSURE WHICH MIGHT DAMAGE EQUIPMENT DOES NOT REACH SUCH UNITS BY VALVING THEM OFF OR OTHERWISE ISOLATING THEM DURING THE TEST. KEEP WRITTEN FIELD RECORDS OF ALL TESTS. EACH RECORD SHALL CONTAIN, AS A MINIMUM, THE DATE OF THE TEST, SYSTEM OR SUBSYSTEM TESTED, TEST MEDIUM AND PRESSURE, DURATION OF TEST, TEST RESULTS, NAME AND SIGNATURE OF INDIVIDUAL PERFORMING TEST, AND THE NAME AND SIGNATURE OF WITNESS TO THE TEST WHO IS NOT AN EMPLOYEE OF THE FIRM PERFORMING THE TEST. SUBMIT COPIES OF ALL TESTS TO OWNER. ALL TESTS MUST BE DONE TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE AND LOCAL AUTHORITIES HAVING JURISDICTION BEFORE COVERING. FURNISH ALL INSTRUMENTS REQUIRED FOR TESTING. AIR TESTS TO BE HELD FOR A MINIMUM OF TWO (2) HOURS WITHOUT LOSS OF PRESSURE. ANY VISIBLE LEAKAGE OR APPRECIABLE PRESSURE DROP DURING THE TEST WILL BE CAUSE FOR REJECTING THE TEST. ADDITIONAL TESTS WILL BE REQUIRED AFTER CORRECTIVE MEASURES HAVE BEEN TAKEN UNTIL SATISFACTORY RESULTS ARE OBTAINED. CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING ALL PLUGS, PIPING, VALVES, HOSES AND PUMPS NECESSARY FOR THE REQUIRED TESTS AND FOR PROPER DISPOSAL OF THE WATER UPON COMPLETION OF THE TESTS.
7. TEST ALL GAS PIPING UNDER 60 PSIG AIR PRESSURE.



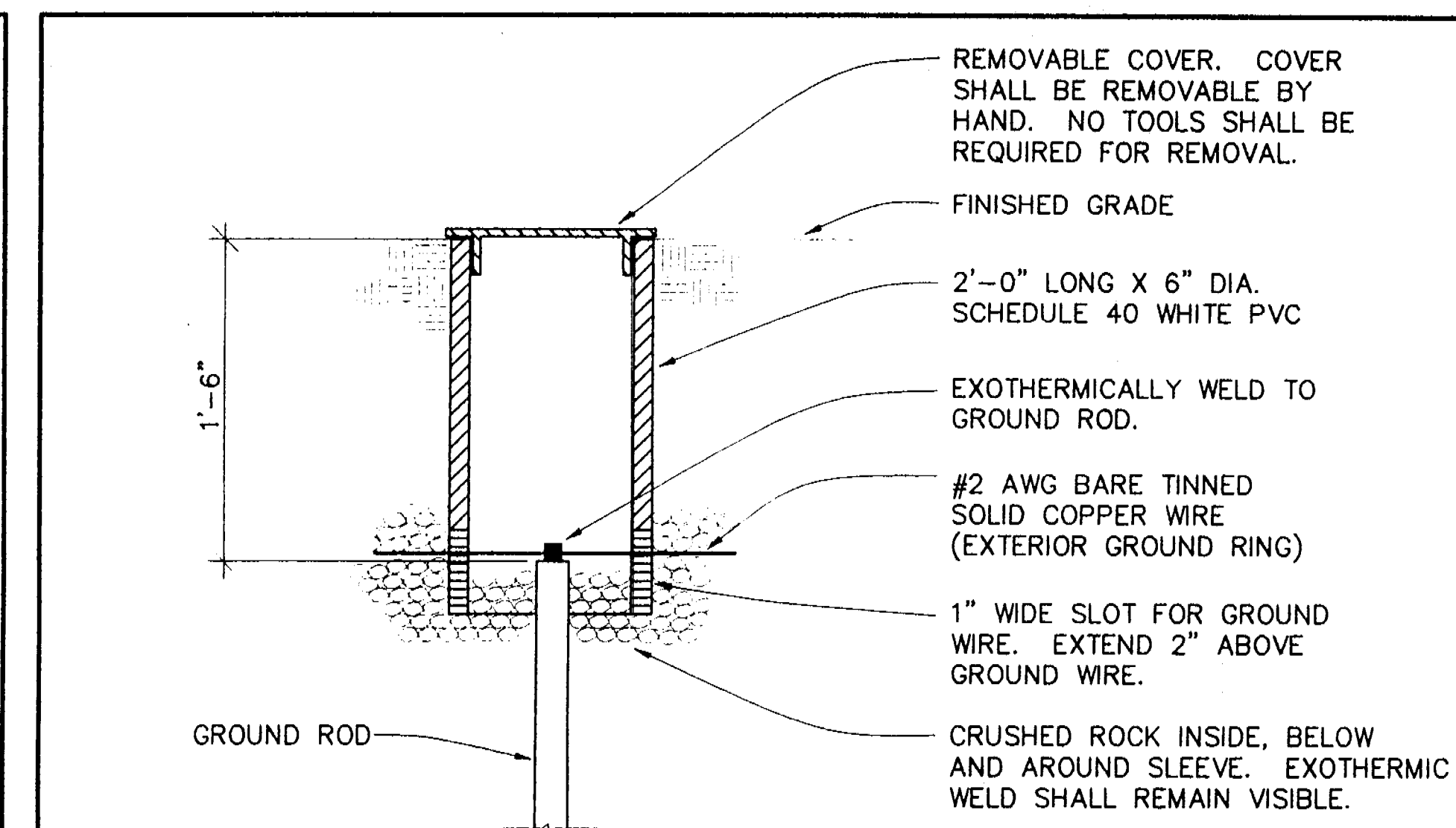
NOTES

1. SOLID COPPER GROUND BAR.
2. TWO HOLE CONNECTORS WITH #2 AWG SOLID BARE TINNED COPPER.
3. PROVIDE #2 AWG SOLID BARE TINNED COPPER GROUND CONDUCTOR. EXOTHERMIC WELD TO BURIED GROUND RING AND GROUND BAR.

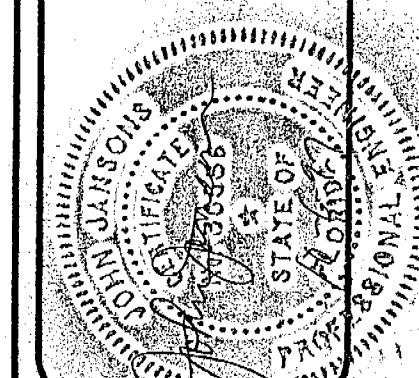
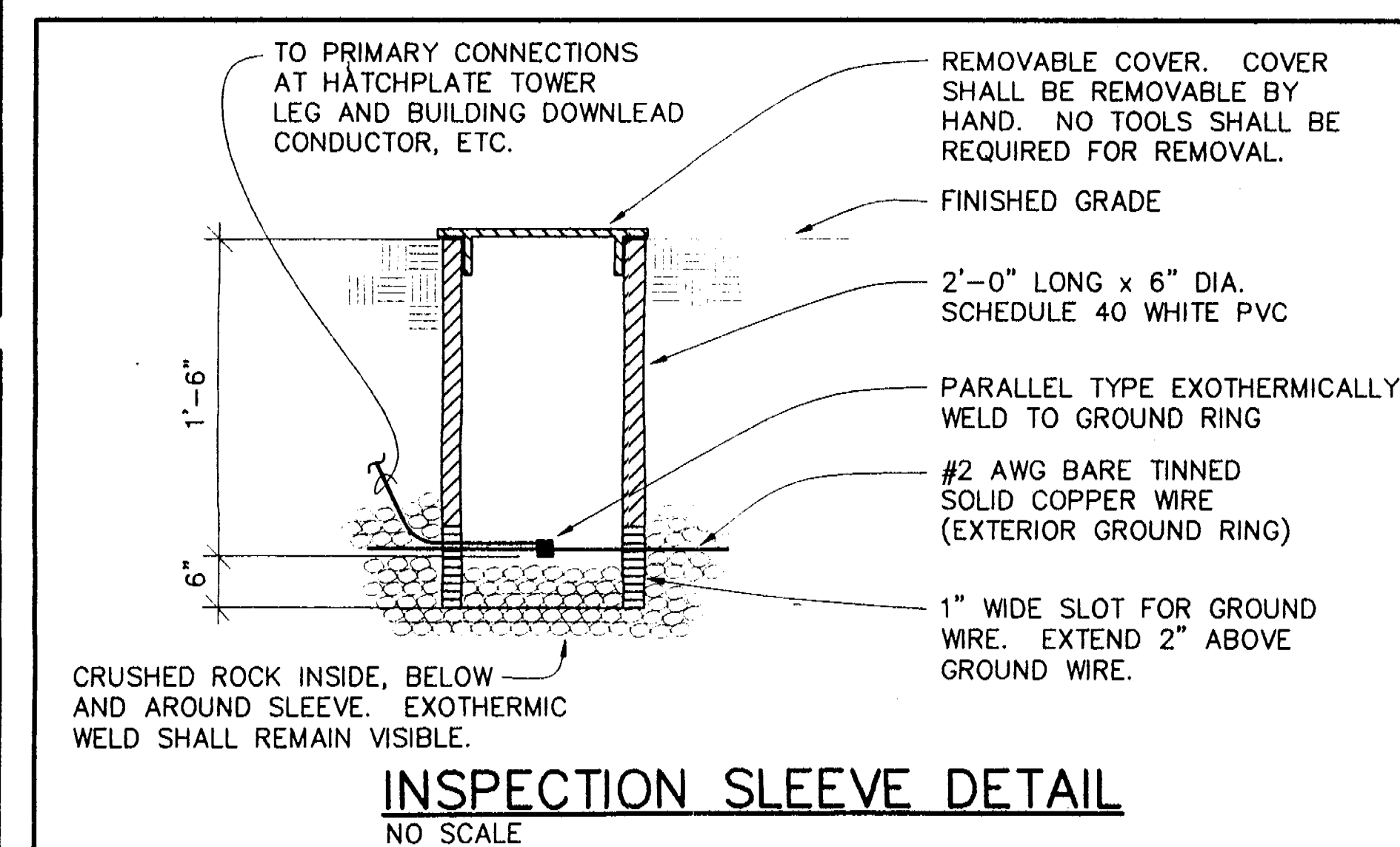
EXTERIOR HATCHPLATE GROUNDING DTL.  
NO SCALE



COMMUNICATION STRUCTURE  
EXIT GROUND BAR DETAIL  
NO SCALE



GROUND ROD INSPECTION SLEEVE DETAIL  
NO SCALE



**WAYNE E. VENSEL**  
ARCHITECT, INC.  
AR 7842  
AA 000154  
SUITE 303  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
(305) 662-1690

**BELL SOUTH Mobility**  
BELL SOUTH  
MIAMI AREA SITE "CDON"  
2900 W. SAMPLE ROAD  
POMPANO BEACH, FLORIDA

REVISIONS:  
1. 10/06/97

DATE: 10/06/97  
FILE: BE-12  
SHEET: E-3  
OF 3

**McFALL-KONKEL & KIMBALL**  
CONSULTING ENGINEERS, INC.  
Mechanical, Electrical, Environmental & Energy Consultants  
7350 East Progress Place, Suite 100  
Englewood, Colorado 80111  
(303) 721-6600

FORWARD BEADY FIRE REVIEW  
REVIEWED  
DATE: 10/06/97  
FILE: BE-12  
SHEET: E-3  
OF 3



# DRC

PZ23-12000019

03/20/2024

## WARNING

THIS APPROVAL MUST BE ACCOMPANIED  
BY A BCDNRP DEVELOPMENT  
REVIEW PROCEDURE FORM.

\*\*\*\*\* 709005 \*\*\*\*\*

IF A BUILDING PERMIT IS NOT APPLIED FOR  
WITHIN 30 DAYS OF THE ABOVE DATE, THESE PLANS  
MUST BE RE-SUBMITTED TO THE BROWARD COUNTY  
DEPARTMENT OF NATURAL RESOURCE PROTECTION FOR  
RE-EVALUATION.

BROWARD COUNTY DEPARTMENT  
OF NATURAL RESOURCE PROTECTION  
LAND USE AND PERMITTING DIVISION

APPROVAL FOR: UNMANAGED TEL. RAYLID

WITH SLAB FOR EMER. GENERATION ONLY

ANY OTHER SUBSEQUENT USE REQUIRES  
SEPARATE BCDNRP APPROVAL

FOR SEWER

CONNECTION TO:

BCW-7  
WASTEWATER TREATMENT PLANT

DATE BY: 1

DATE:

**OCT 16 1997**



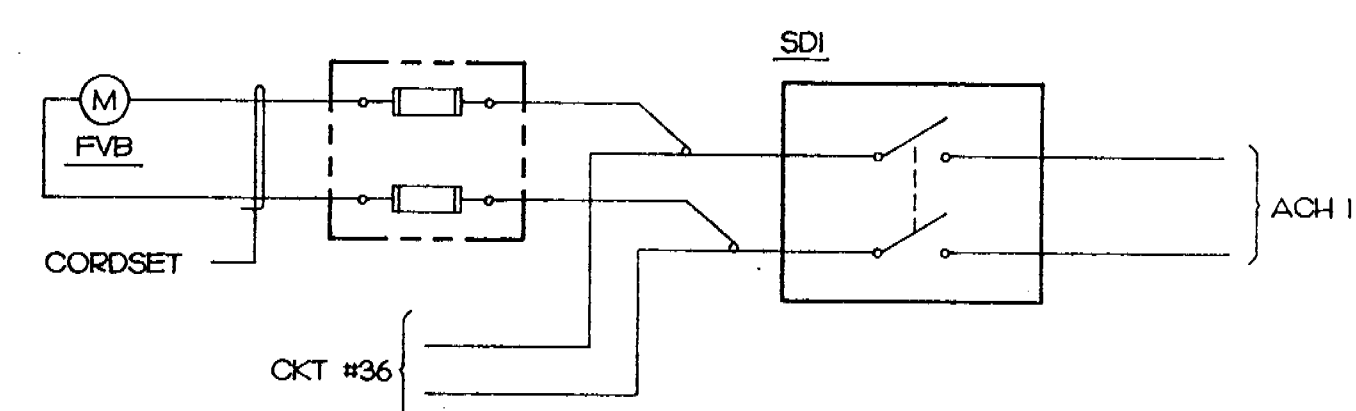
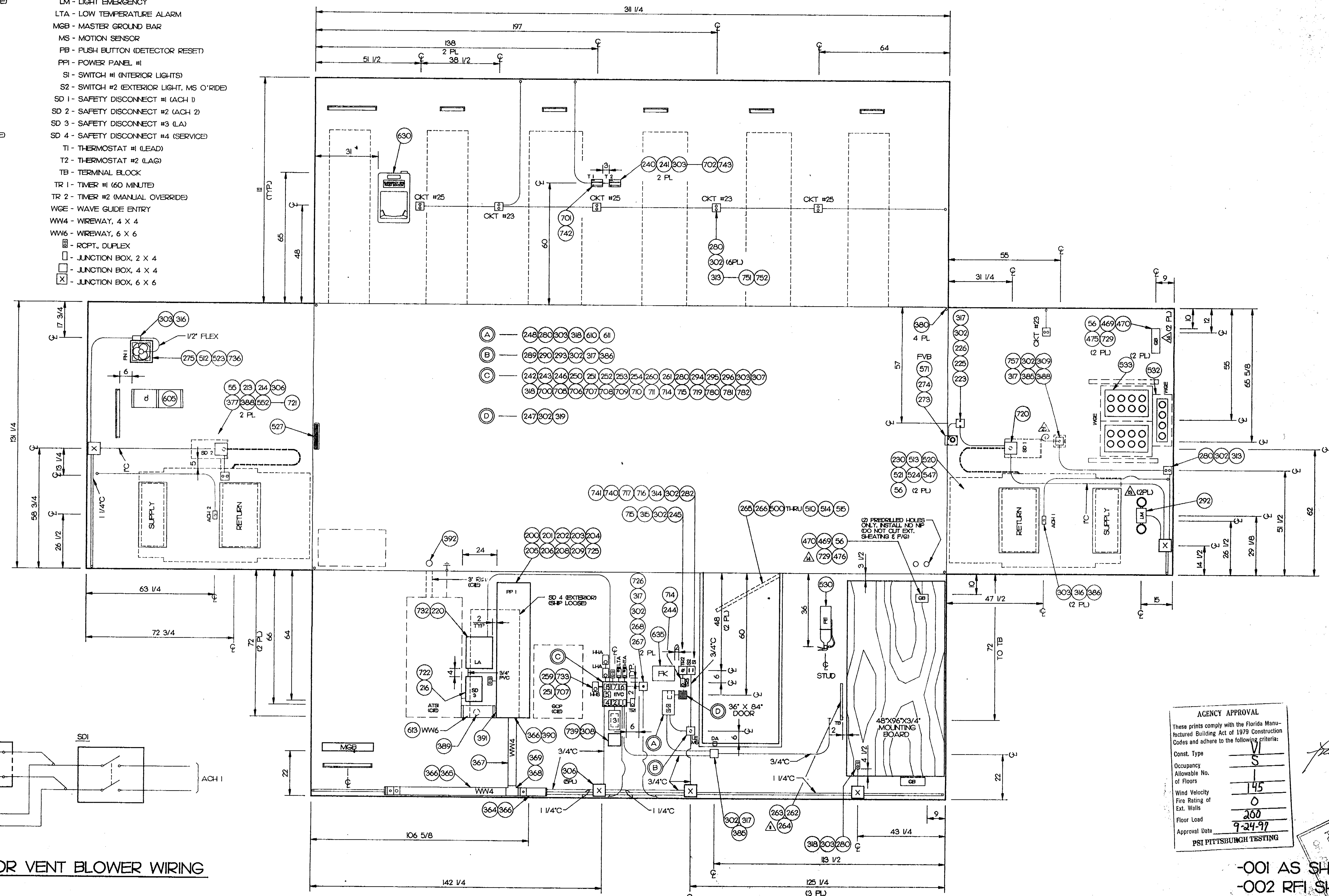
DRG 53223 12000019 10/22/2024

LEGEND

- ACH 1 - AIR CONDITIONER W/HEATER #1
- ACH 2 - AIR CONDITIONER W/HEATER #2
- ATSI - AUTOMATIC TRANSFER SWITCH (CIE)
- CIE - CUSTOMER INSTALLED EQUIPMENT
- CL - CABLE LADDER
- CLH - CABLE LADDER HANGER
- DI - DETECTOR #1
- DA - DOOR ALARM
- EVC - ENVIRONMENTAL CONTROLS
- FE - FIRE EXTINGUISHER
- FN 1 - FAN #1 (EX-HAUST)
- FVB - FLOOR VENT BLOWER
- GB - GROUND BAR
- GCP - GENERATOR CONTROL PANEL (CIE)
- HHA - HIGH HUMIDITY ALARM
- HTA - HIGH TEMPERATURE ALARM
- K 1 - RELAY #1 (T1 HVAC)
- K 2 - RELAY #2 (T2 HVAC)
- K 3 - RELAY #3 (POWER FAIL ALARM)
- K 4 - RELAY #4 (HVAC SHUTDOWN)
- K 5 - RELAY #5 (DI POWER FAIL ALARM)
- K 6 - RELAY #6 (AC ADVISORY)
- K 7 - RELAY #7 (AC ADVISORY)
- K 8 - RELAY #8 (AC ADVISORY)
- LA - LIGHTING ARRESTOR
- LE - LIGHT EXTERIOR
- LF - LIGHT FLUORESCENT
- LHA - LOW HUMIDITY ALARM
- LM - LIGHT EMERGENCY
- LTA - LOW TEMPERATURE ALARM
- MGB - MASTER GROUND BAR
- MS - MOTION SENSOR
- PB - PUSH BUTTON (DETECTOR RESET)
- PP1 - POWER PANEL #1
- SI - SWITCH #1 (INTERIOR LIGHTS)
- S2 - SWITCH #2 (EXTERIOR LIGHT, MS O'RIDE)
- SD 1 - SAFETY DISCONNECT #1 (ACH 1)
- SD 2 - SAFETY DISCONNECT #2 (ACH 2)
- SD 3 - SAFETY DISCONNECT #3 (LA)
- SD 4 - SAFETY DISCONNECT #4 (SERVICE)
- T1 - THERMOSTAT #1 (LEAD)
- T2 - THERMOSTAT #2 (LAG)
- TB - TERMINAL BLOCK
- TR 1 - TIMER #1 (60 MINUTE)
- TR 2 - TIMER #2 (MANUAL OVERRIDE)
- WGE - WAVE GUIDE ENTRY
- WW4 - WIREWAY, 4 X 4
- WW6 - WIREWAY, 6 X 6
- RCPT, DUPLEX
- JUNCTION BOX, 2 X 4
- JUNCTION BOX, 4 X 4
- JUNCTION BOX, 6 X 6

97-6559

REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED
N/A	A	UPDATE PER CUSTOMER SPEC	16072	SFC
N/A	B	UPDATE AS BUILT, CHG CON ON REAR WALL, ADD DIM FOR RCP	18042	9/18/97



FLOOR VENT BLOWER WIRING

INTERIOR FOLDOUT

AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Codes and adhere to the following criteria:

Const. Type	VI
Occupancy	S
Allowable No. of Floors	145
Wind Velocity	0
Fire Rating of Ext. Walls	260
Floor Load	9-24-97
Approval Date	9-24-97

PSI PITTSBURGH TESTING

RELEASED  
SEP 18 1997  
VFP INC.  
ENGINEERING

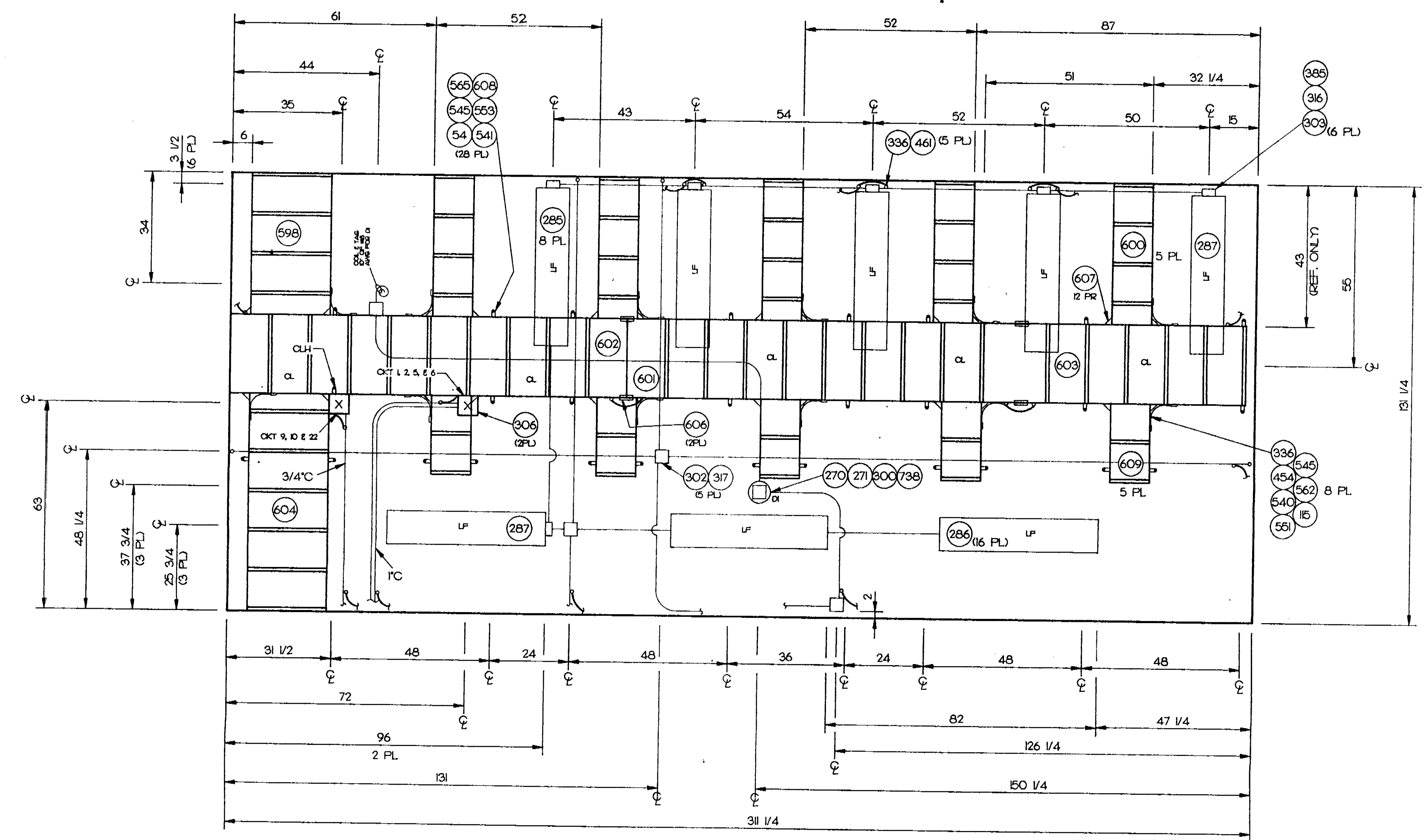
-001 AS SHOWN  
-002 RFI SHIELDED  
-003 MIRROR IMAGE

DRAWN W. CULLOP	91-05-01	D	CAGE NO. 53223	DWG. NO. 401642
CHECKED D. LODUCA	91-05-22		SCALE: 1/2" = 1'-0" N4945	30 OF 31 SHEET

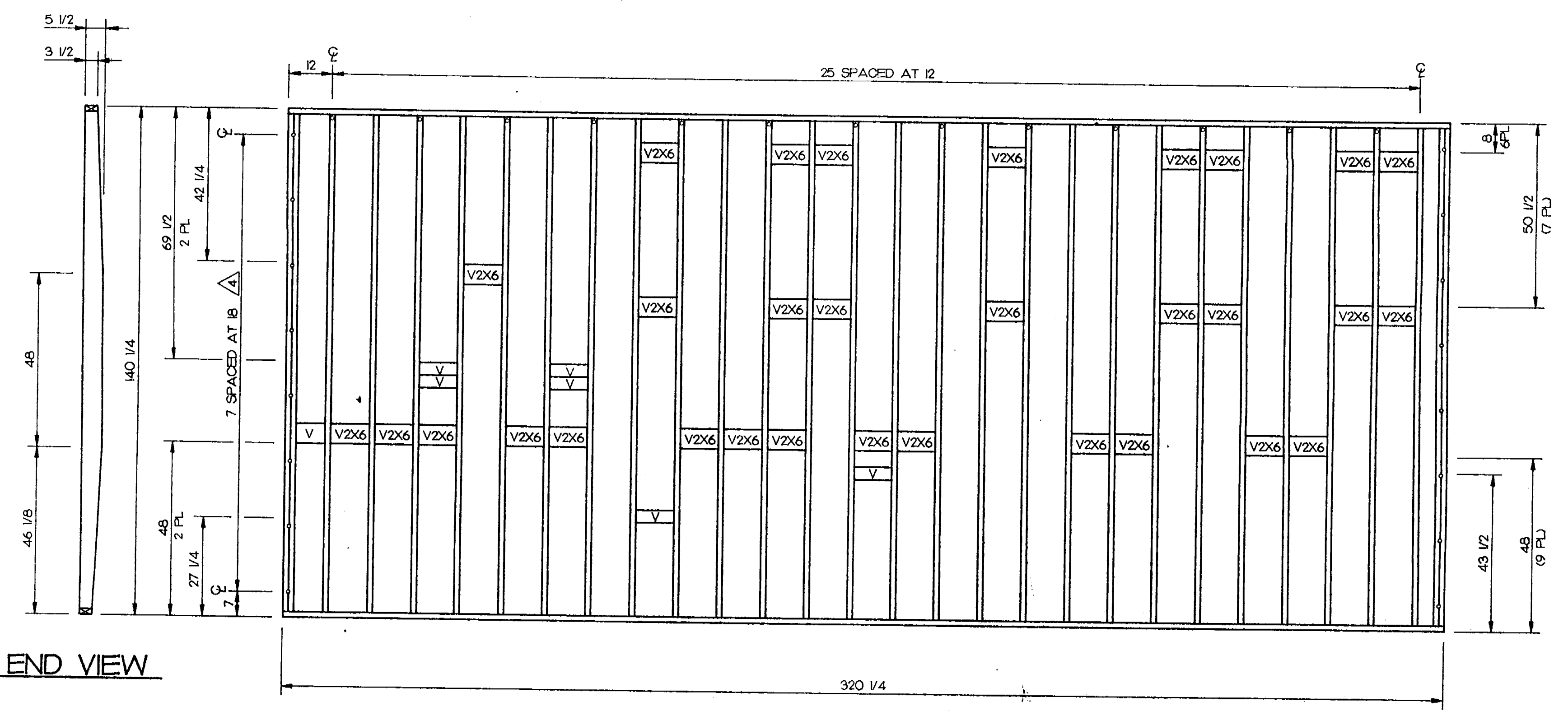


REVISIONS				
ZONE	REV	DESCRIPTION	DATE	APPROVED
N/A	A	UPDATE PER CUSTOMER SPEC	NE072 9-06-09	DPL
N/A	B	ADD BLOCKING, CHG CON, CHG CABLE LADDER HANGERS	N542 9-10-21	2

REFLECTED CEILING



ROOF FRAMING



END VIEW

AGENCY APPROVAL

These prints comply with the Florida Manufactured Building Act of 1979 Construction Codes and adhere to the following criteria:

Const. Type VI

Occupancy S

Allowable No. of Floors 1

Wind Velocity 145

Fire Rating of Ext. Walls 0

Floor Load 200

Approval Date 9-13-97

PSI PITTSBURGH TESTING

RELEASED

SEP 18 1997

VFP INC. ENGINEERING

-001 AS SHOWN  
-002 SHIELDED  
-003 MIRROR IMAGE

DRAWN W. CULLOP	9-05-02	D	CAGE NO. 53223	DWG. NO. 40643
CHECKED D. LODUCA	9-05-22	SCALE 1/2"=1'-0"	14946	9-05-02 SHEET 3 OF 3



SECTION A-A  
(SEE DETAIL A)



**AGENCY APPROVAL**

These prints comply with the Florida Manufactured Building Act of 1979 Construction Codes and adhere to the following criteria:

Const. Type	VI
Occupancy	S
Allowable No. of Floors	1
Wind Velocity	145
Fire Rating of Ext. Walls	0
Floor Load	200
Approval Date	7-24-77

**PSI PITTSBURGH TESTING**

-001 AS SHOWN  
-002 RFI SHIELDED  
-003 MIRROR IMAGE

DRAWN W. CULOP	9-05-02	D	CAGE NO. 53223	DWG. NO. 401643	REV. B
CHECKED D. LOUCA	9-05-02		SCALE: 1/2" = 1'-0"	N4945	9-05-02 SHEET: 5 OF 8



1008 5/13/98



PARENT TRACT:

All of the above lands lying and being in Broward County, Florida and containing 10.325 acres more or less.

LEASE PARCEL:

COMMENCE at the Southwest Corner of said Tract \*6\*; thence N.89°47'14"E., along the South Line of said Tract \*6\*, for 14.42 feet; thence N.29°37'59"E., for 11.53 feet to the POINT of BEGINNING of the hereinafter described Parcel; thence course N.29°37'59"E. for 86.47 feet; thence N.89°47'14"E., along a line 85.00 feet North and parallel with the South Line of said Tract \*6\*, for 25.00 feet; thence S.00°21'46"E. for 75.00 feet; thence S.89°47'14"W., along a line 10.00 feet North and parallel with the South Line of said Tract \*6\*, for 68.03 feet to the POINT of BEGINNING

All of the above lands lying and being in Broward County, Florida and containing 0.080 acres more or less.

## INGRESS &amp; EGRESS EASEMENT:

[illegible]

All of the above lands lying and being in Broward County, Florida and containing 0.802 acres more or less.

**UTILITY EASEMENT:**

A portion of Tract 'G', of 'POMPANO INDUSTRIAL PARK THIRD ADDITION', according to the Plat thereof as recorded in Plat Book 111, Page 33 of the Public Records of Broward County, Florida, being more particularly described as follows:

COMMENCE at the Southwest Corner of said Tract 'G' thence N. 89° 47' 14" E. along the South Line of said Tract 'G' for 14.42 feet to the POINT of BEGINNING; thence S. 20° 44' 12" E. along the East Line of said Tract 'G' for 11.53 feet; thence N. 89° 47' 14" E. along the Line 10.00 feet North and 10.00 feet East of the East Line of said Tract 'G' for 10.00 feet; thence N. 00° 12' 46" W. for 10.00 feet; thence N. 89° 47' 14" E. the Line 10.00 feet North of the East Line of said Tract 'G' for 10.00 feet to the South Line of said Tract 'G'; for 1594.39 feet to the POINT of BEGINNING; thence S. 20° 44' 12" E. along the East Line of said Tract 'G' for 11.53 feet; thence N. 89° 47' 14" E. along the Line 10.00 feet North and 10.00 feet East of the East Line of said Tract 'G' for 10.00 feet; thence N. 00° 12' 46" W. for 10.00 feet; thence N. 89° 47' 14" E. along the Line 10.00 feet North of the East Line of said Tract 'G' for 10.00 feet to the South Line of said Tract 'G' for 1835.84 feet to the POINT of BEGINNING.

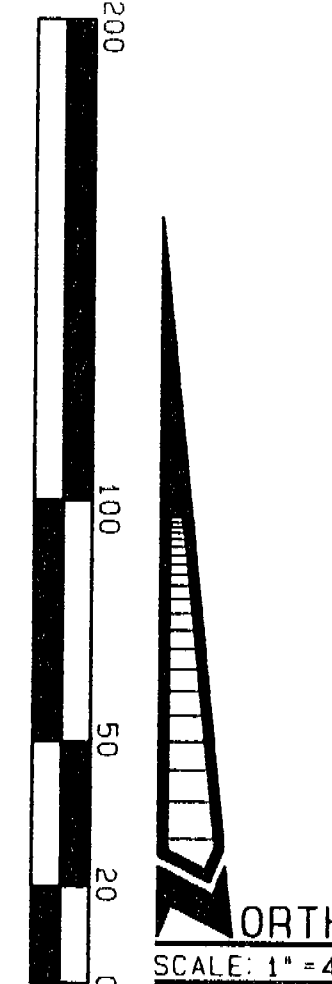
All of the above lands lying and being in Broward County, Florida and containing 0.824 acres more or less.

NOTES:

- 1) **BENCHMARK:** Broward County Engineering Division Benchmark No 2601, Section 21, Township 48 South, Range 42 East, Pompano Beach, Canal crossing Sample Road, 0.25+ miles West of Powerline Road. Benchmark is 10.00' high cut on headwall on South side of the road. ELEVATION = +14.83 N.G.V.
- 2) **SKETCH OF SPECIFIC PURPOSE SURVEY:** This survey was performed for design purposes, showing the location, elevations and features of the Parcel and the Parcel hereon. This is a Boundary Survey of the Lease Parcel only [not of the Parcel hereon].
- 3) **BEARINGS** shown hereon are based on a bearing of N 00°19' 17" along the West Line of the NE 1/4 of Section 21, Township 48 South, Range 42 East, as recorded in the Plat of "POMPANO INDUSTRIAL PARK THIRD ADDITION" recorded in the Plat Book 11, Page 11, of Plat Book 111, Page 33 of the Public Records of Broward County, Florida.
- 4) **LATITUDE and LONGITUDE** shown hereon are based on the State Plane Coordinate System - Transverse Mercator - Florida East Zone, National Survey of 1983, and are accurate to 1/10 second [plus or minus] as determined by G.P.S.

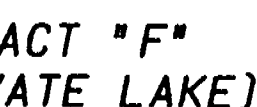


**G. P. S. LOCATION:**  
 CENTER LEASE PARCEL  
**NAD 1927 DATUM:**  
 LATITUDE = 26°16'13.7"N  
 LONGITUDE = 80°09'57.1"W  
**NAD 1983 DATUM:**  
 LATITUDE = 26°16'15.0"N  
 LONGITUDE = 80°09'56.3"W  
 ELEVATION = +13.2 NGVD



LEGEND:

- ASPHALT  
 - BRICK PAVERS  
 - CONCRETE  
 - CHAIN LINK FENCE  
 - NON-VEHICULAR ACCESS LINE  
 - CENTER LINE  
 - MONUMENT LINE (CITY OF MIAMI)  
 - PLUS OR MINUS (MORE OR LESS)  
 - ARC LENGTH EQUATION  
 - AIR CURVE TONGER UNIT  
 - ASPHALT  
 - BOLDING  
 - BOWARD COUNTY RECORDS  
 - CENTRAL ANGLE EQUATION  
 - CONCRETE  
 - CATCH BASIN  
 - CONCRETE BLOCK WALL  
 - CONCRETE BLOCK & STUCCO  
 - COAST GUARD CONTROL LINE  
 - CHAIN LINK FENCE  
 - CLEARANCE  
 - CONSTRUCTION  
 - DEPARTMENT  
 - DEPARTMENT OF TRANSPORTATION  
 - ELECTRIC BOX  
 - ELEVATION  
 - ELEV  
 - ENCLOSURES  
 - EDGE OF PAVEMENT  
 - DEPARTMENT OF TRANSPORTATION  
 - FINISHED FLOOR  
 - FIRE HYDRANT  
 - FOUND  
 - GUARD POST  
 - LICENSED BUSINESS  
 - LIGHT POLE  
 - MEASURE  
 - MANHOLE  
 - NUMBER  
 - OVERHEAD WIRES  
 - POINT OF BEGINNING  
 - POINT OF BEGINNING  
 - POINT OF COMMENCEMENT  
 - POINT OF CURVATURE  
 - POINT OF TANGENCY  
 - POINT OF COMPOUND CURVATURE  
 - PERMANENT  
 - POINT OF REVERSE CURVATURE  
 - RECORD  
 - ROAD EQUALS  
 - RANGE  
 - RESIDENCE  
 - RIGHT-OF-WAY  
 - SECTION  
 - SQUARE FEET  
 - TOWNSHIP  
 - TYPICAL  
 - WATER LINE (ABOVE GROUND)  
 - WATER LINE  
 - WATER VALVE  
 - WOOD LIGHT POLE  
 - WOOD LIGHT POLE  
 - WOOD UTILITY POLE  
 - MIX WIDE



\* POMPANO INDUSTRIAL PARK  
THIRD ADDITION  
( P. B. 111-33, B. C. R. )

N.  $89^{\circ} 41' 47''$  E.      576. 87'

TRACT "G"  
99 6  
PANO INDUSTRIAL PARK  
THIRD ADDITION  
P. B. 111-33, B. C. R. 1

S. 89° 47' 14" W. 1850.06' (NOT TO SCALE)

### PARENT TRACT DETAIL

**G. P. S. LOCATION:**  
(CENTER LEASE PARCEL)  
**NAD 1927 DATUM:**  
LATITUDE - 26°16'13.7"N  
LONGITUDE - 80°09'57.1"W  
**NAD 1983 DATUM:**  
LATITUDE - 26°16'15.0"N  
LONGITUDE - 80°09'56.3"W  
ELEVATION - +13.2 N.G.V.D

TYPE OF SURVEY		SPECIFIC PURPOSE BOUNDARY & TOPOGRAPHY		R E V I S I O N S	
PREPARED FOR	BELL SOUTH MOBILITY, INC.			DATE	JOB ORDER
	10000 CORDS, AUSTIN, TEXAS 78707			10/15/97	97-253
LEITER PERLZ & ASSOCIATES, INC.		SURVEY DATES 9-27-96		UPDATE BOUNDARY & TOPOGRAPHIC SURVEY	
LAND DEVELOPMENT CONSULTANTS		JOB ORDER 96-200		ADD SHEET 2 - AS BUILT SURVEY	
CIVIL ENGINEERS - LAND SURVEYORS, LB 6787		FILE NO. 8-1450			
LAND PLANNERS - ENVIRONMENTAL		F.B.		P.G.	
150 N. 12TH ST., SUITE 403 MIAMI, FLORIDA 33139		83-1		46-52	
PHONE DADS (305) 652-5131 BROWARD (954) 524-2202					

**NOTES:**

1. ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) 1929
2. THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTING AND/OR FOUNDATIONS (UNLESS OTHERWISE NOTED)
3. THE LANDS SHOWN HEREON HAVE NOT BEEN ABSTRACTED BY THIS FIRM REGARDING MATTERS OF INTEREST TO OTHER PARTIES SUCH AS EASEMENTS, RIGHTS-OF-WAYS, RESERVATIONS, ETC.
4. THIS SURVEY WAS PREPARED FOR AND CERTIFIED TO BY ME AND/OR PARTY INDICATED HEREON AND IS NON-TRANSFERABLE OR ASSIGNABLE.
5. ALL IRON PIPES AND NAILS AND DISCS SET BY THIS

**SURVEYOR'S CERTIFICATE:** WE HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS RECENTLY OBTAINED BY ME OR OUR DEPUTY SURVEYOR AND IN ACCORDANCE WITH THE ORDER OF OUR DIRECTION, AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA STATE BOARD OF SURVEYING AND MAPPING. **SECTION 11, CHAPTER 461, F.S. 11G17-6 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 11-22 FLORIDA STATUTES.**

*Stanley I. Olesiewicz*  
STANLEY I. OLESIEWICZ VICE PRESIDENT  
Registered Professional Surveyor and Mapper #1633

NOT VALID WITHOUT  
THE SIGNATURE AND THE  
ORIGINAL RAISED SEAL  
OF A FLORIDA LICENSED  
SURVEYOR AND MAPPER

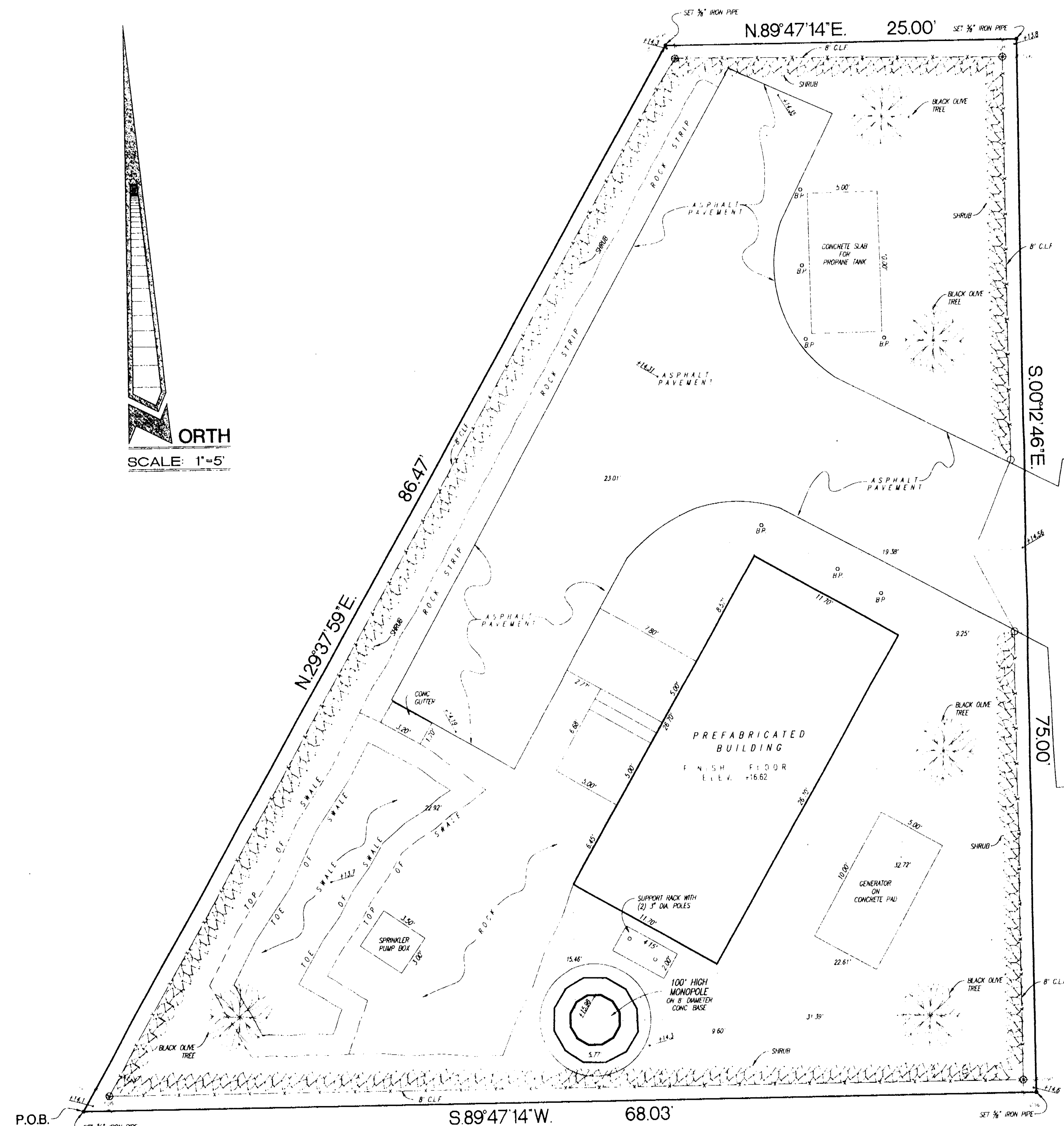
SHEET 4 OF 22



SKETCH OF SURVEY

97-6559

- LEGEND:
- CHAIN LINK FENCE
  - CONCRETE
  - DIA.
  - ELEVATION
  - BOLLARD POST (6" DIA., 4' TALL)
  - C.L.F.
  - CONC.
  - ELEV.
  - P.O.B.

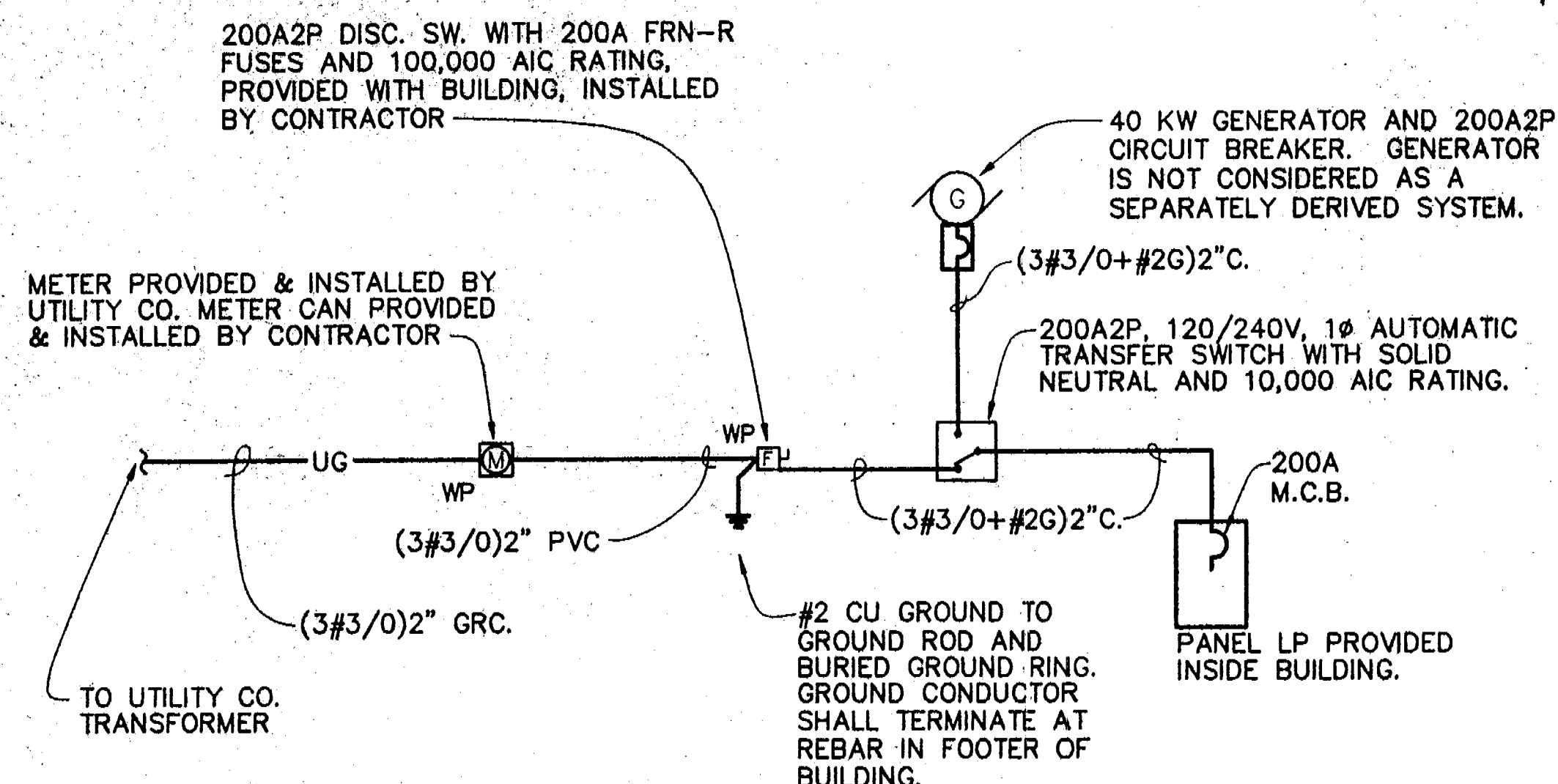


NOTE:  
REFER TO SHEET No. 1 FOR BOUNDARY SURVEY  
AND LEGAL DESCRIPTION.

AS-BUILT SURVEY  
BELLSOUTH MOBILITY CELL SITE "CDON"

TYPE OF SURVEY: BOUNDARY AND TOPOGRAPHY SURVEY		REVISIONS		F.B.	PG.	NOTES
DATE	JOB ORDER	DESCRIPTION				
PREPARED FOR: BELLSOUTH MOBILITY, INC.						SURVEYOR'S CERTIFICATE: WE HEREBY CERTIFY THAT THIS SURVEY IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS RECENTLY SURVEYED AND DRAWN UNDER OUR DIRECTION AND THAT THIS SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA STATE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 11017-8, FLORIDA STATUTES, AND THE FLORIDA SURVEYING AND MAPPING ACT, 472.002, FLORIDA STATUTES.
LEITER PEREZ & ASSOCIATES, INC. LAND DEVELOPMENT CONSULTANTS CIVIL ENGINEERS - LAND SURVEYORS LB 6787 LAND PLANNERS - ENVIRONMENTAL		DATE: 03/20/2023 FILE NO: B-1450				
BY: STANLEY I. GARDLAND, PROFESSIONAL SURVEYOR & MAPPER #1633 OF GARLAND & HARMAN, PROFESSIONAL SURVEYOR & MAPPER #1947 STATE OF FLORIDA		DATE: 03/20/2023 FILE NO: B-1450				NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.





**ELECTRICAL ONE-LINE DIAGRAM**  
NO SCALE 120/240V-10-3W SERVICE

**GENERAL NOTES:**

1. VERIFY LOCATION OF ALL BURIED UTILITIES PRIOR TO ANY EXCAVATION.
2. COMPLETE CIRCUITING FOR BATTERY IN EMERGENCY LIGHTING FIXTURE INSIDE BUILDING. INSTALL EXTERIOR LUMINAIRE (PROVIDED BY BUILDING MANUFACTURER) TO EXTERIOR JUNCTION BOX.
3. SEAL AROUND CONDUITS AND AROUND CONDUCTORS WITHIN CONDUITS ENTERING THE MODULAR BUILDING WHERE PENETRATION OCCURS WITH A SILICONE SEALANT TO PREVENT MOISTURE PENETRATION INTO BUILDING.
4. SILICONE SEAL AROUND ALL BOLTS AND SCREWS USED TO SECURE EQUIPMENT TO EXTERIOR OF BUILDING.
5. COORDINATE WITH ELECTRICAL UTILITY COMPANY FOR EXACT METERING REQUIREMENTS AND SERVICE ROUTING. APPLY FOR ELECTRICAL SERVICE A.S.A.P..
6. COORDINATE EXACT TELEPHONE REQUIREMENTS AND SERVICE ROUTING WITH LOCAL TELEPHONE COMPANY. APPLY FOR TELEPHONE SERVICE A.S.A.P..
7. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO APPLY FOR COMMERCIAL POWER IMMEDIATELY UPON RECEIVING AWARD OF BID. THE GENERAL CONTRACTOR IS REQUIRED TO KEEP ALL RECEIPTS FROM THE POWER COMPANY ACKNOWLEDGING APPLICATION FOR POWER AND THOROUGH DOCUMENTATION OF ANY DISCUSSIONS WITH THE POWER COMPANY THEREAFTER. ALSO, THE GENERAL CONTRACTOR SHALL RECEIVE IN WRITING A CONFIRMATION FROM THE POWER COMPANY AS TO WHEN THE ANTICIPATED POWER CONNECTION WILL BE COMPLETE. IF COMMERCIAL POWER IS NOT AVAILABLE BY THE "POWER COMPLETE" DATE AS CALLED OUT IN THE SPECIFICATIONS, A GENERATOR WILL BE SUPPLIED AND MAINTAINED BY THE GENERAL CONTRACTOR UNTIL COMMERCIAL POWER IS OBTAINED. ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE MUTUALLY AGREED UPON BETWEEN THE OWNER, ARCHITECT AND GENERAL CONTRACTOR. IN THE EVENT THE GENERAL CONTRACTOR FAILS TO TAKE THE NECESSARY MEASURES AS DESCRIBED HEREIN TO SECURE POWER BY THE POWER COMPLETE DATE, THEN ALL COSTS ASSOCIATED WITH THE GENERATOR WILL BE BORNE BY THE GENERAL CONTRACTOR.

**FLAG NOTES THIS SHEET: 0**

1. ELECTRICAL SERVICE ENTRANCE. VERIFY EXACT LOCATION AND ROUTING OF INCOMING SERVICE WITH UTILITY AND OWNER. MOUNT METER AND DISCONNECT SWITCH ON THE BUILDING AT +6'-0" ABOVE FINISHED GRADE. PROVIDE GALVANIZED RIGID CONDUIT (GRC) FOR ENTIRE LENGTH OF INCOMING SERVICE.
2. UNDERGROUND TELEPHONE SERVICE ENTRANCE. VERIFY EXACT LOCATION, AND ROUTING OF INCOMING SERVICE WITH UTILITY AND OWNER. PROVIDE (2) 2" CONDUITS WITH PULLWIRE PROVIDE GALVANIZED RIGID CONDUIT (GRC) FOR ENTIRE LENGTH OF INCOMING SERVICE OR 30'-0" FROM BUILDING, WHICHEVER IS SHORTER.
3. 40 KW, 120/240V, 10 KOHLER GENSET PROVIDED AND SET IN PLACE BY OTHERS. ELECTRICAL CONTRACTOR SHALL PROVIDE CONDUIT AND WIRE TO GENERATOR AND FINAL CONNECTIONS AS INDICATED.
4. PROVIDE CONTROL CIRCUITS AND ALARM CIRCUITS IN A 1-1/2" CONDUIT UNDERGROUND FROM GENERATOR TO GENERATOR CONTROL PANEL IN BUILDING. REFER TO THE MANUFACTURER'S SPECIFICATIONS AND WIRING DIAGRAMS FOR CONTROL CIRCUITS REQUIRED. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND FEEDER TO CONTROL PANEL.
5. PROVIDE UNDERGROUND FEEDER FROM GENERATOR TO A.T.S. IN BUILDING. REFER TO ELECTRICAL ONE-LINE DIAGRAM, THIS SHEET, FOR FEEDER SIZE. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND FEEDER TO A.T.S.
6. FOR CONNECTION TO JACKET WATER HEATER, 120V, 10, 1000W. ROUTE (2#12+12G)3/4"C. UNDERGROUND BENEATH PREFABRICATED BUILDING TO LP-28. AT BUILDING, COREDRILL THROUGH FLOOR OR WALL AND EXTEND TO PANELBOARD.
7. PROVIDE NEW 500 GALLON LP TANK TO SERVICE GAS GENERATOR. MOUNT ON CONCRETE PAD AS RECOMMENDED BY MANUFACTURER. MAINTAIN 10'-0" MINIMUM CLEARANCE FROM ANY BUILDING, IGNITION SOURCE OR PROPERTY LINE THAT ADJACENT PROPERTY CAN BE BUILT UPON, PER NFPA 58. PROVIDE WITH SINGLE STAGE PRESSURE REGULATOR.
8. PROVIDE 3/4" STEEL GAS PIPING (SIZED PER NFPA #54) FROM TANK TO SECOND STAGE PRESSURE REGULATOR AT GENERATOR. REFER TO PLUMBING SPECIFICATION, SHEET E-3. REMOVE ALL RUST WITH A WIRE BRUSH. PROVIDE TWO COATS OF TAR FOR PIPE INSTALLED UNDERGROUND. EXTEND TAR COATING 6" ABOVE FINISHED GRADE. PROVIDE GALVANIZED PAINT ON ALL ABOVE-GRADE PIPE. USE NON-CORRODING COUPLINGS. PAINT PIPE PRIOR TO INSTALLATION. ROUTE PIPING TO GENERATOR AND CONNECT TO GENERATOR PIPE TAP WITH FLEXIBLE CONNECTION AND DRIPLEG. ALL PIPING TO BE BURIED A MINIMUM OF 24" BELOW GRADE. MAINTAIN A MINIMUM OF 12" SEPARATION BETWEEN PIPING AND UNDERGROUND ELECTRICAL LINES. SET FIRST STAGE REGULATOR AT 10 PSIG. TOTAL EQUIVALENT PIPE LENGTH SHALL NOT EXCEED 125'-0". 745,000 BTUH.
9. 36" HIGH PROTECTIVE BOLLARDS PROVIDED BY GENERAL CONTRACTOR.
10. NEW PRESSURE REGULATOR AND UNION AT GENERATOR FOR SECOND SINGLE STAGE REGULATION. LOCATE NEXT TO GENERATOR. PROVIDE GAS SHUT-OFF VALVE NEXT TO GENERATOR.
11. AUTOMATIC TRANSFER SWITCH (A.T.S.) PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR. LOCATE INSIDE OF BUILDING IN APPROXIMATE LOCATION INDICATED. RELOCATE EQUIPMENT AS REQUIRED. REFER TO ELECTRICAL ONE-LINE DIAGRAM, THIS SHEET, FOR CONNECTIONS.
12. FOR CONNECTION TO BATTERY CHARGER, 120V, 10, 500W. ROUTE (2#12+12G)3/4"C. TO LP-18.
13. CONNECT ALL AUXILIARY ALARM FROM GENERATOR CONTROL PANEL TO THIS STRIP AND LABEL. USE #14 AWG CONDUCTORS IN 1/2"C FOR ALL ALARM LEADS. PROVIDE NORMALLY OPEN OR CLOSED (VERIFY WITH OWNER) CONTACTS FROM GENERATOR SIDE TO ACTIVATE "GENERATOR ON" SIGNAL.
14. GENERATOR CONTROL PANEL PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR.
15. PUSH BUTTON FOR EMERGENCY GENERATOR SHUTDOWN PROVIDED BY OWNER AND INSTALLED BY ELECTRICAL CONTRACTOR. PROVIDE ALL NECESSARY APPURTENANCES FOR A COMPLETE OPERATING SYSTEM. COORDINATE WIRING WITH GENERATOR MANUFACTURER. COORDINATE LOCATION WITH OWNER.
16. PROVIDE CONNECTION TO IRRIGATION PUMP, 240V, 10, 2HP, 2.76 KVA. PROVIDE (2#12+12G)1/2"C TO 30A2P CIRCUIT BREAKER IN PANEL. PROVIDE 30A2P-WP DISCONNECT SWITCH WITH 20A FRN-R FUSES. ROUTE CIRCUITING THROUGH CONTROL PANEL PROVIDED WITH PUMP.

PANEL " LP "											
120/240 VOLT				1 PHASE				3 WIRE SERVICE			
200 AMP: MAIN BREAKER				LUGS ONLY				MOUNTING: SURFACE			
10000 A.I.C. GROUND BUS				NEUTRAL				FLUSH			
DESCRIPTION	L	R	M/A/E	L1	L2	L	R	M/A/E	DESCRIPTION	L	R
RECTIFIER 24V			E3016	40	1 2 40			E3016	RECTIFIER 24V		
---			3016		3 4			3016	---		
RECTIFIER 24V			E3016	40	5 6 40				RECTIFIER 24V		
---			3016		7 8				(REDUNDANT)		
RECTIFIER 48V				20	9 10 20				RECTIFIER 48V		
FUTURE					11 12				FUTURE		
SPR				40	13 14 40				SPR		
---					15 16				SPR		
EXHAUST/T.C.			M670		17 18			E500	BATT CHARGER		
RECEPTACLES		720			19 20 30			M2784	AC-1		
LIGHTS	800				21 22			2784	---		
COMM STR LTGS	1200				23 24 30			M2784	AC-2		
TTB		380			25 26			2784	---		
SP					27 28			E1000	JCKT. WTR HTR		
					29 30				SP		
					31 32						
					33 34						
					35 36						
					37 38						
PVR			E2	15	39 40 30			M1380	IRRIGATION PUMP		
---				2	41 42			1380	---		
TOTAL	2000	1080	670					1380		7532	TOTAL
LOADS IN VOLT-AMPERES											
TYPES OF LOADS (KVA)	CONNECTED		D.F.	DEMAND		CONNECTED		31.7	KVA		
LIGHTING	2.00		1.25	2.50		DESIGN		48.0	KVA		
RECEPT. (FIRST 10 KW)	1.08		1.00	1.08		DEMAND		26.3	KVA		
RECEPT. (REMAINDER)						SPARE		21.7	KVA		
MOTORS	3.43		1.00	3.43		CONNECTED 0L1		15.8	KVA		
LARGEST MOTOR	5.57		1.25	6.96		CONNECTED 0L2		15.9	KVA		
APPLIANCES											
EQUIPMENT	1.50		1.00	1.50							
RECTIFIERS	18.10		0.60	10.86							
TOTAL	31.88		KVA	26.33		KVA		ALL CIRCUIT BREAKERS ARE 20 AMP, 1 POLE, UNLESS NOTED OTHERWISE			
LOAD	132.0		AMPS	109.7		AMPS					
DESIGN	200.0		AMPS	200.0		AMPS					
SPARE				90.3		AMPS					
L = LIGHTING R = RECEPTACLE M = MOTOR A = APPLIANCE E = EQUIPMENT K = KITCHEN H = ELECTRIC HEAT SPR = SPARE SP = SPACE											

\* NON-SIMULTANEOUS LOADS

**UTILITY CONTACTS FOR CDON**

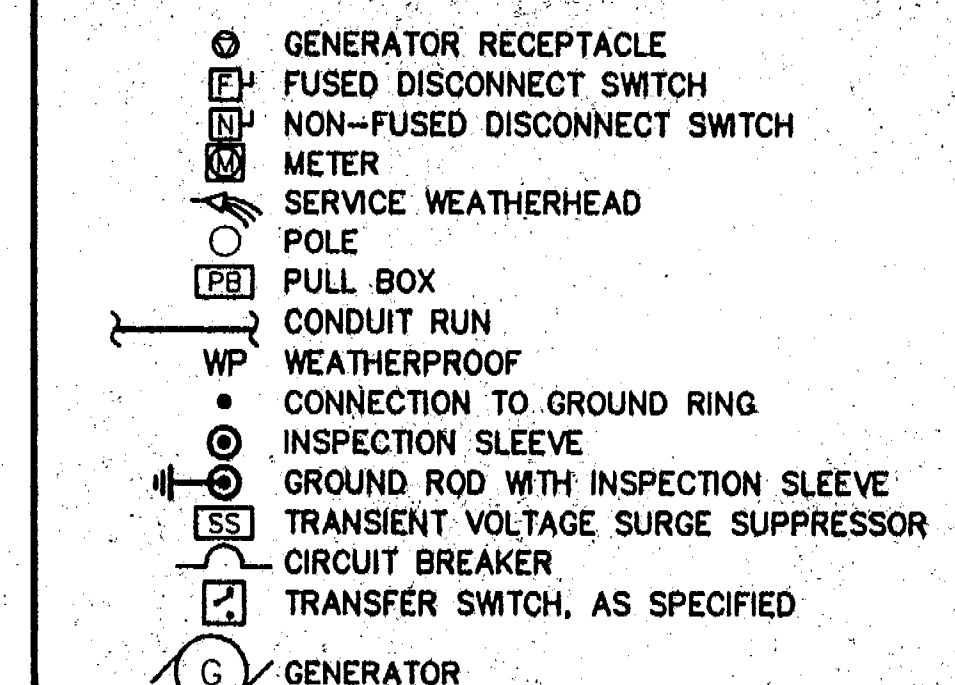
**TELEPHONE:**

SOUTHERN BELL  
8601 W. SUNRISE BLVD.  
PLANTATION, FL 33322  
(954) 423-6249  
ATTN: MR. STEVE CALHOUN

**ELECTRIC:**

FLORIDA POWER & LIGHT  
330 S.W. 12TH AVENUE  
POMPAHO BEACH, FL 33069  
(954) 781-1031  
ATTN: MR. H.F. SMITH

**GROUNDING/ELECTRICAL LEGEND**



**McFALL-KONKEL & KIMBALL**  
CONSULTING ENGINEERS, INC.  
Mechanical, Electrical, Environmental & Energy Consultants  
7350 East Progress Place, Suite 100  
Englewood, Colorado 80111  
(303) 721-6500

**WAYNE E. VENSEL**  
ARCHITECT, INC.  
1541 SUNSET DRIVE  
CORAL GABLES, FLORIDA 33143  
SUITE 303  
(305) 346-1690

**BELL SOUTH Mobility**  
MIAMI AREA SITE 'CDON'  
7900 W. SAMPLE ROAD  
POMPAHO BEACH, FLORIDA

REVISIONS:  
1/7/98

DATE: 10/06/97  
FILE:  
JOB: BE-12  
SHEET:  
E-1  
of 3



## 100-FOOT MONOPOLE ANTENNA TOWER 96-INCH DIAMETER SHAFT, 25 FOOT EMBEDMENT

```
*****
*   PROGRAM LPILE  4.0                               *
*   (C) COPYRIGHT ENSOFT, INC., 1993                 *
*   ALL RIGHTS RESERVED                               *
*   -----                                           *
*                                                     *
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*                   Lombard, IL 60148                 *
*               License No. 799-121495                 *
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*****
```

PROGRAM LPILE Version 4.0  
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397-65175, BELLSOUTH CDON, 96 IN DIA., 25 FEET

UNITS--ENGLISH UNITS

### INPUT INFORMATION \*\*\*\*\*

THE LOADING IS STATIC

FILE GEOMETRY AND PROPERTIES

PILE LENGTH = 300.00 IN  
2 POINTS

X	DIAMETER	MOMENT OF INERTIA	AREA	MODULUS OF ELASTICITY
IN	IN	IN**4	IN**2	LBS/IN**2
.00	96.000	.417D+07	.724D+04	.350D+07
300.00	96.000	.417D+07	.724D+04	.350D+07

PZ23-12000019  
03/20/2024

## SOILS INFORMATION

-----

X AT THE GROUND SURFACE = .00 IN  
SLOPE AT THE GROUND SURFACE = .00 DEG.

### 5 LAYER(S) OF SOIL

#### LAYER 1

THE SOIL IS A SAND - P-Y CRITERIA BY REESE ET AL, 1974

X AT THE TOP OF THE LAYER = .00 IN  
X AT THE BOTTOM OF THE LAYER = 42.00 IN  
MODULUS OF SUBGRADE REACTION = .100D+01 LBS/IN\*\*3

#### LAYER 2

THE SOIL RESPONSE IS DEFINED BY INPUT P-Y CURVES

X AT THE TOP OF THE LAYER = 42.00 IN  
X AT THE BOTTOM OF THE LAYER = 144.00 IN  
MODULUS OF SUBGRADE REACTION = .000D+00 LBS/IN\*\*3

#### LAYER 3

THE SOIL IS A SAND - P-Y CRITERIA BY REESE ET AL, 1974

X AT THE TOP OF THE LAYER = 144.00 IN  
X AT THE BOTTOM OF THE LAYER = 240.00 IN  
MODULUS OF SUBGRADE REACTION = .400D+02 LBS/IN\*\*3

#### LAYER 4

THE SOIL IS A SAND - P-Y CRITERIA BY REESE ET AL, 1974

X AT THE TOP OF THE LAYER = 240.00 IN  
X AT THE BOTTOM OF THE LAYER = 480.00 IN  
MODULUS OF SUBGRADE REACTION = .130D+03 LBS/IN\*\*3

#### LAYER 5

THE SOIL IS A SAND - P-Y CRITERIA BY REESE ET AL, 1974

X AT THE TOP OF THE LAYER = 480.00 IN  
X AT THE BOTTOM OF THE LAYER = 720.00 IN  
MODULUS OF SUBGRADE REACTION = .600D+02 LBS/IN\*\*3

### DISTRIBUTION OF EFFECTIVE UNIT WEIGHT WITH DEPTH

#### 10 POINTS

X, IN	WEIGHT, LBS/IN**3
.00	.67D-01
42.00	.67D-01
42.00	.69D-01
144.00	.69D-01
144.00	.33D-01
240.00	.33D-01
240.00	.37D-01
480.00	.37D-01
480.00	.35D-01
720.00	.35D-01



PZ23-12000019  
03/20/2024

## DISTRIBUTION OF STRENGTH PARAMETERS WITH DEPTH

10 POINTS

X, IN	C, LBS/IN**2	PHI, DEGREES	E50
.00	.000D+00	.300D+02	-----
42.00	.000D+00	.300D+02	-----
42.00	.000D+00	.000D+00	-----
144.00	.000D+00	.000D+00	-----
144.00	.000D+00	.320D+02	-----
240.00	.000D+00	.320D+02	-----
240.00	.000D+00	.380D+02	-----
480.00	.000D+00	.380D+02	-----
480.00	.000D+00	.350D+02	-----
720.00	.000D+00	.350D+02	-----

## DISTRIBUTION OF P AND Y MULTIPLIERS VERSUS DEPTH

1 POINTS

X, IN	P-MULTIPLIER	Y-MULTIPLIER
.00	.00D+00	.00D+00

## INPUT P-Y CURVES

1 CURVES, 4 POINTS ON EACH

X, IN	Y, IN	P, LBS/IN
24.00	.00	.00
	.04	5547.00
	.23	6933.00
	9.60	6933.00

## BOUNDARY AND LOADING CONDITIONS

-----

LOADING NUMBER 1

BOUNDARY-CONDITION CODE	=	1
LATERAL LOAD AT THE PILE HEAD	=	.508D+05 LBS
MOMENT AT THE PILE HEAD	=	.452D+08 IN-LBS
AXIAL LOAD AT THE PILE HEAD	=	.276D+05 LBS

## FINITE-DIFFERENCE PARAMETERS

NUMBER OF PILE INCREMENTS	=	25
DEFLECTION TOLERANCE ON DETERMINATION OF CLOSURE	=	.100D-04 IN
MAXIMUM NUMBER OF ITERATIONS ALLOWED FOR PILE ANALYSIS	=	200
MAXIMUM ALLOWABLE DEFLECTION	=	.10D+02 IN

PZ23-12000019

03/20/2024

## OUTPUT CODES

KOUTPT = 1  
KPYOP = 0  
INC = 1

## OUTPUT INFORMATION

\*\*\*\*\*

LOADING NUMBER 1

BOUNDARY CONDITION CODE = 1  
LATERAL LOAD AT THE PILE HEAD = .508D+05 LBS  
MOMENT AT THE PILE HEAD = .452D+08 IN-LBS  
AXIAL LOAD AT THE PILE HEAD = .276D+05 LBS

X	DEFLECTION	MOMENT	SHEAR	SOIL REACTION	TOTAL STRESS	FLEXURAL RIGIDITY
IN	IN	LBS-IN	LBS	LBS/IN	LBS/IN**2	LBS-IN**2
*****	*****	*****	*****	*****	*****	*****
.00	.123D+00	.452D+08	.508D+05	.000D+00	.524D+03	.146D+14
12.00	.109D+00	.458D+08	.508D+05	-.131D+01	.531D+03	.146D+14
24.00	.952D-01	.464D+08	.508D+05	-.229D+01	.538D+03	.146D+14
36.00	.818D-01	.470D+08	.507D+05	-.295D+01	.545D+03	.146D+14
48.00	.689D-01	.476D+08	.161D+05	-.577D+04	.552D+03	.146D+14
60.00	.564D-01	.474D+08	-.525D+05	-.568D+04	.549D+03	.146D+14
72.00	.443D-01	.463D+08	-.120D+06	-.559D+04	.537D+03	.146D+14
84.00	.328D-01	.445D+08	-.182D+06	-.473D+04	.516D+03	.146D+14
96.00	.216D-01	.420D+08	-.229D+06	-.313D+04	.487D+03	.146D+14
108.00	.109D-01	.390D+08	-.257D+06	-.158D+04	.453D+03	.146D+14
120.00	.606D-03	.358D+08	-.267D+06	-.875D+02	.416D+03	.146D+14
132.00	-.937D-02	.326D+08	-.260D+06	.135D+04	.379D+03	.146D+14
144.00	-.190D-01	.295D+08	-.251D+06	.968D+02	.344D+03	.146D+14
156.00	-.284D-01	.265D+08	-.250D+06	.158D+03	.309D+03	.146D+14
168.00	-.375D-01	.236D+08	-.247D+06	.227D+03	.275D+03	.146D+14
180.00	-.464D-01	.206D+08	-.244D+06	.303D+03	.241D+03	.146D+14
192.00	-.550D-01	.177D+08	-.240D+06	.386D+03	.208D+03	.146D+14
204.00	-.635D-01	.148D+08	-.235D+06	.476D+03	.175D+03	.146D+14
216.00	-.719D-01	.121D+08	-.229D+06	.573D+03	.143D+03	.146D+14
228.00	-.801D-01	.936D+07	-.221D+06	.677D+03	.112D+03	.146D+14
240.00	-.882D-01	.676D+07	-.203D+06	.239D+04	.816D+02	.146D+14
252.00	-.963D-01	.449D+07	-.172D+06	.275D+04	.556D+02	.146D+14
264.00	-.104D+00	.263D+07	-.136D+06	.315D+04	.341D+02	.146D+14
276.00	-.112D+00	.122D+07	-.962D+05	.356D+04	.179D+02	.146D+14
288.00	-.120D+00	.322D+06	-.508D+05	.400D+04	.752D+01	.146D+14
300.00	-.128D+00	.000D+00	.000D+00	.447D+04	.381D+01	.146D+14

## OUTPUT VERIFICATION

THE MAXIMUM MOMENT IMBALANCE FOR ANY ELEMENT = .209D-04 IN-LBS  
THE MAX. LATERAL FORCE IMBALANCE FOR ANY ELEMENT = -.840D-06 LBS

## OUTPUT SUMMARY

PILE-HEAD DEFLECTION = .123D+00 IN  
COMPUTED SLOPE AT PILE HEAD = .121D-02  
MAXIMUM BENDING MOMENT = .476D+08 LBS-IN  
MAXIMUM SHEAR FORCE = -.267D+06 LBS  
NO. OF ITERATIONS = 18  
NO. OF ZERO DEFLECTION POINTS = 1

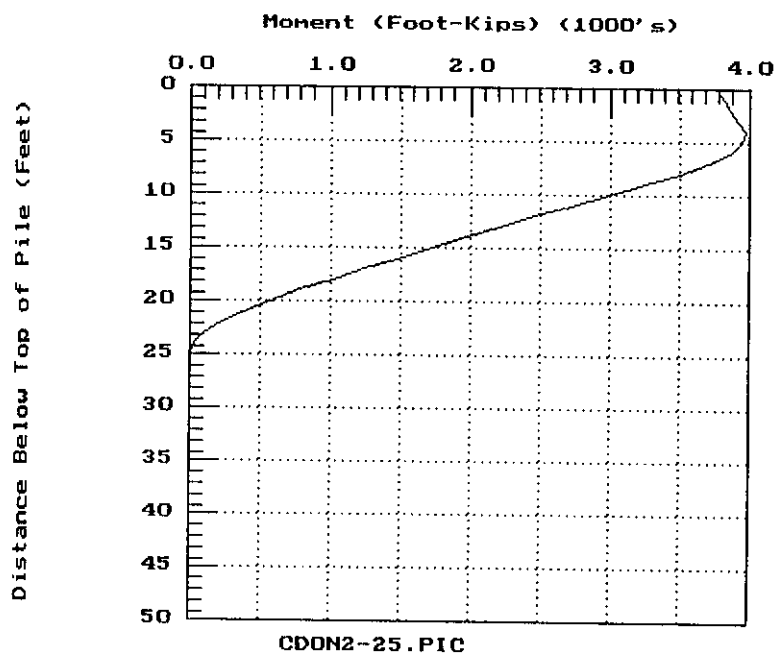
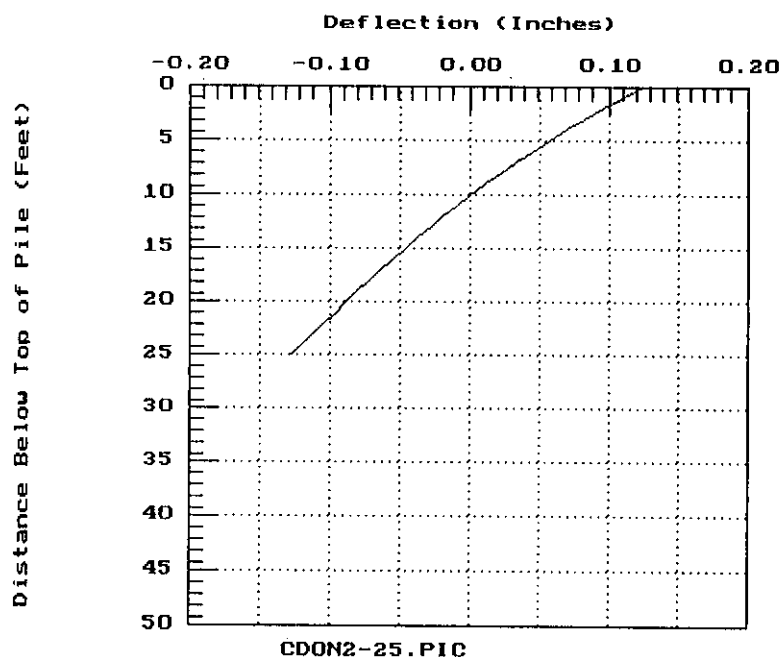
## S U M M A R Y T A B L E \*\*\*\*\*

BOUNDARY CONDITION	BOUNDARY CONDITION	AXIAL LOAD . LBS	PILE HEAD DEFLECTION IN	MAX. MOMENT IN-LBS	MAX. SHEAR LBS
BC1 .5080D+05	BC2 .4516D+08	.2760D+05	.1235D+00	.4759D+08	.2675D+06



PZ23-12000019

03/20/2024



PROJECT NAME

**BellSouth Mobility  
Cell Site "CDON"  
Broward County, Florida**

**LATERAL SHAFT CAPACITY  
96-IN. DIAMETER SHAFT**

PROJECT NO.

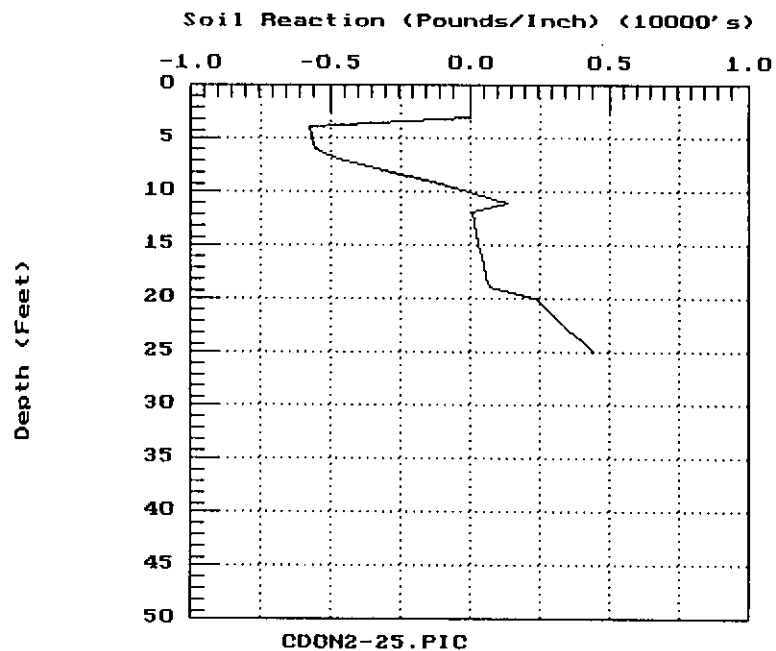
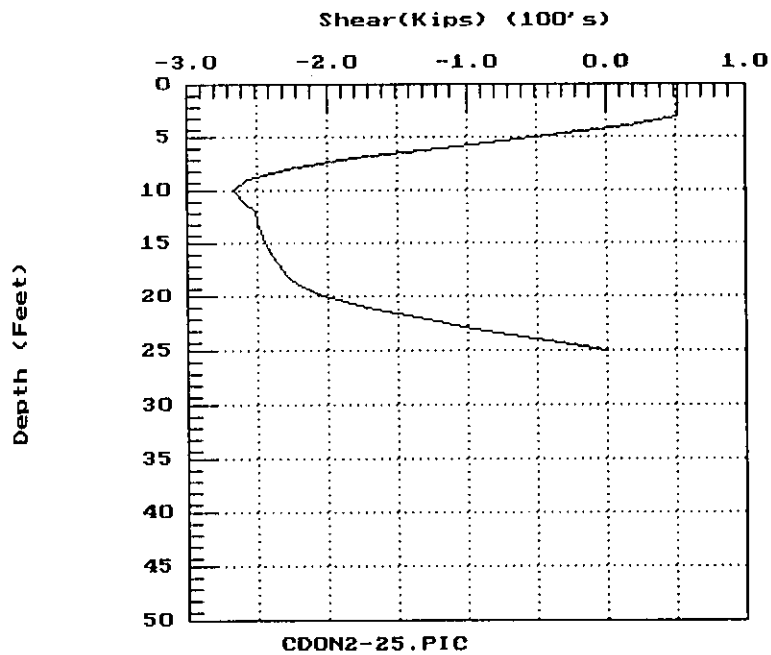
**397-65175-3**

DATE

**SEPTEMBER/1997**

PZ23-12000019

03/20/2024



PROJECT NAME

**BellSouth Mobility  
Cell Site "CDON"  
Broward County, Florida**

**LATERAL SHAFT CAPACITY  
96-IN. DIAMETER SHAFT**

PROJECT NO.

**397-65175-3**

DATE

**SEPTEMBER/1997**

DRC

PZ23-12000019  
03/20/2024

DEC-18-97 THU 05:18 PM 685A49

TEL: 407 995 3594

954 424 7645

P. 03

P. 001

# POMPANO BEACH BUILDING DEPARTMENT

780 4060

## South Florida Building Code Special Structural Inspector Form (Section 305.3)

Date 12-22-97

Building Permit # 97-6559

Job Address 2900 W Sample Rd Pompano Beach

Legal \_\_\_\_\_

Folio # 18221-07-00600

### Notice to Property Owner:

You are hereby directed, as stated in Section 305.3 of the South Florida Building Code, to retain a SPECIAL Structural Inspector (A Florida Registered Professional Engineer or Architect) to perform the following mandatory inspections as outlined in Sections 305.2 and 3401.1 of the South Florida Building Code and submit progress reports, inspection reports and a Certificate of Compliance to the Building Official as per Sections 305.3(b) & (c) of the South Florida Building Code for the items below.

- |   |                             |  |
|---|-----------------------------|--|
| Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | (1) Piling   |
| Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | (2) Foundation Inspection  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (3) Floor Slab   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (4) Concrete Columns   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (5) Concrete Unit Masonry (as per SPBC 2705.4)   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (6) Concrete Beams   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (7) Roof Trusses   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (8) Roof Sheathing   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (9) Roofing  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (10) Framing   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (11) Window and Door Inspection  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (12) Wire Lath   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (13) Insulation  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (14) Rock Lath   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (15) Drywall   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (16) Curtain Wall Inspection   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (17) Storefront Inspection   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (18) Swimming Pool Reinforcing Steel   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (19) Roof Rerail Inspection  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (20) Anchor Sheet fastening to nailable roof decks   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (21) Anchor Sheet nailing to non-nailable roof decks   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (22) Operation of shingling or riling  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (23) Final Completed Roof Inspection   |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (24) Final Completed Building Inspection   |
| Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | (25) A Certificate of Compliance at completion of Structural Work stating that work was performed in accordance with the approved structural plan or plans. (Signed, sealed and dated.)  |
| Yes <input type="checkbox"/>            | No <input type="checkbox"/> | (26) A Certificate of Compliance at completion of work stating that work was performed in accordance with the approved plans and verifying certification required by plans including but not limited to: pile reports, compaction reports, subterranean soil treatment, setbacks, finished floor elevations etc. (Signed, sealed and dated.) |
| Yes <input checked="" type="checkbox"/> | No <input type="checkbox"/> | (27) Other: <u>Pre-Fab Equipment Building</u>  |

For the Building Official \_\_\_\_\_

Signature of Special Inspector \_\_\_\_\_

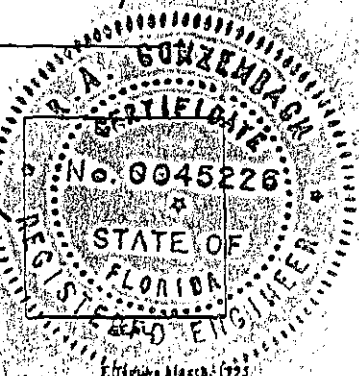
Printed or Typed Name Robert A. G. GONZALEZ

Certification Number PE 45226

Property Owner Ramiro Alvarez

SIGN AND PRINT NAME

DATE 1/16/98





**DRC**

Federal Aviation Administration  
Southern Region  
Traffic Division, ASO-532  
P.O. Box 20636  
College Park, GA 30320  
PZ23-12905019  
03/20/2024

ACKNOWLEDGEMENT OF NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION

CITY STATE LATITUDE LONGITUDE MSL AGL AMSL  
POMPANO BEACH FL 26-16-15.00 080-09-56.30 14 107 121

BELLSOUTH MOBILITY, INC.  
SUSAN LEBRUN  
5201 CONGRESS AVENUE  
BOCA RATON, FL 33487-3615

AERONAUTICAL STUDY  
No: 96-ASO-5744-OE

Type Structure: ANTENNA TOWER 800-894 MHZ; 100 WATTS

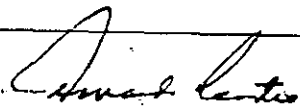
The Federal Aviation Administration hereby acknowledges receipt of notice dated 12/02/96 concerning the proposed construction or alteration contained herein.

The proposed structure does not require notice to the FAA.

Obstruction marking and lighting are not necessary.

If the structure is subject to the licensing authority of the FCC, a copy of this acknowledgement will be sent to that Agency.

SIGNED



Armando Castro

Specialist, Operations Branch  
(404) 305-5585.

ISSUED IN: College Park, Georgia

01/14/97

PZ23-12000019  
03/20/2024

# ADP

**T 90015 VOR 900**

**POLYMER LETTERS**

# DRC

PZ23-12000Q19

03/20/2024

## WARNING

THIS APPROVAL MUST BE ACCOMPANIED  
BY A BCDNRP DEVELOPMENT  
REVIEW PROCEDURE FORM.

209005

IF A BUILDING PERMIT IS NOT APPLIED FOR  
WITHIN 30 DAYS OF THE ABOVE DATE, THESE PLANS  
MUST BE RE-SUBMITTED TO THE BROWARD COUNTY  
DEPARTMENT OF NATURAL RESOURCE PROTECTION FOR  
RE-EVALUATION.

BROWARD COUNTY DEPARTMENT  
OF NATURAL RESOURCE PROTECTION  
LAND USE AND PERMITTING DIVISION

APPROVAL FOR: UNIMPROVED TEL. POLE  
WITH SLAB FOR EMER. GENERATION ONLY

ANY OTHER SUBSEQUENT USE REQUIRES  
SEPARATE BCDNRP APPROVAL

FOR SEWER  
CONNECTION TO: BCW-7  
WASTEWATER TREATMENT PLANT

BY: 1 DATE: OCT 16 1997



# DRC

BROWARD EDITION OF THE SOUTH FLORIDA  
BUILDING CODE

PZ23-12000019

03/20/2024

BROWARD EDITION OF THE SOUTH FLORIDA  
BUILDING CODE IN EFFECT

Plans Received

1	12-5-97
2	1-21-98
3	1-26-98
4	

## CITY FILE COPY

97-6559

THIS PLAN IS  
APPROVED  
SUBJECT TO ALL CODES OF  
THE CITY OF POMPANO BEACH  
PLANS MUST BE KEPT AT THE  
BUILDING SITE FOR INSPECTORS

TRAFFIC \_\_\_\_\_  
Traffic Eng. \_\_\_\_\_ Date \_\_\_\_\_

PUBLIC WORKS \_\_\_\_\_  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/12/97 ✓ ENGINEERING W. H. [Signature] 1/30/98  
Eng. Inspect. \_\_\_\_\_ Date \_\_\_\_\_

✓ ZONING [Signature] 1/26/98  
Zoning Admin. \_\_\_\_\_ Date \_\_\_\_\_

1-27-98, 12-12-97 ✓ BUILDING [Signature] 1-27-98  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12-12-97 ✓ PLUMBING [Signature] 1-28-98  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/16/97 ✓ ELECTRICAL [Signature] 12/17/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

12/16 ✓ AIR COND. [Signature] 12/16/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

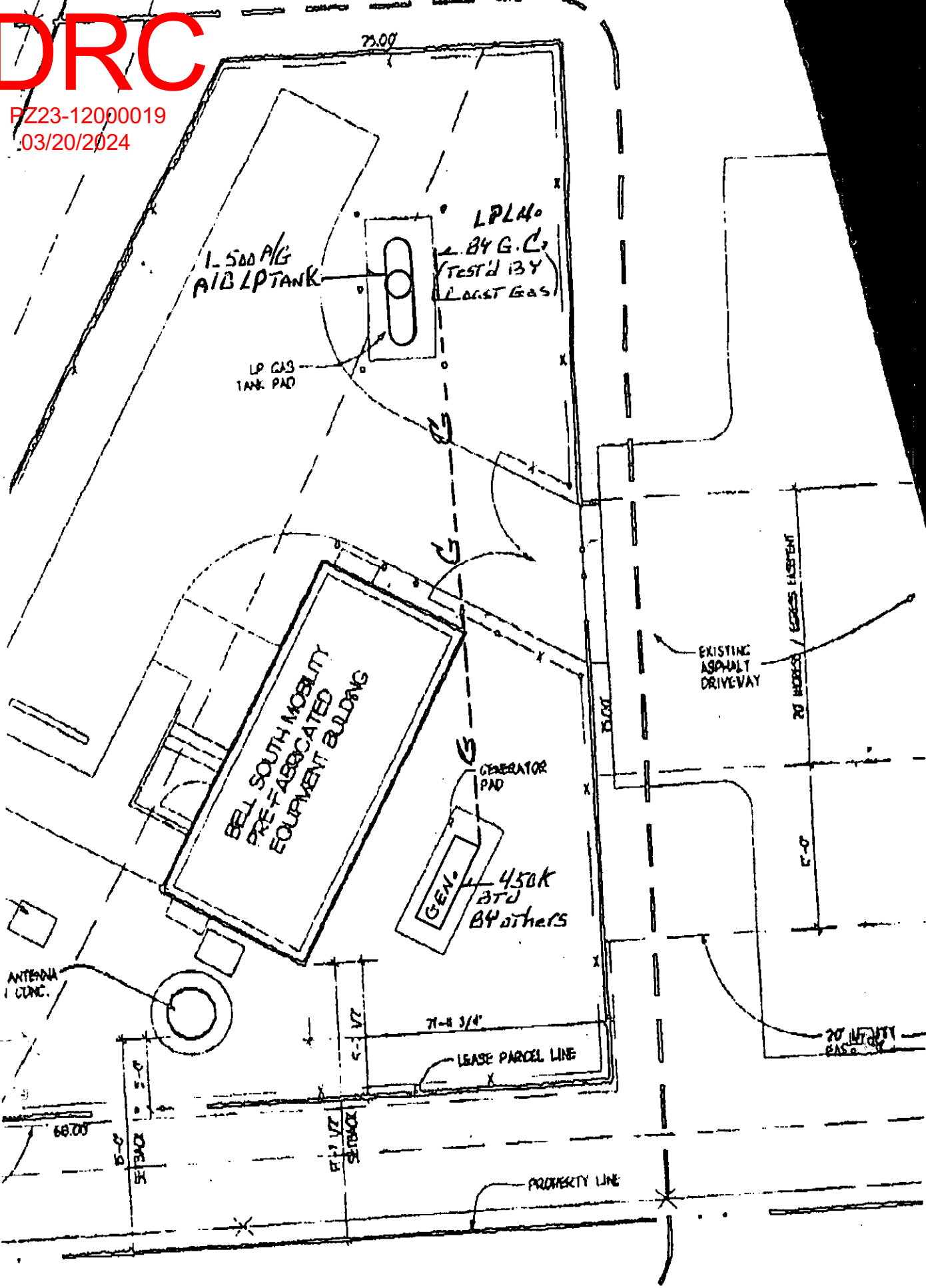
✓ FIRE [Signature] 12/17/97  
Inspector \_\_\_\_\_ Date \_\_\_\_\_

BUILDING PERMIT # 97-6559  
DATE ISSUED 1-20-98

# DRC

PZ23-12000019

03/20/2024



4 BUILDING



City of Pompano Beach - Building Department  
100 W Atlantic Blvd.  
Pompano Beach, FL 33060  
(954) 786-4669

PZ23-12000019

\*\*\*\*\*BUILDING PERMIT\*\*\*\*\*

03/20/2024

-----  
Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD  
Property Use . . . . . STORE/OFFICE/RESIDE COMBO

Permit . . . . . STRUCTURE

Additional desc . . TELECOMMUNICATION TOWER & BLDG  
Phone Access Code . 130914

-----  
Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	996	0996	BLDG FINAL STRUCTURAL	_____	___/___/___
999	506	0506	BLDG CONCRETE CYLINDER TEST	_____	___/___/___
999	6	0006	BLDG CONSULTATION, COMPLAINT	_____	___/___/___
999	526	0526	BLDG ENGINEER REPORTS	_____	___/___/___
999	126	0126	BLDG FOOTINGS	_____	___/___/___
999	136	0136	BLDG SLAB	_____	___/___/___
999	106	0106	BLDG SOIL COMPACTION	_____	___/___/___

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, Fl 33060  
(954)786-4669

\*\*\*\*\*Plumbing Permit\*\*\*\*\*

PZ23-12000019

03/20/2024

-----  
Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD  
-----

Owner

Contractor

-----  
R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881  
-----

-----  
DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001  
-----

-----  
Permit . . . . . PLUMBING PERMIT  
Additional desc . . . L P TANK & GAS PIPING (GENRTR)  
Phone Access Code . . . 145904  
Sub Contractor . . . COAST GAS 000 946-1702  
Permit Fee . . . . . 113.98  
Issue Date . . . . . Valuation . . . . . 850  
-----

Qty	Unit	Charge	Per		Extension
1.00		.3500	EA	A BRD RULES & APPEALS SURC NEW	.35
1.00		3.0000	EA	A CERTIFICATE OF COMPLETION-97	3.00
9.00		.0700	HND	A CERTIFICATION MAINT FEE-97	.63
1.00		50.0000	EA	P GAS SYSTEM-97	50.00
1.00		60.0000	EA	P TANK UP TO 2000 GALLON-97	60.00

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	113.98	.00	.00	113.98
Grand Total	113.98	.00	.00	113.98

-----  
Approved By: \_\_\_\_\_

Received By: Robert B. Tally

Received Date: 2/4/98



# DRC

City of Pompano Beach - Building Department

100 W Atlantic Blvd

Pompano Beach, Fl 33060

(954)786-4669

\*\*\*\*\*Plumbing Permit\*\*\*\*\*

PZ23-1200019

03/20/2024

-----  
Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD

Permit . . . . . PLUMBING PERMIT

Additional desc . . L P TANK & GAS PIPING (GENRTR)

Phone Access Code . 145904  
-----

## Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	995	0995	P FINAL PLUMBING	_____	____/____/____
999	85	0085	P GAS ROUGH	_____	____/____/____

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

Application Number . . . . . 97-00006559 Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPAO IND PARK 3 ADD

Owner

Contractor

R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881

DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001

Permit . . . . . ELECTRICAL PERMIT  
Additional desc . . . . . WIRE TELECOMMUNICATION BLDG  
Phone Access Code . . . . . 132563  
Sub Contractor . . . . . CLARKE ELEC CONTRACTING INC  
Permit Fee . . . . . 221.00  
Issue Date . . . . . Valuation . . . . . 80000

Qty	Unit	Charge	Per		Extension
80.00		.3500	THOU	A BRD RULES & APPEALS SURCH	28.00
1.00		3.0000	EA	A CERTIFICATE OF COMPLETION-97	3.00
800.00		.0700	HND	A CERTIFICATION MAINT FEE-97	56.00
1.00		5.0000	EA	A LIEN LAW FEE VAL>\$2500	5.00
40.00		1.8000	EA	EL GENERATORS-97	72.00
1.00		12.0000	EA	EL TRANSFER SWITCHES-97	12.00
1.00		21.6000	EA	EL SPRINKLER PUMPS-97	21.60
1.00		18.0000	EA	EL ELECT SWITCHES-97	18.00
3.00		1.8000	EA	EL FDRS\SER CONDUCTORS> 200-97	5.40

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	221.00	.00	.00	221.00
Grand Total	221.00	.00	.00	221.00

Approved By: Lee Warner

Received By: Chris B. Talley

Received Date: 2/4/98

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

-----  
Application Number . . . . . 97-00006559                      Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPAO IND PARK 3 ADD

Permit . . . . . ELECTRICAL PERMIT

Additional desc . . WIRE TELECOMMUNICATION BLDG  
Phone Access Code . 132563

-----  
Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	993	0993	EL FINAL ELECTRIC	_____	___/___/___
999	33	0033	EL FOOTER GROUND	_____	___/___/___
999	133	0133	EL SLAB	_____	___/___/___
999	43	0043	EL UNDERGROUND WIRING	_____	___/___/___

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, Fl 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Plumbing Permit\*\*\*\*\*

03/20/2024

Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMpano IND PARK 3 ADD

Owner

Contractor

R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881

DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001

Permit . . . . . PLUMBING PERMIT  
Additional desc . . . . . LAWN IRRIG. SYSTEM W/ PUMP  
Phone Access Code . . . . . 145649  
Sub Contractor . . . . . D A NORTHCUT CO INC 305 248-0855  
Permit Fee . . . . . 93.10  
Issue Date . . . . . Valuation . . . . . 2000

Qty	Unit	Charge	Per	Extension
2.00		.3500	EA	A BRD RULES & APPEALS SURC NEW .70
1.00		3.0000	EA	A CERTIFICATE OF COMPLETION-97 3.00
20.00		.0700	HND	A CERTIFICATION MAINT FEE-97 1.40
1.00		44.0000	EA	P LAWN SPRINKLER SYS 1ST/K-97 44.00
1.00		44.0000	EA	P PUMP 1ST \$1000-97 44.00

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	93.10	.00	.00	93.10
Grand Total	93.10	.00	.00	93.10

Approved By: \_\_\_\_\_

Received By: Chris B. Talley

Received Date: 2/16/98



# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, Fl 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Plumbing Permit\*\*\*\*\*

03/20/2024

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Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD

Permit . . . . . PLUMBING PERMIT

Additional desc . . LAWN IRRIG. SYSTEM W/ PUMP  
Phone Access Code . 145649  
-----

### Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	995	0995	P FINAL PLUMBING	_____	___/___/___

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

Application Number . . . . . 97-00006559 Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD

Owner

Contractor

R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881

DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001

Permit . . . . . ELECTRICAL PERMIT  
Additional desc . . . COMMUNICATION TOWER  
Phone Access Code . . . 132589  
Sub Contractor . . . CLARKE ELEC CONTRACTING INC  
Permit Fee . . . . . 76.25  
Issue Date . . . . . Valuation . . . . . 11500

Qty	Unit	Charge	Per		Extension
12.00		.3500	THOU	A BRD RULES & APPEALS SURCH	4.20
1.00		3.0000	EA	A CERTIFICATE OF COMPLETION-97	3.00
115.00		.0700	HND	A CERTIFICATION MAINT FEE-97	8.05
1.00		5.0000	EA	A LIEN LAW FEE VAL>\$2500	5.00
1.00		44.0000	EA	EL RECIEVING DISH-97	44.00
1.00		12.0000	EA	EL ANTENNA WITH GROUND-97	12.00

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	76.25	.00	.00	76.25
Grand Total	76.25	.00	.00	76.25

Approved By: Lee Wilson

Received By: X Orlan B. Talley

Received Date: 5 2/4/98

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

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Application Number . . . . . 97-00006559 Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMpano IND PARK 3 ADD

Permit . . . . . ELECTRICAL PERMIT

Additional desc . . COMMUNICATION TOWER

Phone Access Code . 132589

-----  
Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	993	0993	EL FINAL ELECTRIC	_____	___/___/___
999	33	0033	EL FOOTER GROUND	_____	___/___/___
999	43	0043	EL UNDERGROUND WIRING	_____	___/___/___

# DRC

PZ23-12000019  
03/20/2024

Application Number . . . . . 97-00006559                      Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . . 8221-07-D -TRACTS A & B TOGE  
Parcel Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD  
Property Use . . . . . STORE/OFFICE/RESIDE COMBO  
Property Zoning . . . . . BUSINESS, HEAVY  
Application valuation . . . . . 91500

Owner	Contractor
-----	-----
R/S ASSOCIATES OF FL	DUFFEY CONSTRUCTION CO INC
% SHOOSTER PROPERTIES	1395 NW 21 ST
555 CITY LINE AVE SUITE 1170	MIAMI FL 33142
BALA CYNWYD PA 19004	(305) 325-0001
494-8881	

-----

Permit . . . . .	FIRE DEPARTMENT PERMIT	
Additional desc . .	CELL TOWER	
Phone Access Code .	132217	
Permit Fee . . . .	35.00	
Issue Date . . . .		Valuation . . . . 0

Qty	Unit	Charge	Per	Extension
			BASE FEE	35.00

-----

Special Notes and Comments  
THE PLANS ARE REJECTED BY THE ENGINEERING DIVISION FOR THE FOLLOWING REASONS:  
(1) A ENGINEERING PERMIT APPLICATION MUST BE SUBMITTED BY A LICENSED ASPHALT PAVING CONTRACTOR. A COPY OF THE CONTRACT MUST BE SUBMITTED WITH THIS APPLICATION.  
(2) THE ENGINEERING DIVISION REQUIRES A ADDITIONAL SET CIVIL ENGINEERING DRAWINGS FOR THEIR RECORDS.

-----  
PLANS TO PLUMBING  
THE PLANS ARE REJECTED BY THE ENGINEERING DIVISION FOR THE FOLLOWING REASONS:  
(1) A ENGINEERING PERMIT APPLICATION MUST BE SUBMITTED BY A LICENSED ASPHALT PAVING CONTRACTOR. A COPY OF THE CONTRACT MUST BE SUBMITTED WITH THIS APPLICATION.  
(2) THE ENGINEERING DIVISION REQUIRES A ADDITIONAL SET OF CIVIL ENGINEERING DRAWINGS FOR THEIR RECORDS.

-----  
PLANS TO PLUMBING

Fee summary	Charged	Paid	Credited	Due	*
-----	-----	-----	-----	-----	
Permit Fee Total	35.00	.00	.00	35.00	:
Grand Total	35.00	.00	.00	35.00	'



# DRC

PZ23-12000019  
03/20/2024

Application Number . . . . . 97-00006559                      Date 12/17/97  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . . . 8221-07-D -TRACTS A & B TOGE  
Parcel Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD  
Property Use . . . . . STORE/OFFICE/RESIDE COMBO  
Property Zoning . . . . . BUSINESS, HEAVY

Permit . . . . . FIRE DEPARTMENT PERMIT

Additional desc . . . . . CELL TOWER

Phone Access Code . . . . . 132217

---

## Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	407	0407	FP FIRE DEPARTMENT FINAL	_____	___/___/___

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

-----  
Application Number . . . . . 97-00006559 Date 4/07/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPAO IND PARK 3 ADD  
-----

Owner

Contractor

-----  
R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881  
-----

-----  
DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001  
-----

-----  
Permit . . . . . ELECTRICAL 30 DAY TEMP  
Additional desc . . . ELECTRICAL - 30 DAY TEST POWER  
Phone Access Code . . . 172908  
Sub Contractor . . . CLARKE ELEC CONTRACTING INC 305 235-4695  
Permit Fee . . . . . 44.00  
Issue Date . . . . . Valuation . . . . . 0  
-----

Qty	Unit	Charge	Per	Extension
-----	------	--------	-----	-----------

BASE FEE

44.00

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	44.00	.00	.00	44.00
Grand Total	44.00	.00	.00	44.00

-----  
Approved By: *[Signature]*

Received By: X

Received Date: X 04/07/98  
-----

# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd  
Pompano Beach, FL 33060  
(954)786-4669

PZ23-12000019

\*\*\*\*\*Electrical Permit\*\*\*\*\*

03/20/2024

-----  
Application Number . . . . . 97-00006559 Date 4/07/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD

Permit . . . . . ELECTRICAL 30 DAY TEMP

Additional desc . . ELECTRICAL - 30 DAY TEST POWER

Phone Access Code . 172908

-----  
Required Inspections

Seq	Phone Insp #	Insp Code	Description	Initials	Date
10	913	0913	EL 30 DAY TEMPORARY POWER	_____	___/___/___

**DRC**

WORK ORDER 5/01/98, 16:32:38  
The City of Pompano Beach

INSPECTION TICKET  
INSPECTOR A PLUMBING INSPECTOR

*JS*

PAGE  
DATE

ADDRESS : 2900 NW 36 ST COHM  
TYPED : 03/20/98  
CONTRACTOR : DUFFY CONSTRUCTION CO INC  
SUBCONTRACTOR : COAST GAS  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : R-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : SLUM L P TANK & GAS PIPING (GENRTR)

POSUBDIVISION : POMPANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (000) 546-1702  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006539 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0083 01	4/08/98	4/08/98	33	AE P GAS ROUGH	TIME: 17:00 VRU #: 000381939
				PIPING MUST BE LAYED IN CLEAN FILL	
0083 02	4/09/98	4/09/98	33	AP P GAS ROUGH	TIME: 17:00 VRU #: 000384644
0995 31	5/04/98	5/4/98	05	AP P FINAL PLUMBING	TIME: 17:00 VRU #: 000405522
				COMMENTS AND NOTES	

*JS*



**DRC**

ADDRESS : 2900 NW 36 ST COMM  
TENANT : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
SUBCONTRACTOR : CLARKE ELEC CONTRACTING INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 314 ELECTRICAL - 30 DAY TEST POWER

POSUBDIVISION : POMPAHO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (303) 233-4693  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006539 000 000

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0913 01	4/08/98	4/08/98	34	AP EL 30 DAY TEMPORARY POWER	TIME: 17:00 VRU #: 000382655
				1) CALLED DIANE AT FPL TO ERLEASE POWER	
0993 01	5/06/98	5/26/98	034	AP EL FINAL ELECTRIC	TIME: 17:00 VRU #: 000414926

COMMENTS AND NOTES

**DRC**

PREPARED 5/05/98, 10:27:27  
The City of Pompano Beach

INSPECTION TICKET  
INSPECTOR A STRUCTURAL INSPECTOR

1st DM

PAGE  
DATE

ADDRESS : 2900 NW 36 ST COMM  
TENANT : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 6STR TELECOMMUNICATION TOWER & BLDG

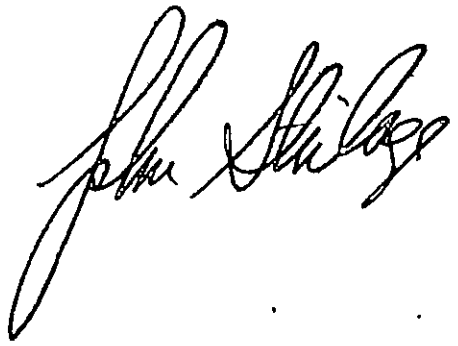
POSUBDIVISION : POMFANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006339 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0136 01	4/08/98	4/08/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000381921
0136 02	4/10/98	4/10/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000384685
				REMAINDER OF SLABS	
0136 03	4/21/98	4/21/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000394432
				***SIDEWALK***	
0876 01	5/05/98	XXXXXXXX	790	XXXXBLDG FINAL LANDSCAPE	TIME: 17:00 VRU #: 000408831
				PLEASE RETURN TO ELAYNE	
0926 01	5/06/98	5/6/98	06	AP BLDG FINAL STRUCTURAL	TIME: 17:00 VRU #: 000410944

COMMENTS AND NOTES

- 1- Engineer Reports -
  - 1- Certificate of Completion
  - 2- Soil Densities
  - 3- Tower Foundation
  - 4- Foundation - Tee. For Hut.

Copies to F.I.C



**DRC**

REPORT 5/04/98, 11:40:42  
The City of Pompano Beach

INSPECTION TICKET  
INSPECTOR PEARSON, WINBERLY

PAGE  
DATE

PZ03-12000019 2500 NW 36 ST COMM  
VENUE/20/2024 : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8271-07-00 -TRACTS A & B TOGE  
APPLICATION : E-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 65TR TELECOMMUNICATION TOWER & BLDG

POSUBDIVISION : POMPANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006559 000 00

APP/NO	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0136 01	4/08/98	4/08/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000381921
0136 02	4/10/98	4/10/98	66	AP MANG SLAB	TIME: 17:00 VRU #: 000384685
				REMAINDER OF SLABS	
0136 03	4/21/98	4/21/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000394452
				***SIDEWALK***	
0596 01	5/05/98	XXXXXX	06	XXX BLDG FINAL STRUCTURAL	TIME: 17:00 VRU #: 000406823
0875 01	5/05/98	XXXX	790	AP BLDG FINAL LANDSCAPE	TIME: 17:00 VRU #: 000408831
				PLEASE RETURN TO ELATNE	

COMMENTS AND NOTES

5/6/98 final OK Jan Gumsley  
Sprinklers -OK  
trees/shrubs -OK

**DRC**

ADDRESS . . . : 2900 NW 36 ST CORN  
TERRACE, NW  
CONTRACT NO. : 03/23/98 0000019  
OWNER . . . : DUFFEY CONSTRUCTION CO INC  
PARCEL . . . : R/S ASSOCIATES OF FL  
PARCEL . . . : 8221-07-D -TRACTS A & B TOGE  
APPLICATION . : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE . : 6STR TELECOMMUNICATION TOWER & BLDG

POSUBDIVISION . : POMPAHO IND PARK 3 A  
PHONE . . . : (305) 325-0001  
PHONE . . . : (000) 494-8881  
APPL NUMBER . : 97 00006339 000 000

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0136 01	4/08/98	4/08/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000381921
0136 02	4/10/98	4/10/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000384683
0136 03	4/21/98	4/21/98	06	REMAINDER OF SLABS	TIME: 17:00 VRU #: 000394432
				***SIDEWALK***	

COMMENTS AND NOTES

*John Staloz*



DRC


ADDRESS : 2900 NW 35 ST COHH  
TENANT : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 6STR TELECOMMUNICATION TOWER & BLDG

POSUBDIVISION : POMPAHO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006339 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0136 31	4/08/98	4/08/98	66	AP BLDG SLAB	TIME: 17:00 VRU #: 000381921
0136 02	4/10/98	4/10/98	06	AP BLDG SLAB	TIME: 17:00 VRU #: 000384685

COMMENTS AND NOTES

Remainder of Slabs



**DRC**

*pp 12*

ADDRESS . . . : 2900 NW 36 ST COMM  
 TENANT . . . : BELL SOUTH MOBILITY TOWER  
 CONTRACTOR . . : DUFFEY CONSTRUCTION CO INC  
 SUBCONTRACTOR : COAST GAS  
 OWNER . . . . : R/S ASSOCIATES OF FL  
 PARCEL . . . . : 8221-07-0 -TRACTS A & B TOGE  
 APPLICATION . : B-MINOR CONSTRUCTION/FENCE-97  
 PERMIT TYPE . : 3LUH L P TANK & GAS PIPING (GENRTR)

POSUBDIVISION . : POMPAHO IND PARK 3 A  
 PHONE . . . . : (305) 325-0001  
 PHONE . . . . : (000) 945-1702  
 PHONE . . . . : (000) 494-8881  
 APPL NUMBER . : 97 00006359 000 00

TYP/SQ REQUESTED COMPLETED INSP RESULTS DESCRIPTION/RESULTS/COMMENTS

0085 01 4/08/98 *4/8/98* 05 *AE* GAS ROUGH TIME: 17:00 VRU #: 000381939

COMMENTS AND NOTES

*Piping must be layed in sand & covered*

The City of Pompano Beach

ADDRESS . . . : 2900 NW 36 ST COMM  
TENTATIVE PERMIT NUMBER 000019  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
SUBCONTRACTOR : CLARKE ELEC CONTRACTING INC  
OWNER . . . : R/S ASSOCIATES OF FL  
PARCEL . . . : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 314 ELECTRICAL - 30 DAY TEST POWER

POSUBDIVISION . : POMPAHO IND PARK 3 A  
PHONE . . . : (305) 325-0001  
PHONE . . . : (305) 233-4693  
PHONE . . . : (000) 494-8881  
APPL NUMBER . : 97 00006333 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0913 D1	4/08/98	4/08/98	034	AP	EL 30 DAY TEMPORARY POWER TIME: 17:00 VRU #: 000382655

COMMENTS AND NOTES

DIANE  
4/08/98  
ANSW MACH



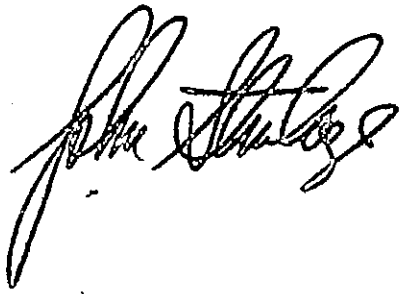
DRC

ADDRESS . . . : 2900 NW 36 ST CORN  
TENANT, 1201 BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
OWNER . . . : R/S ASSOCIATES OF FL  
PARCEL . . . : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 6STR TELECOMMUNICATION TOWER & BLDG

POSUBDIVISION . : POMPAHO IND PARK 3 A  
PHONE . . . : (305) 325-0001  
PHONE . . . : (000) 494-8881  
APPL NUMBER . : 97 00006559 000/ 000

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0136	01	4/08/98	06	AP	BLDG SLAB TIME: 17:00 VRU #: 000381921

COMMENTS AND NOTES





The City of Pompano Beach

**DRC**  
ADDRESS : 2900 NW 36 ST COMM  
PERMIT NO: 000019 BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
SUBCONTRACTOR : COAST GAS  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 3LUH L P TANK & GAS PIPING (GENRTR)

POSUBDIVISION : POMFANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (000) 946-1702  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006539 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
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0085 01	4/08/98	4/08/98	53	AE P GAS ROUGH	TIME: 17:00 VRU #: 000381939
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PIPING MUST BE LAYED IN CLEAN FILL					
0085 02	4/09/98	4/9/98	53	AP P GAS ROUGH	TIME: 17:00 VRU #: 000384644

COMMENTS AND NOTES

**DRC**

REF: 4/23/98, 16:36:08  
The City of Pompano Beach

INSPECTION TICKET  
INSPECTOR A PLUMBING INSPECTOR

*mpc*

ADDRESS: 12000019 2900 NW 36 ST COMM  
TENANT: N/A  
CONTRACTOR: DUFFY CONSTRUCTION CO INC  
SUBCONTRACTOR: D A NORTHCUTT CO INC  
OWNER: R/S ASSOCIATES OF FL  
PARCEL: 8221-07-D -TRACTS A & B TOGETHER  
APPLICATION: B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE: SPIR LAWN IRRIG. SYSTEM W/ PUMP

POSUBDIVISION: POMPAHO IND PARK  
PHONE: (305) 325-0001  
PHONE: (305) 248-0855  
PHONE: (000) 494-8881  
APPL NUMBER: 97 00006559 000

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0993 01	4/13/98	4/14/98	03	CA P FINAL PLUMBING	TIME: 17:00 VRU #: 000388777
0993 02	4/24/98	4/24/98	05	CANCELLED BY D A NORTHCUTT P FINAL PLUMBING	TIME: 17:00 VRU #: 000400051
COMMENTS AND NOTES					

DRC

ADDRESS : 2908 NW 36 ST COMM  
TELEPHONE : 000019 BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
SUBCONTRACTOR : CLARKE ELEC CONTRACTING INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 32 WIRE TELECOMMUNICATION BLDG

POSUBDIVISION : POMPANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (305) 233-4693  
PHONE : (000) 499-8881  
APPL NUMBER : 97 00006559 000 000

TYP/93	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0043 01	4/03/98	4/03/98	034	AP	EL UNDERGROUND WIRING TIME: 17:00 VRU 0: 000377317
COMMENTS AND NOTES					

(Signature)

(Signature)

DEPT REF: 4-22-98, 16:26:51  
The City of Pompano Beach

INSPECTION TICKET  
INSPECTOR: A ELECTRICAL INSPECTOR

PAGE  
DATE

**DRC**

ADDRESS : 2900 NW 35 ST COMM  
TENANT, NDR : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFEY CONSTRUCTION CO INC  
SUBCONTRACTOR : CLARKE ELEC CONTRACTING INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : E-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 39 COMMUNICATION TOWER

POSUBDIVISION : POMFANO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (305) 233-4693  
PHONE : (000) 494-8881  
APPL NUMBER : 97 00006339 000 000

CYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0953 01	4/30/98	4/30/98	034	AP EL FINAL ELECTRIC TOWER	TIME: 17:00 VRU #: 000405886

COMMENTS AND NOTES

BP2



# DRC

City of Pompano Beach - Building Department  
100 W Atlantic Blvd.  
Pompano Beach, FL 33060  
(954) 786-4669

\*\*\*\*\*BUILDING PERMIT\*\*\*\*\*

PZ23-12000019

03/20/2024

*Bow*  
*1-30-98*

Application Number . . . . . 97-00006559 Date 1/27/98  
Property Address . . . . . 2900 NW 36 ST COMM  
Subdivision/Block/Lot . . . 8221-07-D -TRACTS A & B TOGE  
Folio Number . . . . . 8221070010  
Tenant nbr, name . . . . . BELL SOUTH MOBILITY TOWER  
Application description . . . B-\*MINOR CONSTRUCTION/FENCE-97  
Subdivision Name . . . . . POMPANO IND PARK 3 ADD  
Property Use . . . . . STORE/OFFICE/RESIDE COMBO

Owner

Contractor

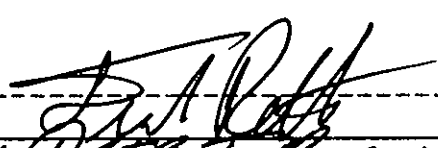
R/S ASSOCIATES OF FL  
% SHOOSTER PROPERTIES  
555 CITY LINE AVE SUITE 1170  
BALA CYNWYD PA 19004  
494-8881

DUFFEY CONSTRUCTION CO INC  
1395 NW 21 ST  
MIAMI FL 33142  
(305) 325-0001

Permit . . . . . STRUCTURE  
Additional desc . . . TELECOMMUNICATION TOWER & BLDG  
Phone Access Code . . . 130914  
Permit Fee . . . . . 1779.90  
Issue Date . . . . . Valuation . . . . . 78000

Qty	Unit	Charge	Per		Extension
78.00		.3500	EA	A BRD RULES & APPEALS SURC NEW	27.30
1.00		3.0000	EA	A CERTIFICATE OF COMPLETION-97	3.00
780.00		.0700	HND	A CERTIFICATION MAINT FEE-97	54.60
.00		.0050	PER	AN EDUCATION FEE ADD/ALT	.00
1.00		5.0000	EA	A LIEN LAW FEE VAL>\$2500	5.00
78000.00		.0150	THOU	B\$ TANKS AND TOWERS-97	1170.00
80.00		6.5000	EA	B\$ X PLAN RV COMM NEW \$/K-97	520.00

Fee summary	Charged	Paid	Credited	Due
Permit Fee Total	1779.90	.00	.00	1779.90
Grand Total	1779.90	.00	.00	1779.90

Approved By:   
Received By: *[Signature]*  
Received Date: *2/4/98*

REF: 4/28/98, 16:25:41  
The City of Pompano Beach

**DRC**

INSPECTION TICKET  
INSPECTOR A ELECTRICAL INSPECTOR

2:00-2:30 PAGE  
DATE

ADDRESS : 12000019 2900 NW 36 ST COMM  
TENANT : BELL SOUTH MOBILITY TOWER  
CONTRACTOR : DUFFY CONSTRUCTION CO INC  
SUBCONTRACTOR : CLARKE ELEC CONTRACTING INC  
OWNER : R/S ASSOCIATES OF FL  
PARCEL : 8221-07-D -TRACTS A & B TOGE  
APPLICATION : B-MINOR CONSTRUCTION/FENCE-97  
PERMIT TYPE : 32 WIRE TELECOMMUNICATION BLDG

POSUBDIVISION : 1 POMPAO IND PARK 3 A  
PHONE : (305) 325-0001  
PHONE : (305) 235-4695  
PHONE : (000) 494-8881  
APPL NUMBER : 97 000Q5559 000 00

TYP/SQ	REQUESTED	COMPLETED	INSP	RESULTS	DESCRIPTION/RESULTS/COMMENTS
0043 01	4/03/98	4/03/98	34	AP EL UNDERGROUND WIRING	TIME: 17:00 VRU #: 000377317
0993 01	4/29/98	4/29/98	034	FL FINAL ELECTRIC	TIME: 17:00 VRU #: 000404558

COMMENTS AND NOTES

