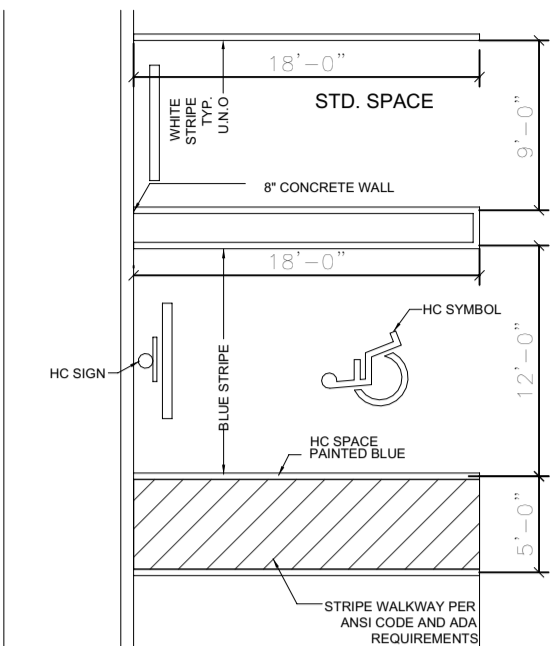
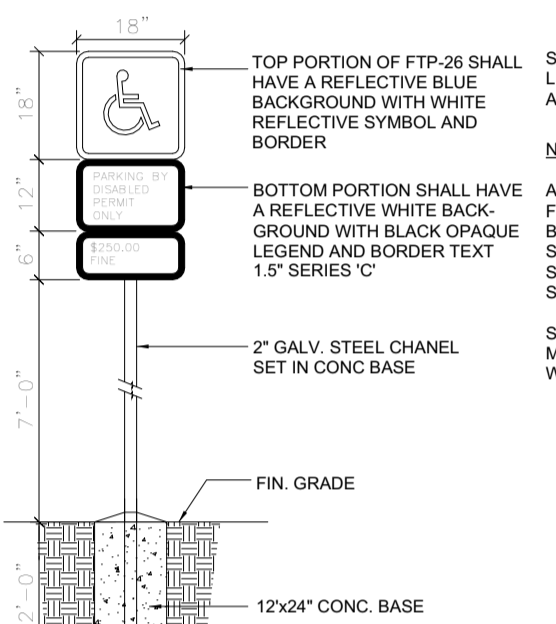


Parking Details:

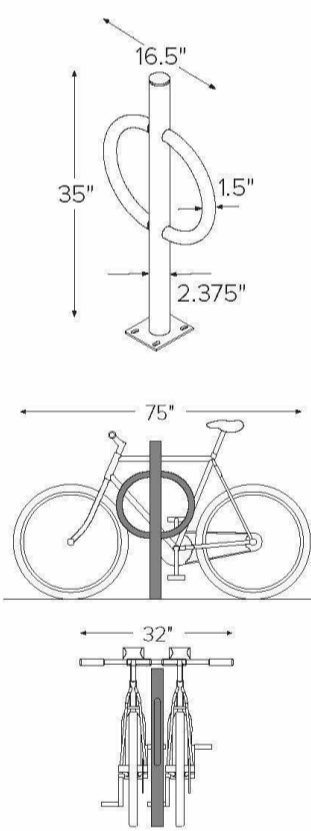


PARKING DETAIL
Scale: 1" = 10'-0"

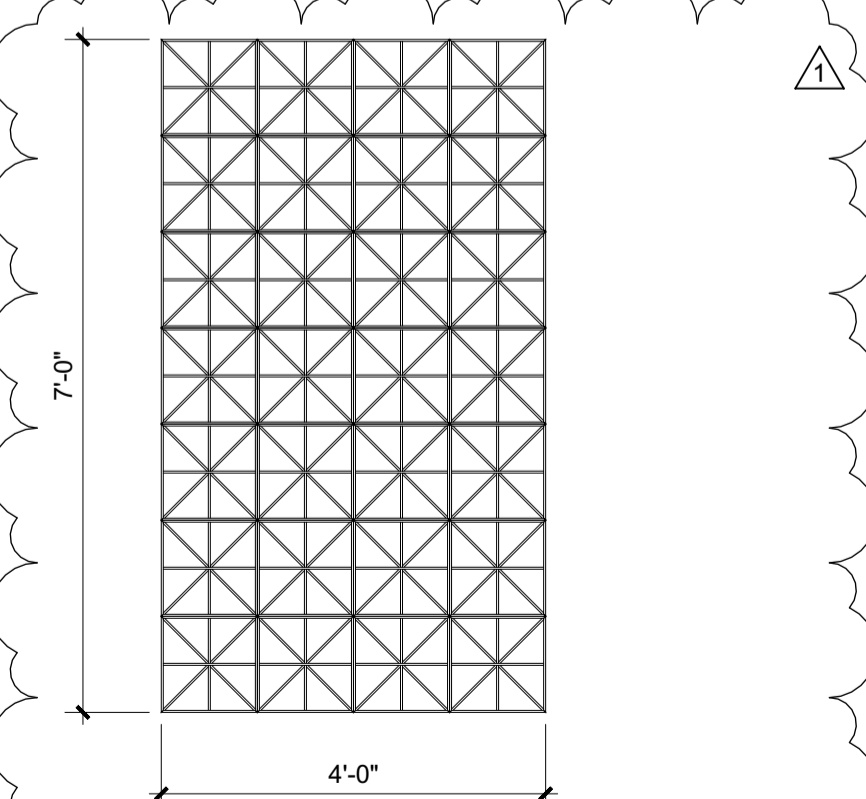


ADA PARKING SIGN DETAIL
Scale: 3/8" = 1'-0"

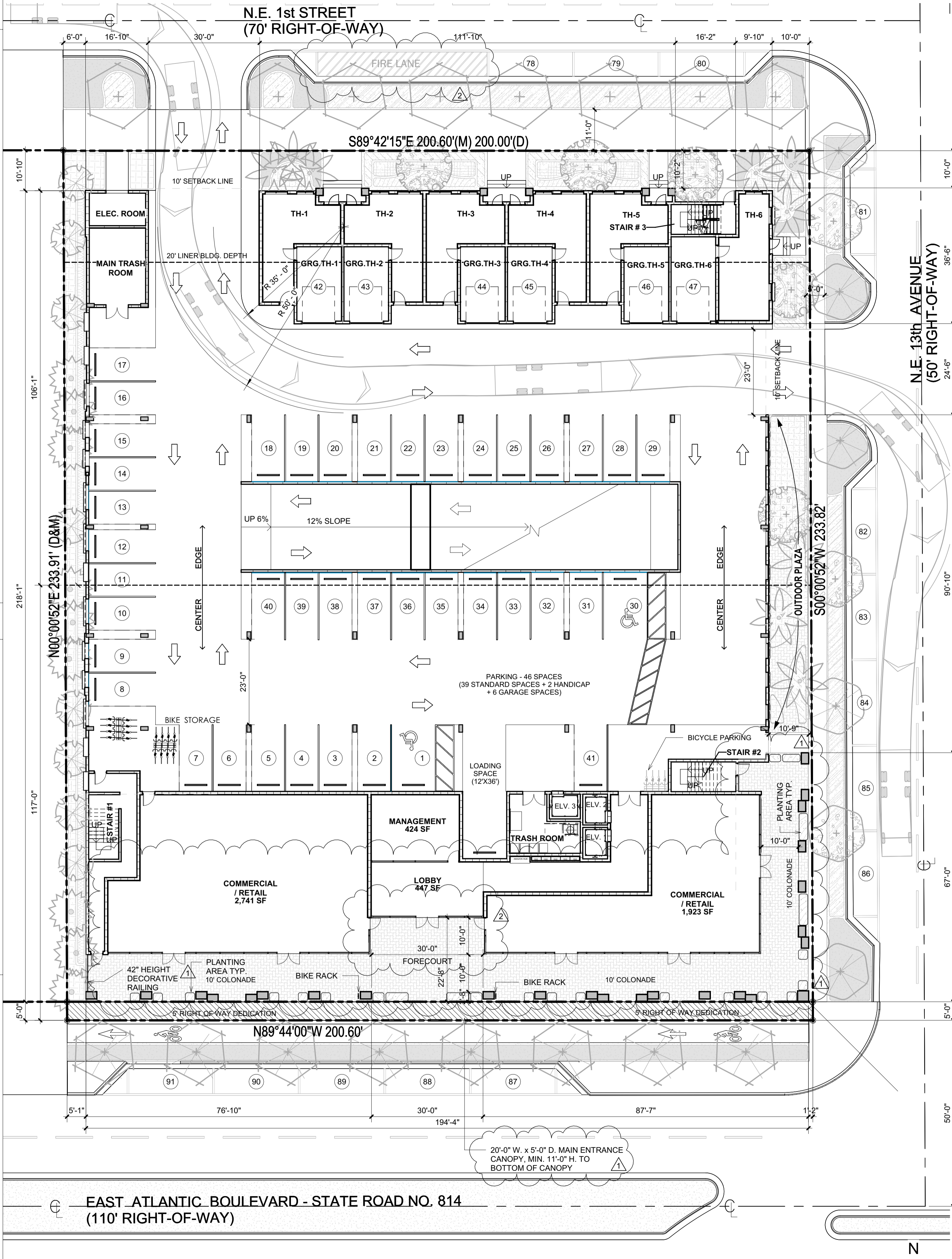
Site Details:



BIKE RACK DETAIL
Scale: 1/4" = 1'-0"



ALUMINUM DECORATIVE GRILLE
Scale: 1/2" = 1'-0"



PROPOSED SITEPLAN
Scale: 1/16" = 1'-0"

ADDRESS

1207 E ATLANTIC BLVD , POMPANO BEACH, FL 33060
FOLIO NUMBER: 4842 36 00 0360

LEGAL DESCRIPTION

PARCEL 1
That portion of the SE 1/4 of the SW 1/4 of Section 36, Township 48 South, Range 42 East, described as follows: Commence at a point on the South boundary of said SE 1/4 of the SW 1/4, said point being 155 feet West of the Southeast corner of said SE 1/4 of the SW 1/4; thence North and parallel with the East boundary of said SE 1/4 of the SW 1/4, a distance of 50 feet for the point of beginning; thence continuing North and parallel with said East boundary, a distance of 233.84 feet to the South line of Northeast First Street; thence West along said South line a distance of 75 feet; thence South and parallel with said East boundary, a distance of 233.91 feet to a point 50 feet North of said South boundary of SE 1/4 of the SW 1/4 of the SW 1/4; thence East and parallel with said South boundary a distance of 75 feet to the point of beginning.

PARCEL 2
That Portion of the SE 1/4 of the SW 1/4 of Section 36, Township 48 South, Range 42 East, described as follows: Beginning at the Southeast corner of the said SE 1/4 of the SW 1/4 of the SW 1/4, thence North along the quarter section line, 283.77 feet; then West along the South line of N.E. 1st Street, 155 feet; then South and parallel to the East boundary of said SE 1/4 of the SW 1/4 of the SW 1/4, 283.84 feet to the South boundary of said Section 36, thence East along said South boundary of Section 36, 155 feet to the Point of Beginning; LESS the East 30 feet and less the South 50 feet of the above described parcel. Described lands containing 46,914 square feet (1.077 +/- acres)

SITE DATA

LAND USE DESIGNATION	EAST TRANSIT ORIENTED CORRIDOR (ETOC)		
ZONING DESIGNATION	TRANSIT ORIENTED (TO) WITHIN EAST OVERLAY DISTRICT (EOD)		
PROPOSED PROJECT DESCRIPTION	MIXED-USE WITH RESIDENTIAL COMPONENT, OVER COMMERCIAL USE AT GROUND FLOOR AND INTEGRATED PARKING GARAGE.		
SITE AREA	AREA	ACREAGE	
EXISTING SITE AREA	46,914 S.F.	1.077 ACRES	
SITE AREA POST 5'-0" RIGHT OF WAY DEDICATION	45,911 S.F.	1.054 ACRES	
RESIDENTIAL DENSITY BREAKDOWN	AREA	UNITS PROVIDED	UNITS ALLOWABLE
PARCEL #1			
MM (O-60) - MIXED-USE MAIN STREET / CENTER SUB-AREA	23,472 S.F.	-	32.33 UNITS
MM (O-24) - MIXED-USE MAIN STREET / EDGE SUB-AREA	23,444 S.F.	-	12.92 UNITS
SUBTOTAL			
DENSITY BONUS OPTION #1 - "CENTER" PORTIONS AT (20) UNITS PER ACRE	23,472 S.F.	-	10.78 UNITS
TOTAL APARTMENTS UNITS	-	41 UNITS	-
TOTAL TOWNHOMES STYLE UNITS	-	6 UNITS	-
GRAND TOTAL	-	47 UNITS	56.03 UNITS

RETAIL / AMENITIES BREAKDOWN	AREA PROVIDED	AREA REQUIRED
MM (O-60) - MIXED-USE MAIN STREET / CENTER SUB-AREA	14,980 S.F. (RETAIL + AMENITIES)	-
MM (O-24) - MIXED-USE MAIN STREET / EDGE SUB-AREA	11,000 S.F. (AMENITIES)	-
TOTAL RETAIL + AMENITIES	25,980 S.F.	-

LOT COVERAGE	% COVERAGE (PROVIDED)	% COVERAGE (REQUIRED)
BUILDING LOT COVERAGE	40,502 S.F.(88.22%)	41,320 S.F.(90% MAX)
PERVIOUS AREA	4,611 S.F. (10.05%)	4,591 S.F.(10% MIN)
IMPERVIOUS AREA	798 S.F. (1.74%)	-

BUILDING HEIGHTS AND SETBACKS	CENTER		EDGE	
	PROVIDED	REQUIRED	PROVIDED	REQUIRED
BUILDING HEIGHT	43'-0"	55'-0" MAX	33'-0"	35'-0" MAX
FRONT SETBACK (SOUTH - E ATLANTIC BLVD)	5'-0"	0'-0" MIN - 20'-0" MAX	-	-
FRONT SETBACK (NORTH - NE 1ST ST)	-	-	10'-2"	10'-0" MIN - 30'-0" MAX
CORNER SETBACK (EAST - NE 13TH AVE)	2'-0"	0'-0"	10'-0"	10'-0"
SIDE SETBACK (WEST)	5'-1"	0'-0"	6'-1"	0'-0"
NUMBER OF STORIES	4 STORIES	5 STORIES	3 STORIES	3 STORIES

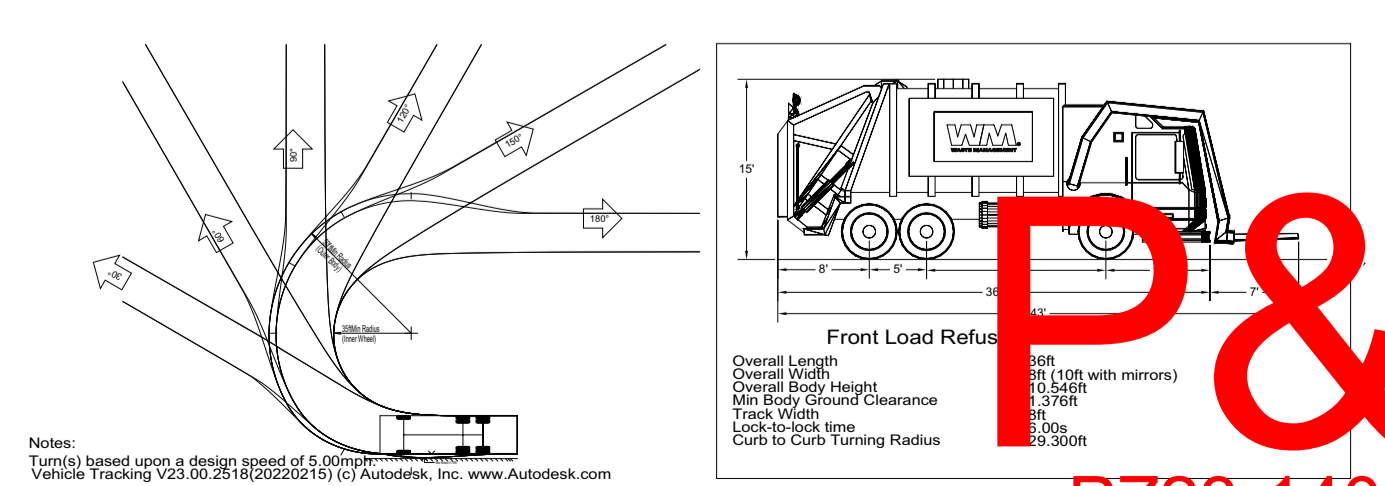
VEHICULAR PARKING DATA	PROVIDED		REQUIRED	
	CENTER	EDGE	CENTER	EDGE
RETAIL - 5,186 S.F. AT 1 SPACE PER 300 S.F.	-	-	-	17.29 SPACES
RESIDENTIAL (APARTMENTS) - (13) STUDIO UNITS AT 1.0 SPACES PER UNIT	-	-	-	16.00 SPACES
RESIDENTIAL (APARTMENTS) - (16) 1-BEDROOM UNITS AT 1.0 SPACES PER UNIT	-	-	-	18.00 SPACES
RESIDENTIAL (APARTMENTS) - (6) 2-BEDROOM UNITS AT 1.0 SPACES PER UNIT	-	-	-	7.00 SPACES
CENTER TOTAL PARKING	-	-	-	58.29 SPACES
EDGE	-	-	-	-
RESIDENTIAL (TOWNHOMES STYLE) - (6) UNITS AT 2.0 SPACES PER UNIT	-	-	-	12.00 SPACES
RESIDENTIAL (APARTMENTS) - (3) STUDIO UNITS AT 1.0 SPACES PER UNIT	-	-	-	3.00 SPACES
RESIDENTIAL (APARTMENTS) - (2) 1-BEDROOM UNITS AT 1.5 SPACES PER UNIT	-	-	-	3.00 SPACES
RESIDENTIAL (APARTMENTS) - (1) 2-BEDROOM UNITS AT 1.5 SPACES PER UNIT	-	-	-	1.50 SPACES
EDGE TOTAL PARKING	-	-	-	19.50 SPACES

GARAGE PARKING	PROVIDED		REQUIRED	
	ON-STREET PARALLEL PARKING	INDOOR	ON-STREET PARALLEL PARKING	INDOOR
	77 SPACES	16 SPACES	-	-
GRAND TOTAL PARKING	91 SPACES	16 SPACES	77.79 SPACES (78)	-
SUPPLEMENTAL PARKING DATA	PROVIDED	REQUIRED		
BIKE RACK PARKING	20 SPACES (10 RACKS)	20 SPACES (MAX PER 155.5102(1.1))	-	-

OPEN SPACE REQUIREMENTS

PUBLIC OPEN SPACE (OVERALL SITE)	PROVIDED		REQUIRED	
	AREA	%	AREA	%
PRIVATE OPEN SPACE (OVERALL SITE) 10% (MIN.) OF SITE AREA EXCLUDING TOWNHOME AREAS (46,914 SF)	3,569 SF	41.8% (16,552 SF)	-	10% MIN. (4,691 SF)

TRASH VEHICLE DETAILS:



STEVEN L. COHEN AND ASSOCIATES, P.A.
ARCHITECTS - INTERIOR DESIGNERS
5295 TOWN CENTER RD SUITE 202
BOCA RATON, FLORIDA 33486
PHONE (954) 971-1010

1207 EAST ATLANTIC MIXED-USE PROJECT

1207 EAST ATLANTIC BLVD, POMPANO BEACH, FL 33060

Revisions:
1 12/7/22 DRC COMMENTS
2 02/7/23 DRC COMMENTS

Date: 10/13/22
Principal: SC
Project Manager: SY
Drawn by: JQ

Drawing Name: PROPOSED SITE PLAN
Drawing No:
Total Sheets: 10
Issue Date: 07/26/2023

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07/26/2023
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