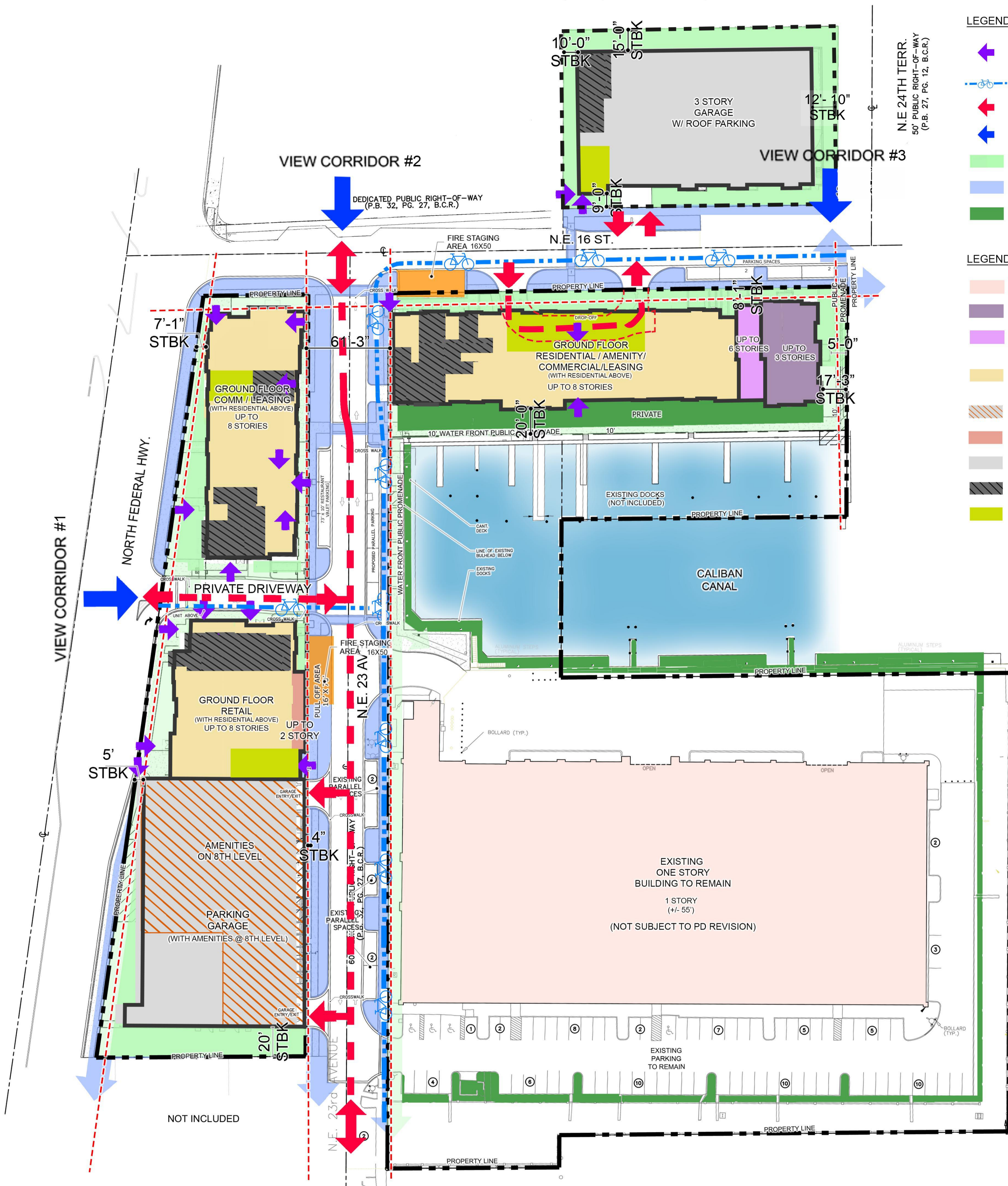


(P.B. 27/12, B.C.R.)



N.E. 24TH TERR.  
50' PUBLIC RIGHT-OF-WAY  
(P.B. 27, PG. 12, B.C.R.)

- LEGEND ACCESSES**
- POTENTIAL PEDESTRIAN ACCESS POINTS TO BUILDINGS
  - BICYCLE CIRCULATION
  - VEHICULAR ACCESS TO SITE & GARAGE
  - VIEW CORRIDORS
  - ACTIVE OPEN SPACE (PRIVATE)
  - ACTIVE OPEN SPACE (PUBLIC)
  - PASSIVE OPEN SPACE (PRIVATE)

- LEGEND AREAS**
- EXISTING BUILDING (BOAT STORAGE FACILITY)
  - UP TO 3 STORIES - ALL RESIDENTIAL
  - UP TO 6 STORIES - ALL RESIDENTIAL
  - UP TO 8 STORIES - GROUND FLOOR RESIDENTIAL/ AMENITY / COMMERCIAL & RETAIL WITH RESIDENTIAL ABOVE
  - ROOFTOP AMENITIES ON 8TH LEVEL
  - UP TO 2 STORY - GROUND FLOOR RETAIL
  - GARAGE
  - BACK OF HOUSE / MEP/ SERVICE AREAS
  - LOBBY

CONSOLIDATED USE TABLE			
Use Category	Use Type	Permitted	Use-Specific Standards
Household Living Uses	Dwelling, live/work	P	155.4202.A
	Dwelling, multifamily	P	155.4202.C
	Dwelling, mixed-use	P	155.4202.G
Communication Uses	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	155.4204.C 155.4204.D
	Child Care Facility	P/A	155.4206.B
Health Care Uses	Medical office	P	155.4209.A
	Specialty medical facility	P	155.4209.B
	Urgent care facility 24 hours	P	155.4209.C
Open Space Uses	Park or plaza	P/A	155.4210.D
Animal Care Uses	Animal grooming	P	155.4214.A
	Pet shop	P	155.4214.E
Boat and Marine Sales and Service Uses	Boat dry storage facility	P/A	155.4215.B
	Boat or marine parts sales without installation	P/A	155.4215.C
	Boat or marine parts sales with installation	P/A	155.4215.D
	Boat or marine repair and servicing	P/A	155.4215.E
	Boat sales or rental	P/A	155.4215.F
	Boat towing service	P/A	155.4215.G
	Docking facility, barge	P/A	155.4215.H
	Docking facility, commercial fishing boat	P/A	155.4215.I
	Docking facility, recreational boat	P/A	155.4215.J
	Marina	P/A	155.4215.K
	Yacht Club	P	155.4215.L
Commercial or Membership Recreation/ Entertainment Uses	Other indoor commercial or membership recreation/ entertainment use	P/A	155.4217.M
Eating and Drinking Establishments	Bar or lounge	P/A	155.4218.A
	Brewpub	P/A	155.4218.B
	Restaurant	P/A	155.4218.E
	Specialty eating or drinking establishment	P/A	155.4218.F
Office Uses	Professional office	P	155.4220.B
Retail Sales and Service Uses - Personal Services	Bank or financial institution	P	155.4221.C
	Personal services establishment	P	155.4221.K
	Book or media shop	P	155.4222.D
	Grocery or convenience store	P/A	155.4222.F
	Drug store or pharmacy	P	155.4222.G
	Farmers' market	P	155.4222.H
	Beer or wine store	P	155.4222.M
	Retail sales establishment, large	P	155.4222.P
	Other retail sales establishment	P	155.4222.R
	Visitor Accommodation Uses	Condo hotel	P
Bed and breakfast inn		P	155.4225.B
Hotel or motel		P	155.4225.C
Typical Accessory Uses and Structures	Dock	A	155.4303.H
	Drop-in child care	A	155.4303.J
	Electric vehicle (EV) level 1, 2, or 3 charging station	A	155.4303.K / 155.4303.L
	Fence or wall	A	155.4303.O
	Green roof	A	155.4303.R
	Home based business	A	155.4303.S
	Outdoor display of merchandise	A	155.4303.U
	Outdoor seating, including sidewalk cafes (as accessory to eating and drinking establishments)	A	155.4303.V
	Parking or storage of motor vehicles, recreational vehicles, boats, airboats, or trailers	A	155.4303.X
	Rainwater cistern or barrel	A	155.4303.Z
	Retail sales (as accessory uses)	A	155.4303.BB
	Small wind energy system	A	155.4303.DD
	Solar energy collection system	A	155.4303.EE
	Swimming pool or spa or hot tub	A	155.4303.GG
	Mechanical Equipment and similar features	A	155.4303.JJ
Uncovered porches, decks, patios, terraces, or walkways	A	155.4303.KK	
Lighting fixtures, projecting or freestanding	A	155.4303.MM	
Eating and drinking establishments (as an accessory use)	A	155.4303.PP	
Farmer's market (as a temporary use)	T	155.4403.A	

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

**HARBORSIDE AT HIDDEN HARBOUR**  
 FOR: AMP IV-HIDDEN HARBOUR, LLC  
 LOCATED AT: POMPANO BEACH, FLORIDA

BEATRIZ M. HERNANDEZ  
 AR0094576

**MSA ARCHITECTS, INC.**  
 AAC000895  
 8850 SW 74th COURT  
 MIAMI, FLORIDA 33156  
 (305) 273-9911

**ARCHITECTURE & PLANNING**

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PD I MASTER PLAN  
SCALE: 1" = 40'

**P&Z**  
 DRAWN: -/-/  
 DATE: -/-/  
 SCALE: AS SHOWN  
 JOB NO. 1828  
 SHEET TITLE: MASTER SITE PLAN  
 SHEET NUMBER: E1  
 EX: E1  
 PZ21-13000006  
 1/26/2022



TABLE I LAND USE PLAN LIMITS	
Area 1	Marina Use (including boat storage, boat repair, and slips): 75,000 square feet and 15 wet slips
Area 2	Private Park (Open to Public) / Parking
Area 3	Multi-Family Residential: 300 units Commercial Development (including, but not limited to, boat sales, offices, showrooms, and related uses): 510,000 square feet

TABLE II Type and Mix of Uses	
Residential	Up to 300 Units Max.
Commercial	Minimum of 65,000 square feet, including a minimum of 10,000 square feet of commercial uses vertically integrated in a mixed-use building fronting on Federal Highway
Total Floor Area	Maximum of 650,000 square feet

TABLE IV Intensity and Dimensional Standards		
i. Land area (acres)		
Gross Acres (to CL of ROW - to calc. for density)	9.96 Acres	
Gross Acres (including basin for park)	6.90 Acres	
Estimated Net Acres (upland area that excludes basin)	6.5 Acres	
ii. Type and mix of land uses*		
Multi-Family Residential	300 Units max.	
Commercial Development (including but not limited to: Boat sale, showrooms and related uses)	10,000 to 510,000 SQ.FT.	
Marine Use (including: Boat storage, boat repair and slips)	10,000 to 75,000 SQ. FT./ 15 Slips	
*Refer to table III for list of additional approved Type of Uses		
iii. Maximum number of residential units/ Unit Square Footage Size (SF)		
	300 du's max	
	min	max
1 Bedroom (multi-family)	580 SQFT	800 SF
2 Bedroom (multi-family)	850 SQFT	1175 SF
3 Bedroom (multi-family)	1,180 SQFT	1,350 SF
iv. Maximum Commercial -Nonresidential floor area* (Exclusive of Garage)		
Maximum Marina	75,000 SQ. FT., 15 Slips	
Minority/ Marina Use	Min. of 10% of total floor area	
*Min. 10,000 SQ. FT. of Commercial Use to be vertically integrated into mixed use building		
v. Minimum Lot Area	10,000 SQ. FT.	
vi. Minimum Lot Width	100 FT. FRONTAGE	
vii. Minimum Pervious (Calc. based on Net Acres)	20% (1.27 Acres)	
viii. Maximum Impervious area (Calc. based on Net Acres)	80% (5.23 Acres)	
ix.. Max. Building height	100 ft to 150 ft. Not to Exceed Airport Air Space Max. Height (See Exhibit K)	
x. Max. Individual building size		
Fronting Federal Highway (West of NE 23 <sup>rd</sup> Ave)	8 Stories Not to Exceed Airport Air Space Max. Height Limits (See Exhibit K)	
Fronting NE 16 <sup>th</sup> ST (East of NE 23 <sup>rd</sup> Ave)	3 Stories (35'-0") within first 50'-0" and no less than 10' of east property line / Adjacent to residential.	
	6 Stories no less than 50'-0" of East Property Line / Adjacent to residential.	
	8 Stories no less than 75'-0" of East Property Line / Adjacent to residential.	
Fronting NE 23 <sup>rd</sup> Ave (South of Caliban Canal)	Existing 1 Story Dry Boat Storage Facility to remain	

TABLE IV Intensity and Dimensional Standards			
ix. Setbacks	Min.	Max.	
North – Along North Property Lines			
Along NE 16th St.	7'-0"	63'-0"	
To 3 Story Garage	15'-0"	20'-0"	
East– Along East Property Lines			
To existing Dry Boat Storage facility	59'-0"	61'-0"	
Up to 3 Stories Residential	10'-0"	15'-0"	
Up to 6 Stories Residential	50'-0"	None	
Up to 8 Stories Residential	75'-0"	None	
Along 24th Terr to 3 Story Garage	12'-0"	20'-0"	
West– Along West Property Lines			
Along Federal Highway	5'-0"	30'-0"	
To 3 story Garage	10'-0"	20'-0"	
South Along South Property Lines			
To existing Dry Boat Storage Facility	91'-0"	95'-0"	
To 8 story Parking Garage	20'-0"	20'-0"	
Residential building to Face of bulkhead nose (Caliban Canal)	20'-0"	31'-0"	
Face of bulkhead nose to Property line	20'-0"	57'-0"	
To 3 story Garage	9'-0"	20'-0"	
East & West of N.E. 23Rd Ave	0'-0"	10'-0"	
Note: All Buildings' porches, stoops and balconies can project up to 7'-0" into setback or up to ROW Line whichever is less			
Additional Development Standards			
Access and Circulation	As provided in Article 5: Development Standards as provided in Deviations/ Modifications Table V		
Off-Street parking & loading	As provided in Master Parking Table VI		
Landscaping	As provided in Article 5: Development Standards as provided in Deviations/ Modifications Table V		
Tree Preservation			
Screening			
Fences and Walls			
Exterior Lighting			
Commercial and mixed-use design	As provided in Article 5: Development Standards		
Sustainable Design	As provided in Section II.A.10 of PD-I Application		
Signage	As provided in Chapter 156. Sign Code		

Table VI Master Parking Plan		
Type	Required	
Dwelling, Multi-Family	1 BD	1 Space/ du
	2 BD	2 Spaces/ du
	3 BD	2 Spaces/ du
Guest parking	10% of provided parking	
Handicap Parking	As provided in Article 5-ADA: 2% of total parking	
Restaurant	1 sp/ 4 seats	
Marine Showroom	1 sp / 500 sf	
Marine Retail	1 sp/ 300 sf	
<i>All other Uses as provided by in Table 155.5102.D.I. Minimum Number of Off-Street Parking spaces</i>		
<i>On street parallel parking stall size: 10'x26'</i>		

TABLE V Deviations/ Modifications				
Type	Code Section	Description	Modification	Justification
Building Base Planting Standards	155.5203.e.3.a	Required shrubs shall be planted within three feet of the base of the building. If a street sidewalk is located between the base of the building and the street, required shrubs may be planted up to 15 feet from the base of the building.	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.
Access, circulation, parking & loading Driving Aisle	155.5102.1.1	Required Aisle Width Dimensions 23'	22 FT.	To accommodate proposed site design and more efficient traffic circulation in garage.
Vehicle stacking	155.5101.G.8.B	Parking lot Entrance driveways	Min. 30 FT. stacking distance for 500 or more off-street spaces (as measured from ROW line)	To accommodate proposed site design for vehicular access.
Dwelling, Multi-Family Parking	155.5102.D.I	For Units on 2 <sup>nd</sup> floor or higher of a building with non-residential use located on ground level: 1 space per Dwelling Unit (du)	None	Due to Urban Mixed-Use Settings parking demand shall be less.
		1-2 BD 1.5 Space	1 BD 1 Space	
		All other MF 3 BD 2 Spaces	2-3 BD 2 Spaces	Guest: 10% of Provided Parking
Landscape between Vehicular Use Areas and Buildings	155.5203.D.5.A	Minimum landscaped area shall be eight feet for each story in the abutting building façade, up to 24 feet	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.
Required Buffer Types and Standards	155.5203.F3	Option 1: At Least 10' wide  A wall or semi-opaque fence at least 6 feet high  1 Tree per 30 linear feet + a continuous hedge at least 4 feet high on the exterior side of the wall or fence  1 shrub per 10 linear feet on the interior side of the wall or fence	Option 1: At Least 10' wide  A wall or semi-opaque fence at least 6 feet high  A continuous hedge at least 4 feet high on the interior side of the wall or fence	To accommodate proposed setbacks per Table IV Intensity and Dimensional Standards
Parking deck or Garage Standards	155.5605.c.1.d	The exposed top level of a parking structure shall be covered a minimum of 60% with a shade producing structure such as, but not limited to, a vined pergola or retractable canvas shade structure.	15% Min.	No Building shall be high enough to see top of garage.
Parking deck or Garage Standards	155.5605.c.3	If the deck or garage is accessed from a street, there shall be only one point of access to the garage area from that street.	Two (2) Points of Access	More Efficient Traffic Circulation for Residents and Commercial use respectively.

ARCHITECT'S BUILDING CODE STATEMENT/ TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

HARBORSIDE AT HIDDEN HARBOUR  
FOR: AMP IV-HIDDEN HARBOUR, LLC  
LOCATED AT: POMPANO BEACH, FLORIDA

MSA ARCHITECTS, INC.  
AAC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
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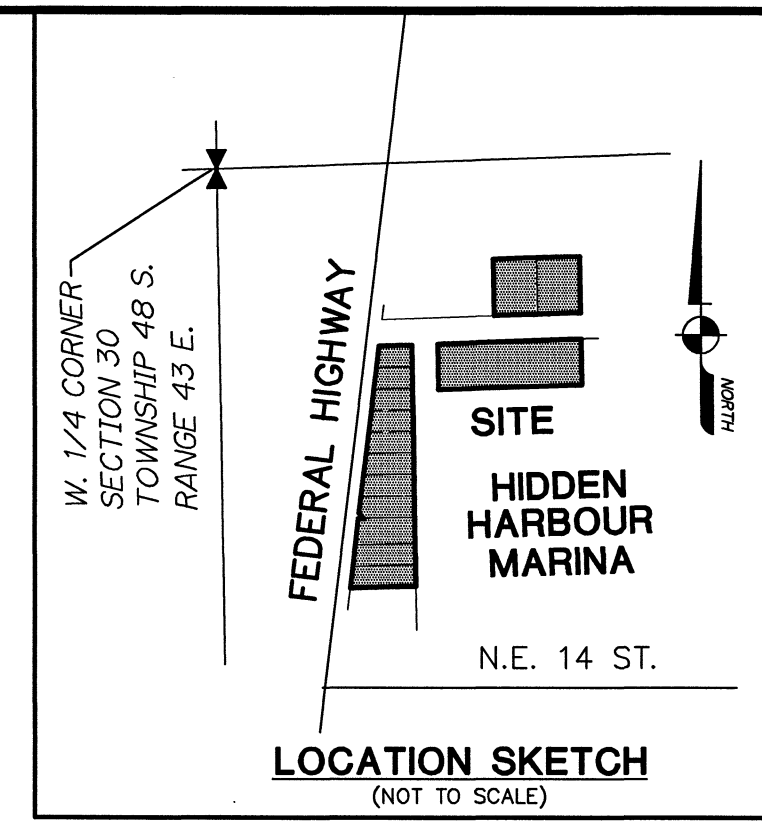
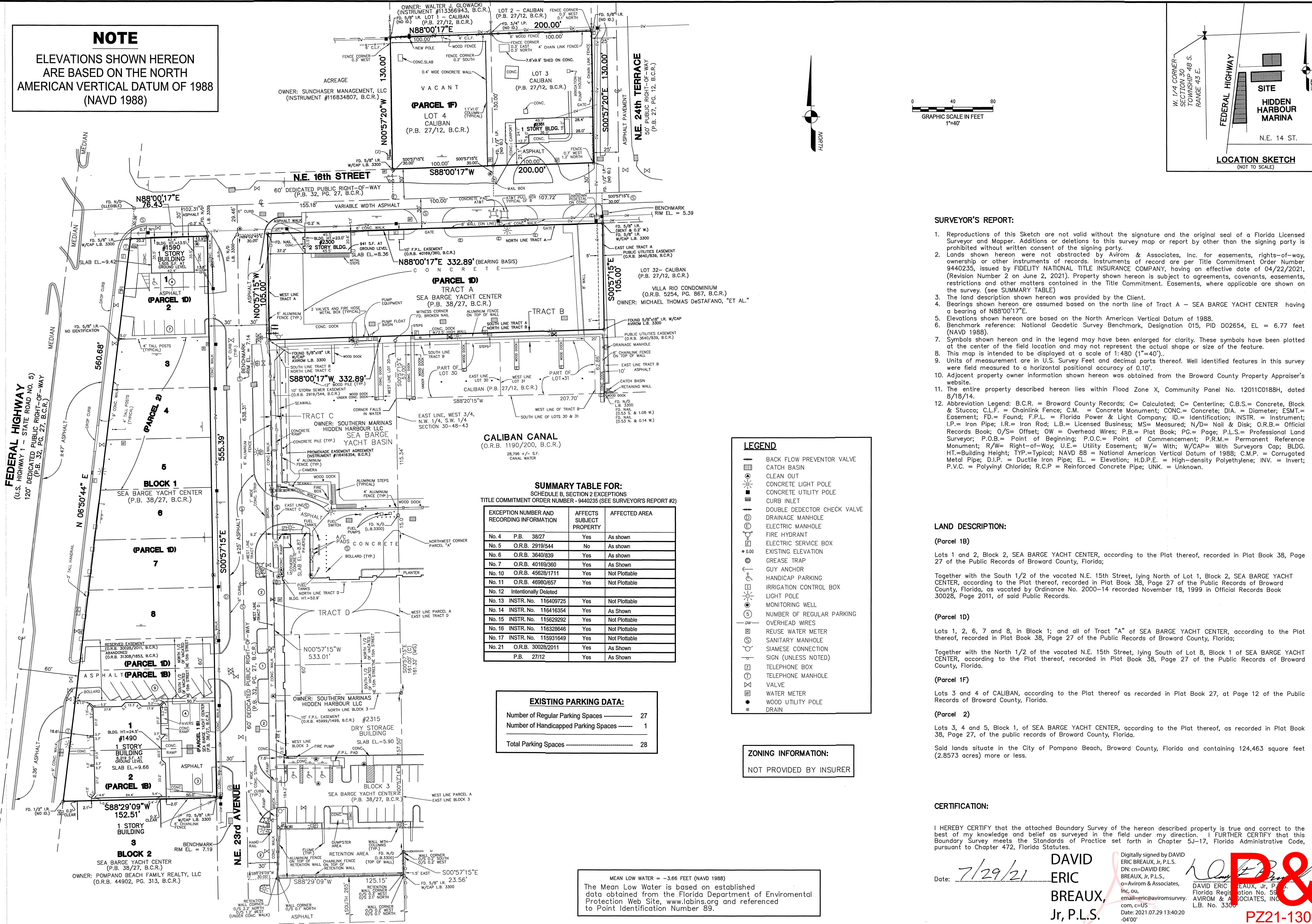
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DATE: -/-/  
SCALE: AS SHOWN  
JOB NO. 1828  
SHEET TITLE: MASTER SITE PLAN  
SHEET NUMBER: EX-E2

P&Z  
PZ21-13000006  
1/26/2022

PD I MASTER PLAN



**NOTE**  
ELEVATIONS SHOWN HEREON  
ARE BASED ON THE NORTH  
AMERICAN VERTICAL DATUM OF 1988  
(NAVD 1988)



**SURVEYOR'S REPORT:**

1. Reproductions of this Sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. Lands shown hereon were not abstracted by Avrom & Associates, Inc. for easements, rights-of-way, ownership or other instruments of records. Instruments of record are per Title Commitment Order Number 9440235, issued by FIDELITY NATIONAL TITLE INSURANCE COMPANY, having an effective date of 04/22/2021, (Revision Number 2 on June 2, 2021). Property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment. Easements, where applicable are shown on the survey. (see SUMMARY TABLE)
3. The land description shown hereon was provided by the Client.
4. Bearings shown hereon are assumed based on the north line of Tract A - SEA BARGE YACHT CENTER having a bearing of N88°00'17"E.
5. Elevations shown hereon are based on the North American Vertical Datum of 1988.
6. Benchmark reference: National Geodetic Survey Benchmark, Designation 015, PID D02654, EL = 6.77 feet (NAVD 1988).
7. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
8. This map is intended to be displayed at a scale of 1:480 (1"=40').
9. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
10. Adjacent property owner information shown hereon was obtained from the Broward County Property Appraiser's website.
11. The entire property described hereon lies within Flood Zone X, Community Panel No. 12011C0188H, dated 8/18/14.
12. Abbreviation Legend: B.C.R. = Broward County Records; C = Calculated; C.M. = Concrete Monument; C.B.S. = Concrete, Block & Stucco; C.L.F. = Chainlink Fence; C.M. = Concrete Monument; CONC. = Concrete; DIA. = Diameter; ESMT. = Easement; FD. = Found; F.P.L. = Florida Power & Light Company; ID. = Identification; INSTR. = Instrument; I.P. = Iron Pipe; I.R. = Iron Rod; L.B. = Licensed Business; MS = Measured; N/D = Nail & Disk; O.R.B. = Official Records Book; O/S = Offset; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; P.R.M. = Permanent Reference Monument; R/W = Right-of-Way; U.E. = Utility Easement; W/ = With; W/CAP. = With Surveyors Cap; BLDG. = Building Height; TYP. = Typical; NAVD 88 = National American Vertical Datum of 1988; C.M.P. = Corrugated Metal Pipe; D.I.P. = Ductile Iron Pipe; EL. = Elevation; H.D.P.E. = High-density Polyethylene; INV. = Invert; P.V.C. = Polyvinyl Chloride; R.C.P. = Reinforced Concrete Pipe; UNK. = Unknown.

**LEGEND**

- BACK FLOW PREVENTOR VALVE
- CATCH BASIN
- CLEAN OUT
- CONCRETE LIGHT POLE
- CONCRETE UTILITY POLE
- CURB INLET
- DOUBLE DETECTOR CHECK VALVE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- FIRE HYDRANT
- ELECTRIC SERVICE BOX
- EXISTING ELEVATION
- GREASE TRAP
- GUY ANCHOR
- HANDICAP PARKING
- IRRIGATION CONTROL BOX
- LIGHT POLE
- MONITORING WELL
- NUMBER OF REGULAR PARKING
- OVERHEAD WIRES
- REUSE WATER METER
- SANITARY MANHOLE
- SIAMENSE CONNECTION
- SIGN (UNLESS NOTED)
- TELEPHONE BOX
- TELEPHONE MANHOLE
- VALVE
- WATER METER
- WOOD UTILITY POLE
- DRAIN

**SUMMARY TABLE FOR:**  
SCHEDULE B, SECTION 2 EXCEPTIONS  
TITLE COMMITMENT ORDER NUMBER - 9440235 (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 4 P.B. 38/27	Yes	As shown
No. 5 O.R.B. 2919/544	No	As shown
No. 6 O.R.B. 3640/839	Yes	As shown
No. 7 O.R.B. 40169/360	Yes	As shown
No. 10 O.R.B. 45628/1711	Yes	Not Plottable
No. 11 O.R.B. 46980/657	Yes	Not Plottable
No. 12 Intentionally Deleted		
No. 13 INSTR. No. 116409725	Yes	Not Plottable
No. 14 INSTR. No. 116416354	Yes	As Shown
No. 15 INSTR. No. 115629292	Yes	Not Plottable
No. 16 INSTR. No. 116328648	Yes	Not Plottable
No. 17 INSTR. No. 115931649	Yes	Not Plottable
No. 21 O.R.B. 30028/2011	Yes	As Shown
P.B. 27/12	Yes	As Shown

**EXISTING PARKING DATA:**

Number of Regular Parking Spaces	27
Number of Handicapped Parking Spaces	1
<b>Total Parking Spaces</b>	<b>28</b>

**ZONING INFORMATION:**  
NOT PROVIDED BY INSURER

**LAND DESCRIPTION:**

**(Parcel 1B)**  
Lots 1 and 2, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida;

Together with the South 1/2 of the vacated N.E. 15th Street, lying North of Lot 1, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida, as vacated by Ordinance No. 2000-14 recorded November 18, 1999 in Official Records Book 30028, Page 2011, of said Public Records.

**(Parcel 1D)**  
Lots 1, 2, 6, 7 and 8, in Block 1; and all of Tract "A" of SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida;

Together with the North 1/2 of the vacated N.E. 15th Street, lying South of Lot 8, Block 1 of SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida.

**(Parcel 1F)**  
Lots 3 and 4 of CALIBAN, according to the Plat thereof as recorded in Plat Book 27, at Page 12 of the Public Records of Broward County, Florida.

**(Parcel 2)**  
Lots 3, 4 and 5, Block 1, of SEA BARGE YACHT CENTER, according to the Plat thereof, as recorded in Plat Book 38, Page 27, of the public records of Broward County, Florida.

Said lands situate in the City of Pompano Beach, Broward County, Florida and containing 124,463 square feet (2.8573 acres) more or less.

**CERTIFICATION:**

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 50-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 7/29/21  
DAVID ERIC BREAUX, Jr., P.L.S.  
ERIC BREAUX, Jr., P.L.S.  
DAVID ERIC BREAUX, Jr., P.L.S.  
Florida Registration No. 559  
AVIROM & ASSOCIATES, INC.  
L.B. No. 3300  
Date: 2021.07.29 13:40:20  
-0400'

MEAN LOW WATER = -3.66 FEET (NAVD 1988)  
The Mean Low Water is based on established data obtained from the Florida Department of Environmental Protection Web Site, www.flbins.org and referenced to Point Identification Number 89.

**AVIROM & ASSOCIATES, INC.**  
SURVEYING & MAPPING  
60 S.W. 2nd AVENUE, SUITE 102  
BOCA RATON, FLORIDA 33432  
(561) 392-2864 / www.AVIROMSURVEY.COM  
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**BOUNDARY SURVEY**  
"HIDDEN HARBOUR MARINA"  
A PORTION OF SEA BARGE YACHT CENTER (P.B. 38/27, B.C.R.)  
LOTS 3 AND 4 - CALIBAN (P.B. 27/12, B.C.R.)  
"RESIDENTIAL LAND"  
CITY OF POMPAÑO BEACH  
BROWARD COUNTY, FLORIDA

DATE: 7/29/21  
BY: DAVID ERIC BREAUX, JR.  
JOB NO.: 2021-07-29  
SHEET: 1 OF 1

1"=40'  
DATE: 7/29/21  
BY: DAVID ERIC BREAUX, JR.  
JOB NO.: 2021-07-29  
SHEET: 1 OF 1

PZ21-1300096  
1/26/2022  
7184-34









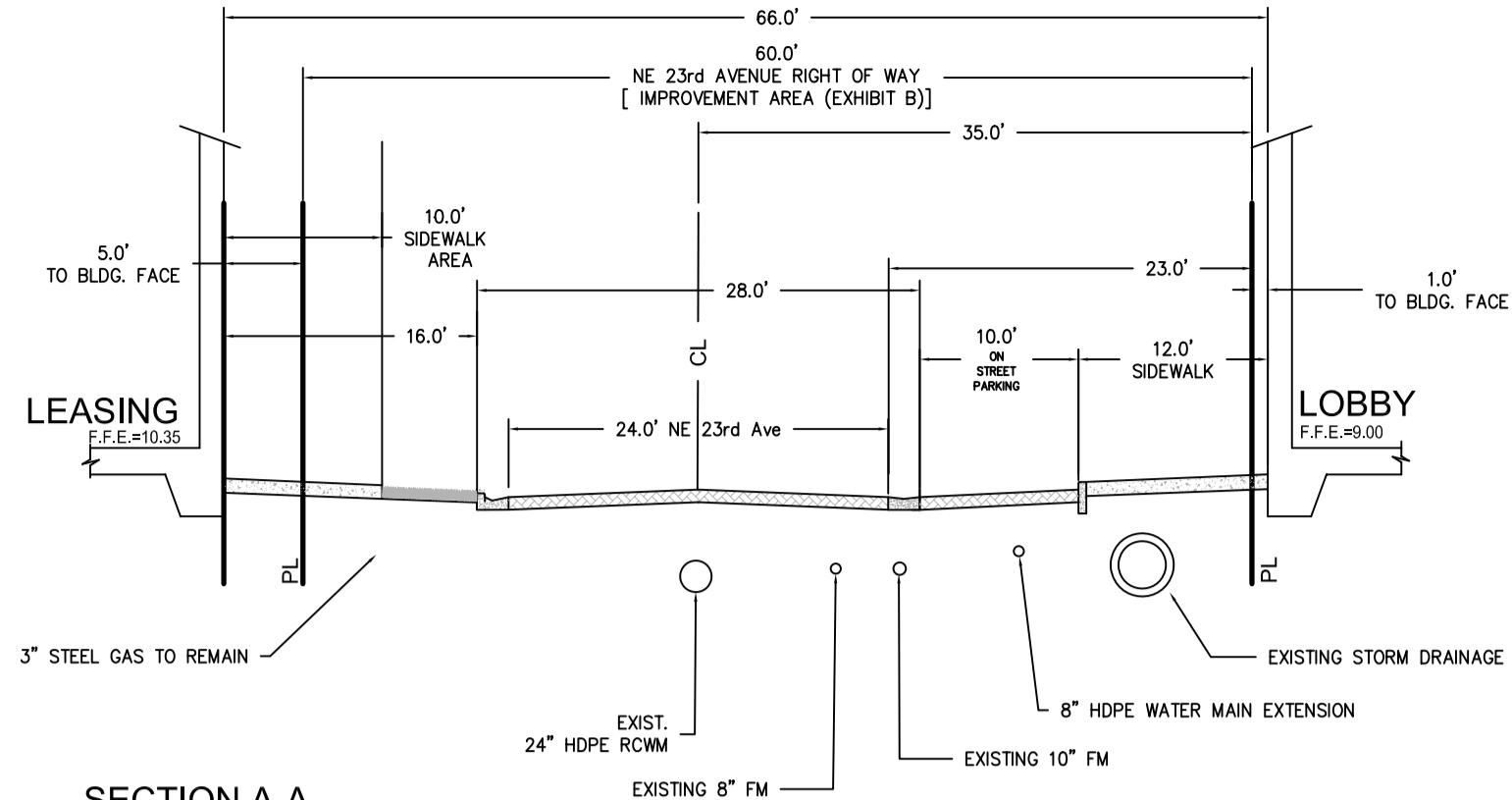




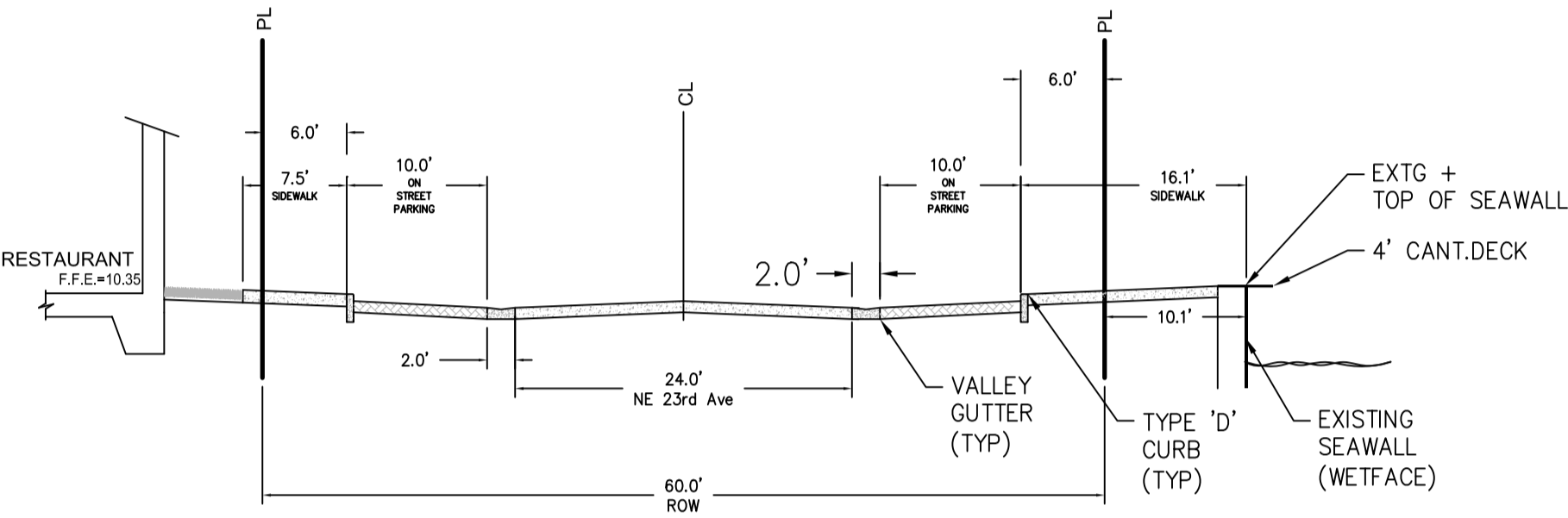








SECTION A-A  
N.T.S.



SECTION B-B  
N.T.S.

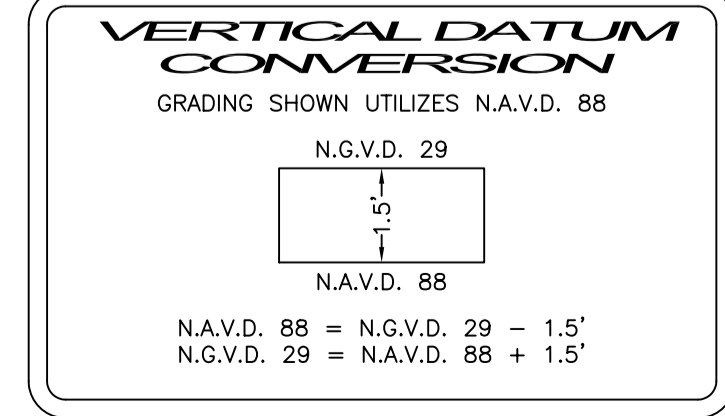
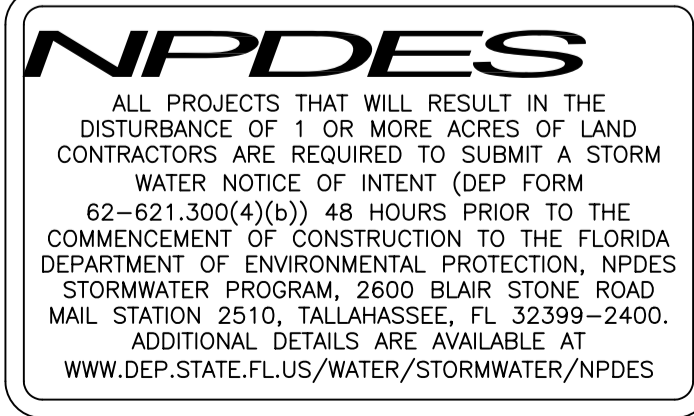
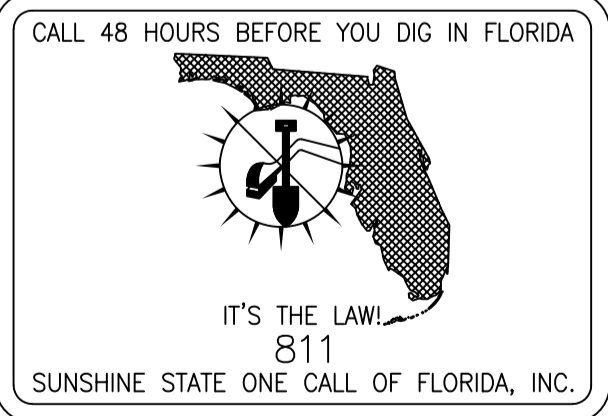
**GRADING AND DRAINAGE NOTES:**

1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/ FINISHED GRADE.
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STRUCTURE CATEGORY II, MINIMUM FFE = BFE+1  
 FLOOD ZONE "X" ELEV N/A NAVD ON FIRM MAP #12011C0188H, DATE AUGUST 18, 2014  
 BROWARD COUNTY 100 YEAR  
 3 DAY CONTOUR = ELEV. 5.50 NAVD  
 AVERAGE WET SEASON  
 WATER LEVEL = ELEV. 1.50 NAVD

**LEGEND:**

- PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- ▭ PROPOSED CATCH BASIN
- ▭ PROPOSED PLUG
- ⊥ TEE
- ⊕ WATER METER
- ⊕ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊕ REDUCED PRESSURE BACKFLOW PREVENTOR
- ➔ DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- W - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMISE CONNECTION
- ⊕ CLEANOUT
- ▭ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- ➔ DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED



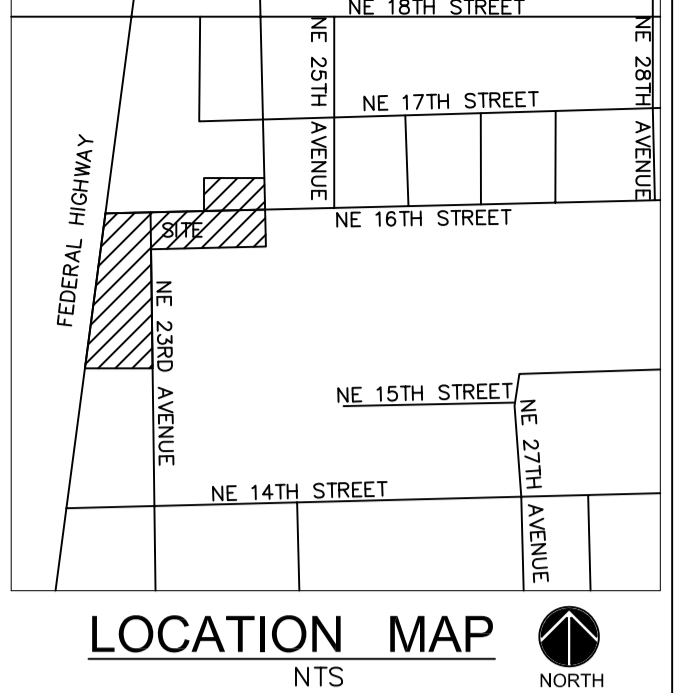
REFER TO LANDSCAPE PLANS FOR LIMITS AND DETAILS OF SILVA CELL

THE EXISTING ROADWAY WITHIN THE PROJECT LIMITS AND POSSIBLY BEYOND WILL BE INSPECTED BY THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR A DESIGNATED REPRESENTATIVE FOR DAMAGE DUE TO CONSTRUCTION PRIOR TO FINAL ACCEPTANCE. A PARTIAL OR FULL MILLING AND OVERLAY OF THE ROADWAYS MAY BE REQUIRED.

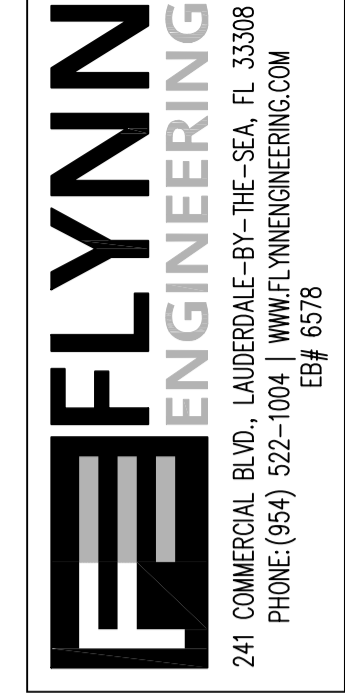
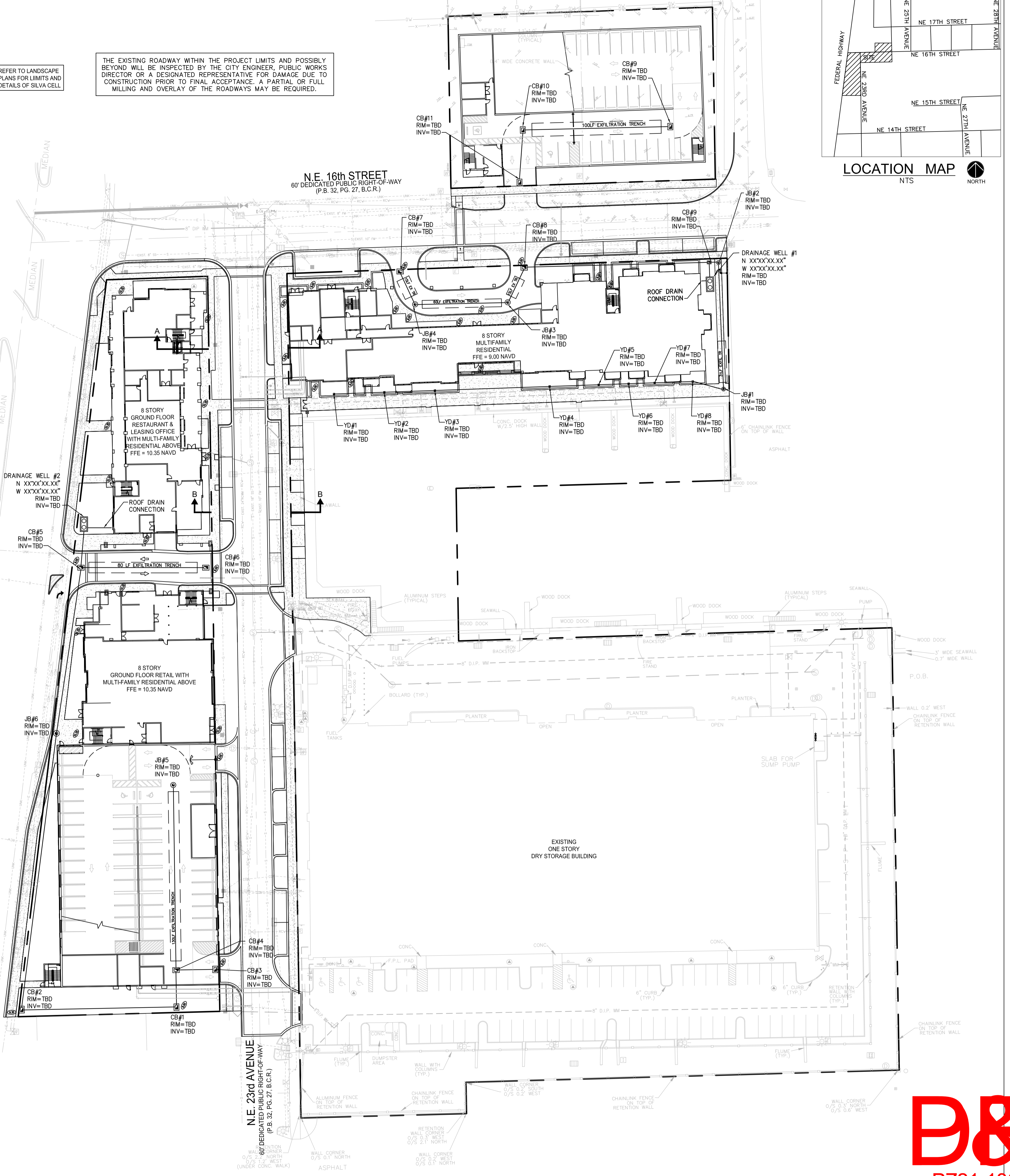
FEDERAL HIGHWAY  
 (U.S. HIGHWAY 1 - STATE ROAD NO. 5)  
 120' DEDICATED PUBLIC RIGHT-OF-WAY  
 (P.B. 32, PG. 27, B.C.R.)

N.E. 16th STREET  
 60' DEDICATED PUBLIC RIGHT-OF-WAY  
 (P.B. 32, PG. 27, B.C.R.)

N.E. 23rd AVENUE  
 60' DEDICATED PUBLIC RIGHT-OF-WAY  
 (P.B. 32, PG. 27, B.C.R.)



LOCATION MAP  
N.T.S.



CONCEPTUAL  
 PAVING, GRADING  
 & DRAINAGE PLAN

HIDDEN HARBOUR  
 POMPANO BEACH, FLORIDA 33062



Revisions

No.	Description	Date

Phase:  
 DRC  
 DOCUMENTS

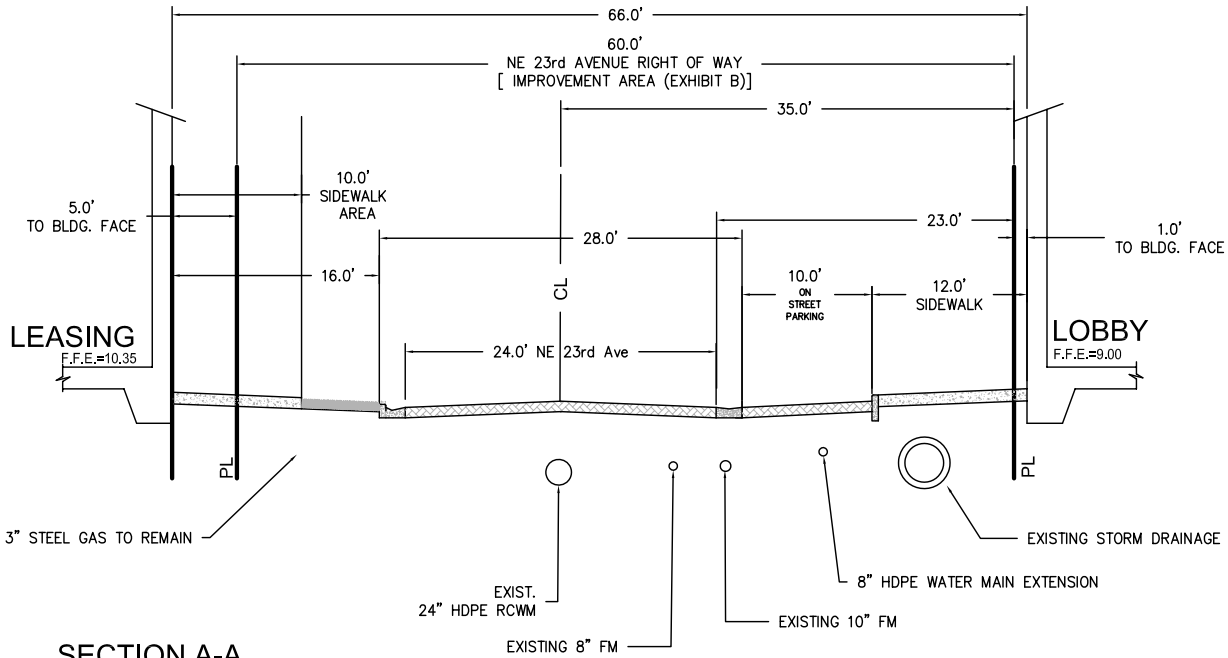
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No.	Date

**DRC**  
 PZ21-1300006  
 1/20/2021

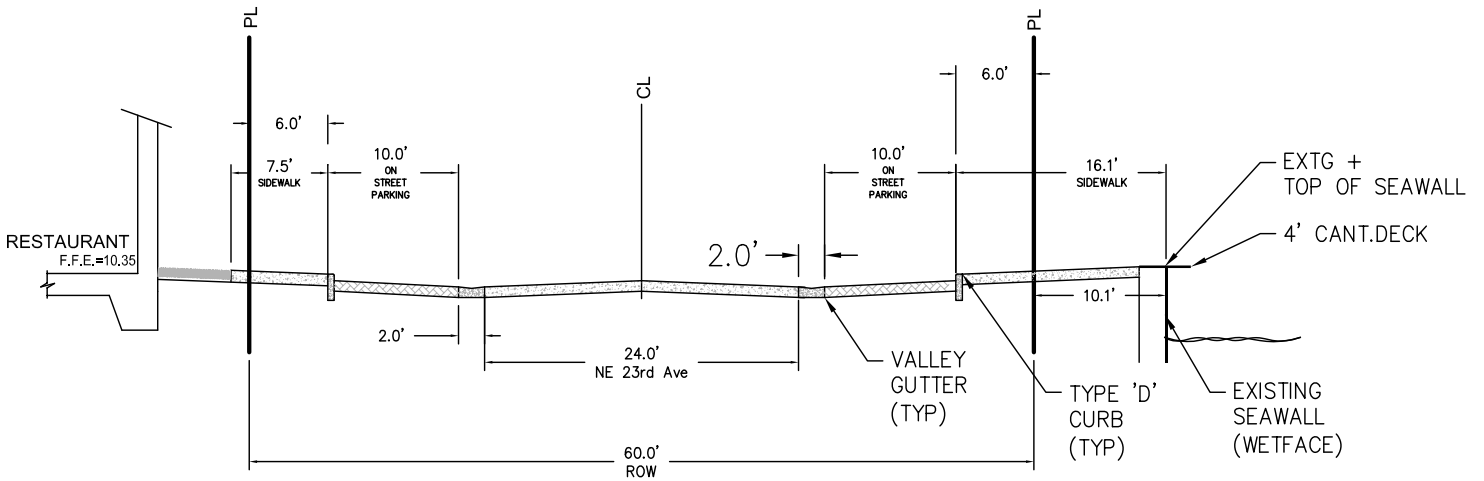
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**SECTION A-A**

N.T.S.

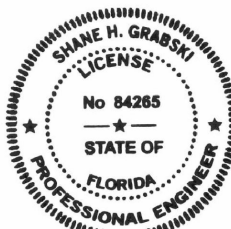


**SECTION B-B**

N.T.S.

Shane H. Grabski

**PROTECTED**

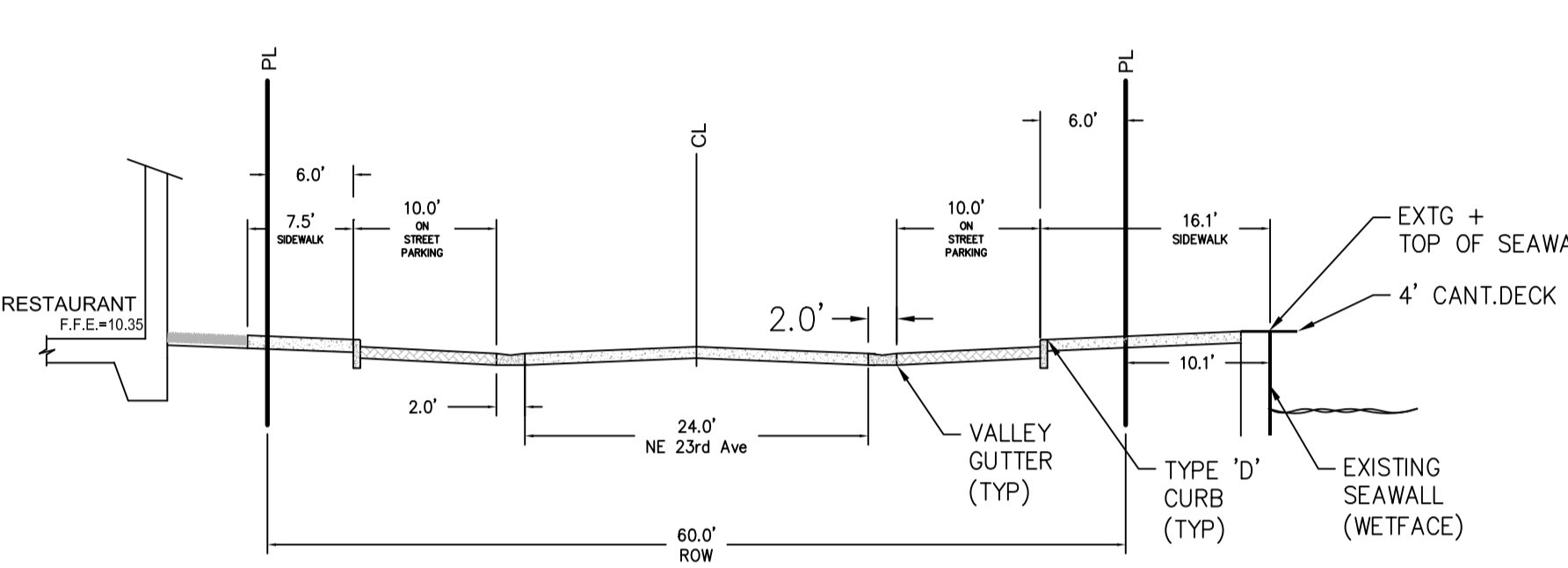
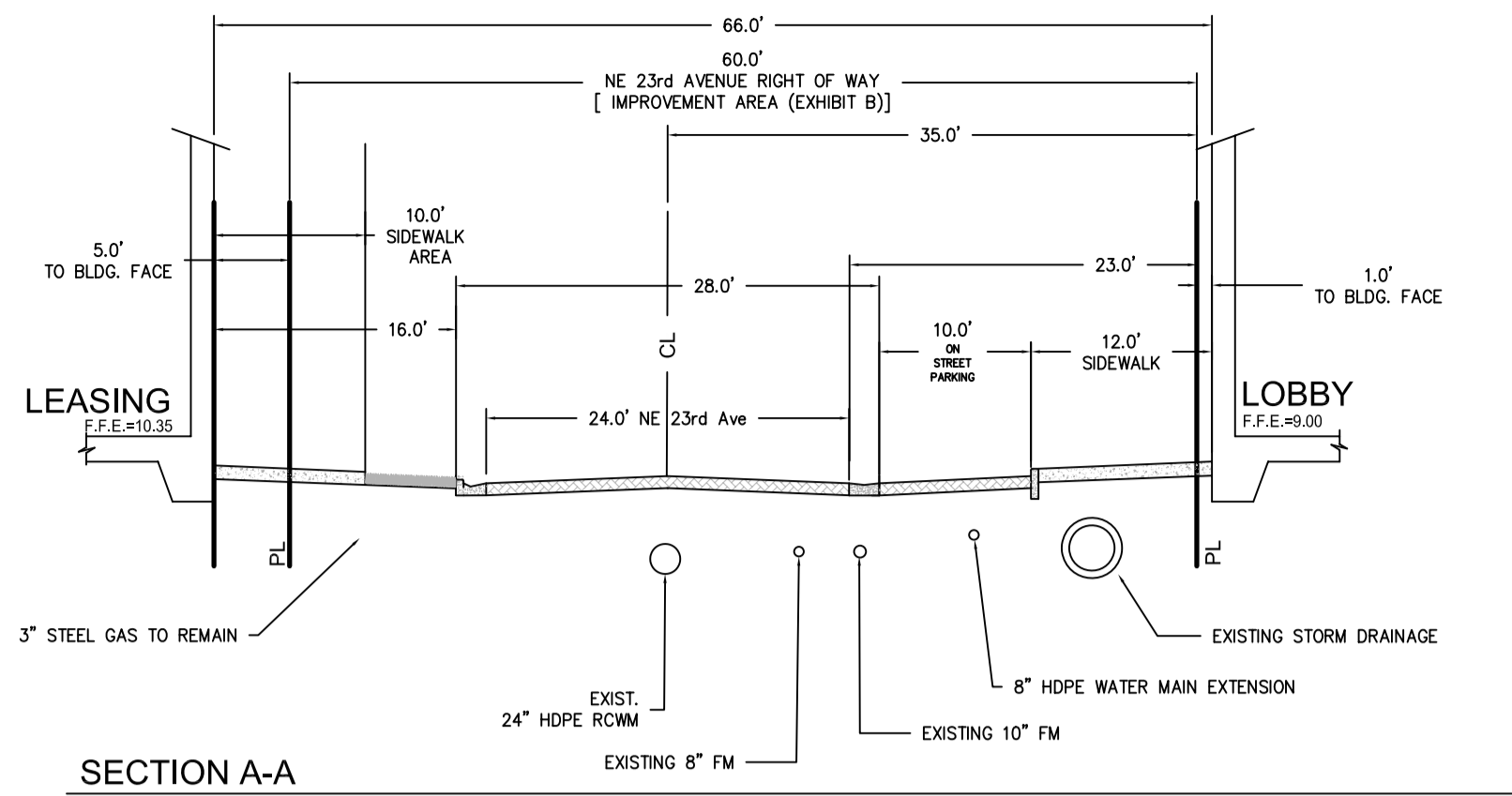


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6





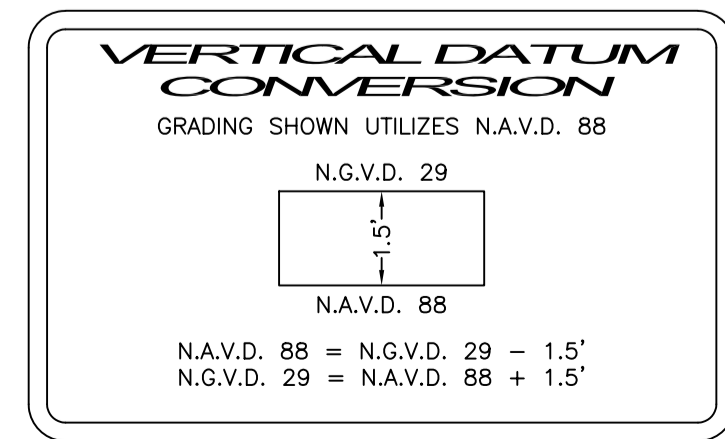
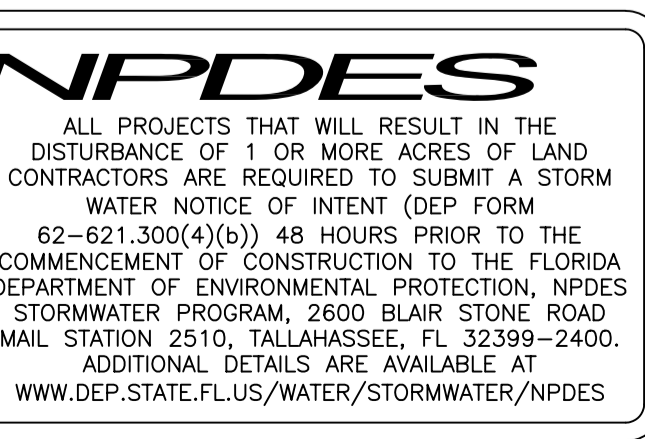
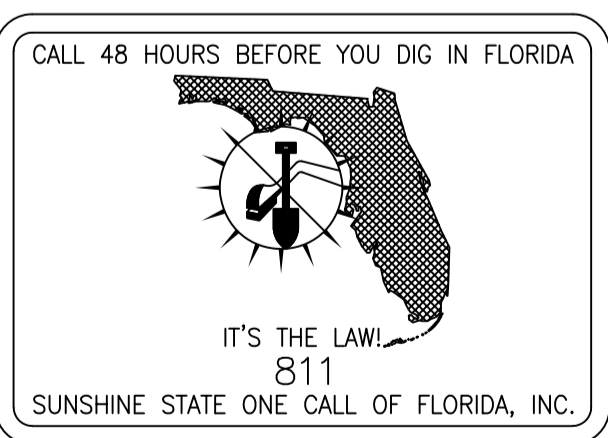
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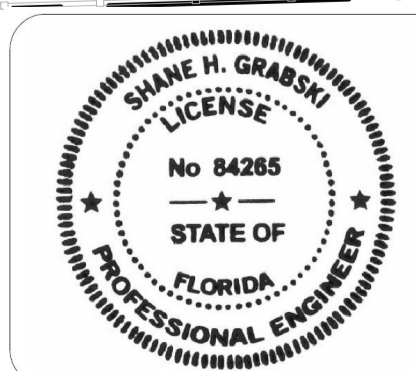
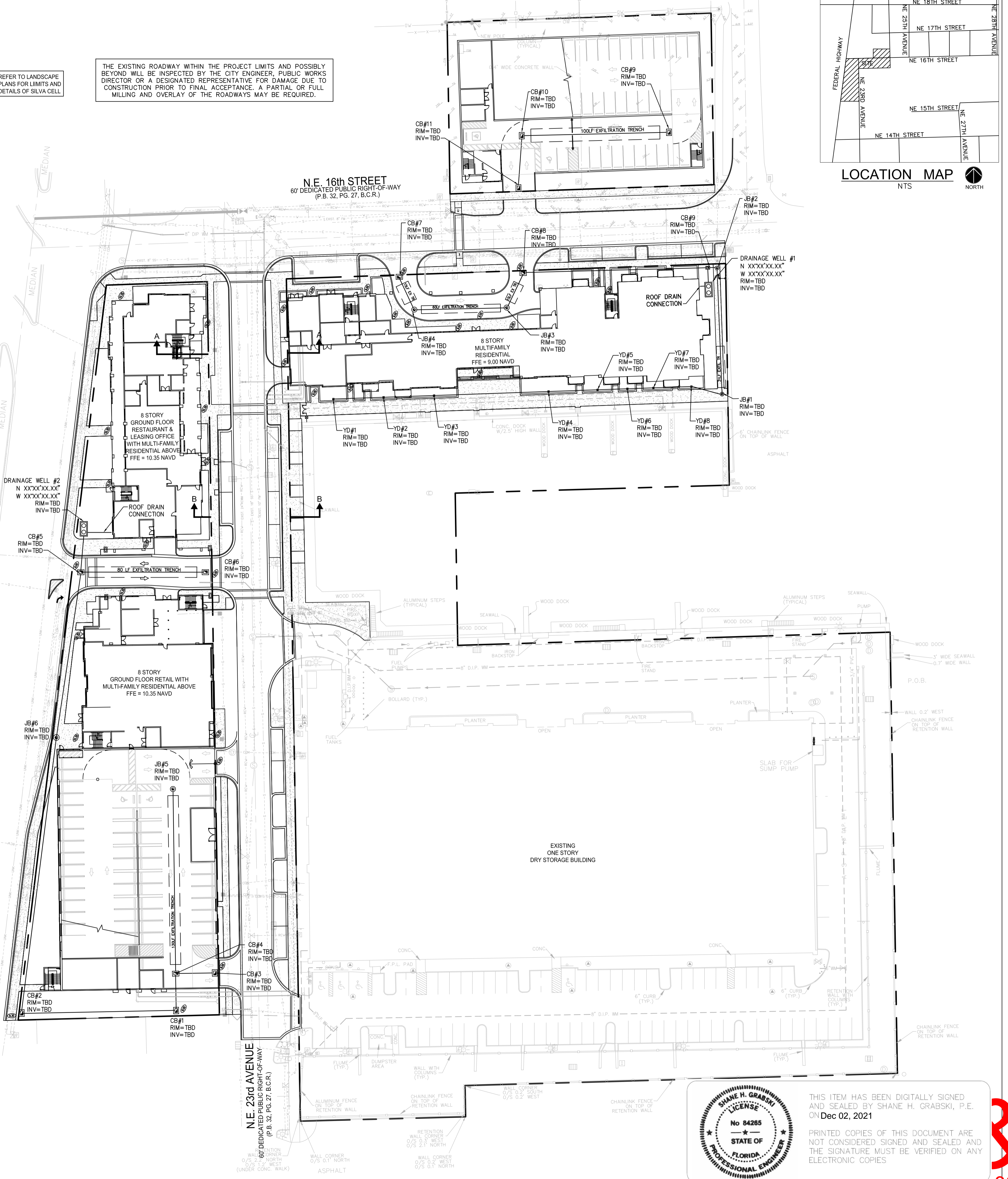
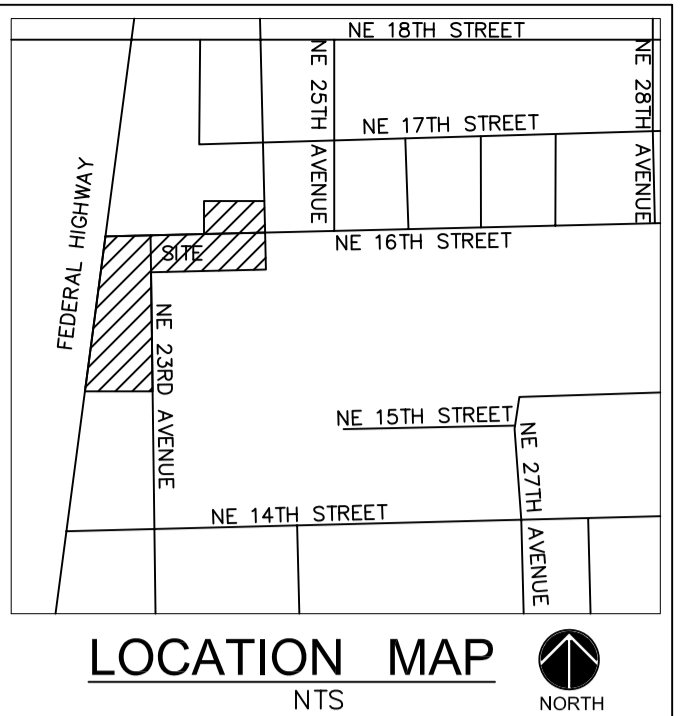
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FEDERAL HIGHWAY  
 (U.S. HIGHWAY 1 - STATE ROAD NO. 5)  
 120' DEDICATED PUBLIC RIGHT-OF-WAY  
 (P.B. 32, PG. 27, B.C.R.)

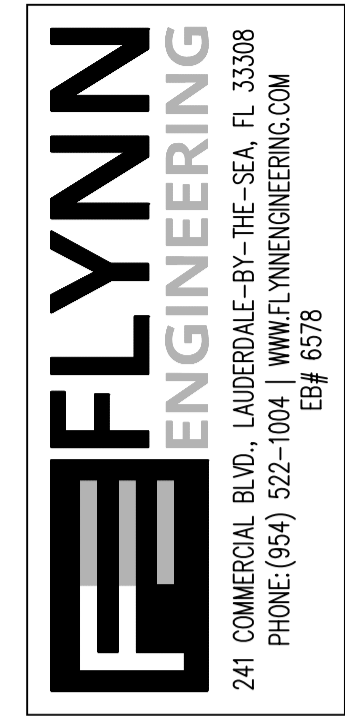
N.E. 16th STREET  
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N.E. 23rd AVENUE  
 60' DEDICATED PUBLIC RIGHT-OF-WAY  
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CONCEPTUAL  
 PAVING, GRADING  
 & DRAINAGE PLAN

HIDDEN HARBOUR  
 POMPANO BEACH, FLORIDA 33062



Revisions	Date

Phase:  
 DRC  
 DOCUMENTS

Shane H  
 Grabski

Digitally signed by Shane H Grabski  
 DN: cn=US, o=Flynn Engineering Services P.A.,  
 email=shg@flynn-engineering.com, c=US, ou=Shane H Grabski  
 Date: 2021.12.02 19:07:12 -0500

Scale:	Date
1"=40'	09/28/21
Job No. 05-0606.07	12/02/21
Drawn by SHG	
Proj. Mgr. SHG	





Revisions	

Phase:  
 DRC DOCUMENTS

**Shane H Grabski**

Digitally signed by Shane H Grabski  
 DN: cn=Shane H Grabski, o=Flynn Engineering Services P.A.,  
 email=shane@flynn-engineering.com, c=US  
 Date: 2021.12.02 19:01:51 -0500

Scale: 1"=40'  
 Date: 11/05/19

Job No. 05-0606.06  
 Date: 12/2/21

Drawn by: MDI  
 Checked by: Mgr  
 Date: 12/2/21

Sheet No. **C1.1**  
 of 6

**CONCRETE CURB AND GUTTER DETAIL**

ENGINEERING STANDARDS 2019		CONCRETE CURB AND GUTTER	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 1996	DWG. NO. 300-1
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**CONCRETE CURB DETAIL**

ENGINEERING STANDARDS 2019		CONCRETE CURB	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: January 2009	DWG. NO. 300-2
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**STANDARD PARKING SPACES**

ENGINEERING STANDARDS 2019		STANDARD PARKING SPACES	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: December 2014	DWG. NO. 300-3
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**SIDEWALK DETAILS**

ENGINEERING STANDARDS 2019		SIDEWALK DETAILS	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 2005	DWG. NO. 301-1
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**SIDEWALK DETAILS**

ENGINEERING STANDARDS 2019		SIDEWALK DETAILS	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 2005	DWG. NO. 301-2
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**SIDEWALK OBSTRUCTION**

ENGINEERING STANDARDS 2019		SIDEWALK OBSTRUCTION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 2005	DWG. NO. 301-3
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**TYPICAL ROADWAY SECTION**

ENGINEERING STANDARDS 2019		TYPICAL ROADWAY SECTION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 1996	DWG. NO. 305-1
S.S. 08-2009			
S.S. 07-2014			
S.S. 07-2018			
SCALE: N.T.S.			

**SURFACE RESTORATION**

ENGINEERING STANDARDS 2019		SURFACE RESTORATION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: FEB. 1998	DWG. NO. 306-2
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**SURFACE RESTORATION**

ENGINEERING STANDARDS 2019		SURFACE RESTORATION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: FEB. 1998	DWG. NO. 306-3
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**EDGE OF PAVEMENT RESTORATION**

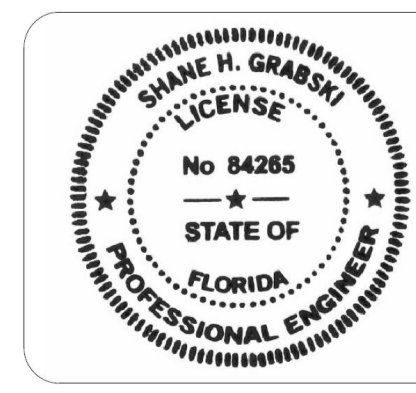
ENGINEERING STANDARDS 2019		EDGE OF PAVEMENT RESTORATION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: FEB. 1998	DWG. NO. 306-4
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**TYP. ROADWAY SECTION**

ENGINEERING STANDARDS 2019		TYP. ROADWAY SECTION	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: JUNE 2014	DWG. NO. 314-1
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			

**ADA Detectable Warning Mats**

ENGINEERING STANDARDS 2019		ADA Detectable Warning Mats	
REVISIONS BY DATE	ENGINEERING DIVISION CITY OF POMPANO BEACH	DATE: 2017	DWG. NO. 318-1
S.S. 07-2014			
S.S. 08-2015			
S.S. 07-2018			
SCALE: N.T.S.			



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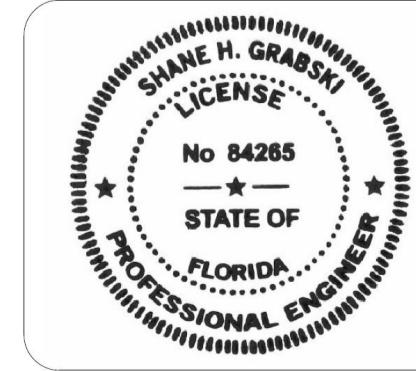


Revisions


Phase:  
 DRC DOCUMENTS

**Shane H Grabski**  
 Digitally signed by Shane H Grabski  
 DN: c=US, o=Flynn Engineering Services PA,  
 dnQualifier=AD141020000017042  
 51547800004C4, cn=Shane H Grabski  
 Date: 2021.12.02 19:03:37 -05'00'

Scale: 1"=40'  
 Date: 11/05/19  
 Job No: 05-0606.06  
 12/2/21  
 Drawn by: MDI  
 Checked by: MDI  
 Date: 11/05/19  
 Scale: 1"=40'  
 Date: 11/05/19



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PZZT-13000006  
 1/26/2022

**TYPE 'H' INLET**  
 RECOMMENDED MAXIMUM PIPE SIZE:  
 3'-0" WALL-24" PIPE  
 4'-0" WALL-36" PIPE

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 403-1

**CAST IRON FRAME FOR MANHOLES**

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 411-1

**TYPE 'E' INLET**  
 RECOMMENDED MAXIMUM PIPE SIZE:  
 3'-0" WALL-24" PIPE  
 4'-0" WALL-36" PIPE

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 402-1

**CAST IRON GRATES**

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 410-1

**TYPE 'D' INLET**  
 RECOMMENDED MAXIMUM PIPE SIZE:  
 3'-0" WALL-24" PIPE  
 4'-0" WALL-36" PIPE

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 401-1

**COVER FOR ALL FRAMES**

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 409-1

**TYPE 'C' INLET**  
 RECOMMENDED MAXIMUM PIPE SIZE:  
 2'-0" WALL-18" PIPE  
 3'-0" WALL-24" PIPE

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 400-1

**STRUCTURE TOP FOR MANHOLE AND JUNCTION BOX**

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 408-2

**WATER STOP SEAL**

REVISIONS	
BY DATE	ENGINEERING DIVISION
TCW 04-08	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: APRIL 2008 DWG. NO. 414-1

**EYE BOLT AND CHAIN FOR LOCKING GATES**

NOTE: WHEN ALTERNATE "G" GRATE IS SPECIFIED, THE CHAIN, BOLT, NUTS, WASHER AND COLD SHUTS SHALL BE GALVANIZED IN ACCORDANCE WITH THE SPECIFICATIONS FOR THE GRATE.

COST OF EYE BOLT AND CHAIN TO BE INCLUDED IN THE CONTRACT UNIT PRICE FOR INLETS.

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 413-1

**OPTIONAL CONSTRUCTION JOINTS**

- ONE OR MORE TYPES OF JOINTS MAY BE USED IN A SINGLE STRUCTURE, EXCEPT BRICK WALL STRUCTURE. BRICK WALL CONSTRUCTION IS PERMITTED ON CIRCULAR UNITS ONLY.
- ALL GROUTED JOINTS ARE TO HAVE A MAXIMUM THICKNESS OF 1".
- KEYWAYS ARE TO BE A MINIMUM OF 1 1/2" DEEP.
- JOINT DOWELS ARE TO BE #4 BARS, 12" LONG WITH A MINIMUM OF 8 BARS PER CIRCULAR STRUCTURE, APPROXIMATELY EVENLY SPACED, AND 2 BARS PER SIDE AT APPROXIMATE QUARTER POINTS FOR RECTANGULAR STRUCTURES.
- MINIMUM COVER ON REINFORCING BARS IS 1 1/4".
- REBAR STRAIGHT END EMBANKMENT MAY BE USED IN LIEU OF ACI STANDARD HOOKS FOR TOP AND BOTTOM SLABS EXCEPT WHEN HOOKS ARE SPECIFICALLY CALLED FOR IN PLANS OR STANDARD DRAWINGS.
- JOINTS BETWEEN WALL SEGMENTS AND BETWEEN WALL SEGMENTS AND TOP OR BOTTOM SLABS MAY BE SEALED EITHER BY PREFORMED PLASTIC GASKET MATERIAL OR BY GROUT.
- APPROVED PRODUCT INSERTS MAY BE USED IN LIEU OF DOWEL EMBEDMENT.

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 412-2

**OPTIONAL CONSTRUCTION JOINTS**

REBAR STRAIGHT END EMBANKMENT IN LIEU OF ACI STANDARD HOOKS FOR TOP AND BOTTOM SLABS

REVISIONS	
BY DATE	ENGINEERING DIVISION
S.S. 09-11	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: JUNE 1996 DWG. NO. 412-1

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J:\City STANDARDS\2019 Standards Details\Drainage 4-2.dwg, 11/2/2018 10:38:49 AM

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J:\City STANDARDS\2019 Standards Details\Drainage 4-1.dwg, 11/2/2018 10:35:39 AM

J:\City STANDARDS\2019 Standards Details\Drainage 4-2.dwg, 11/2/2018 10:38:11 AM

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J:\City STANDARDS\2019 Standards Details\Drainage 4-2.dwg, 11/2/2018 10:38:44 AM

J:\City STANDARDS\2019 Standards Details\Drainage 4-3.dwg, 11/2/2018 10:34:17 AM



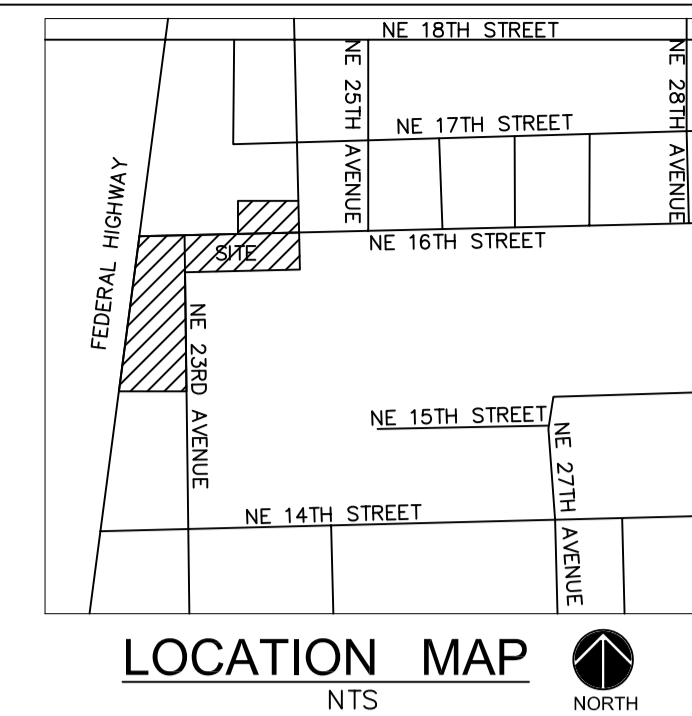


Revisions


Phase:  
 DRC  
 DOCUMENTS

**Shane H Grabski**

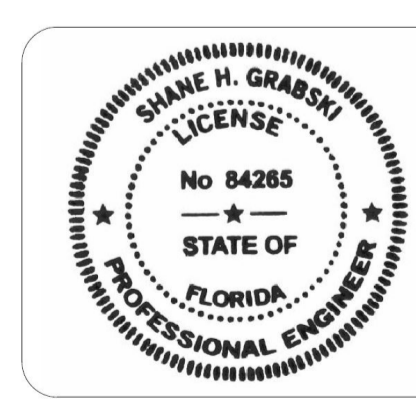
Digitally signed by Shane H Grabski  
 DN: c=US, o=Flynn Engineering Services P.A.,  
 email=Shane.H.Grabski@flynneng.com, ou=Shane H Grabski  
 Date: 2021.12.02 19:07:42 -0500



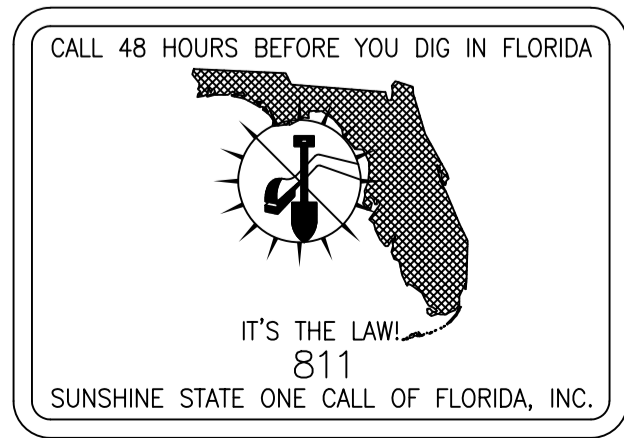
**WATER AND SEWER NOTES:**

- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL.
- SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
- ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMSESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
- ANY EXISTING UNUTILIZED WATER &/OR SEWER CONNECTION TO THE SUBJECT LOT(S) MUST BE RETIRED AT THE MAIN AS PER CITY SPECIFICATION.
  - IF THE EXISTING MAIN IS CLAY PIPE & HAS CIPP LINER CURRENTLY INSTALLED, INSTALL A SECTIONAL LINER IN THE MAIN OVER THE OLD LATERAL THUS ELIMINATING THE LATERAL.
  - IF THE EXISTING MAIN IS CLAY PIPE, DIG DOWN CUT OLD CLAY PIPE, SLEEVE BACK IN WITH PVC & CITY APPROVED COUPLINGS.
  - IF THE EXISTING MAIN IS CLAY PIPE & YOU ARE REQUIRED TO RETIRE MULTIPLE LATERALS FOR A PROJECT, IT MAY BE CHEAPER FOR THE CONTRACTOR TO INSTALL A CITY APPROVED CIPP LINER FROM MANHOLE TO MANHOLE AND NOT CUT OUT THE LATERALS THAT THEY ARE RETIRING.
  - IF THE EXISTING MAIN IS PVC PIPE, REMOVE THE LATERAL PIPE FROM THE PVC WYE FITTING AND INSTALL A PLUG INTO THE WYE. INSTALL A GREEN LOCATING MARKING BALL AT THE LATERAL LOCATING, NO DEEPER THAN 4 FT. BELOW GRADE.
- ANY EXISTING UNUTILIZED WATER AND/OR SEWER CONNECTION TO THE LOTS MUST BE CUT & CAPPED AT THE MAIN FOR WATER SERVICES & SEWER LATERAL REMOVED FROM THE MAIN & SLEEVED IN WITH NEW PIPING.

TOTAL DAILY GALLON PER DAY WATER CONSUMPTION: 63,561  
 TOTAL DAILY GALLON PER DAY WASTEWATER DISCHARGE: 63,561

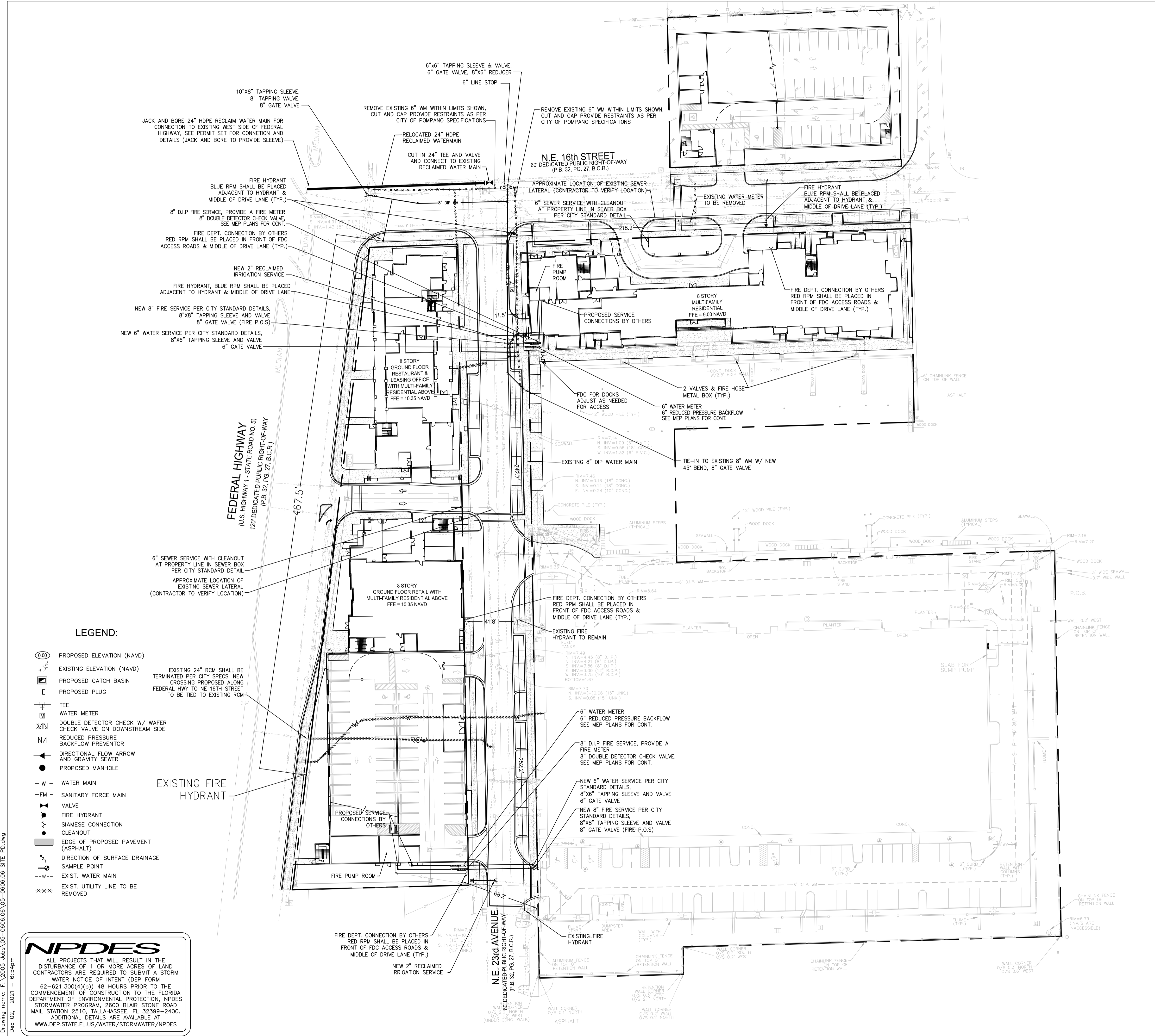


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**VERTICAL DATUM CONVERSION**  
 GRADING SHOWN UTILIZES N.A.V.D. 88  
 N.G.V.D.  
 N.A.V.D.  
 N.A.V.D. 88 = N.G.V. 29 - 1.5'  
 N.G.V.D. 29 = N.A.V. 88 + 1.5'

**P&Z**  
 PZ21-1300006  
 1/26/2022



**LEGEND:**

- PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- PROPOSED CATCH BASIN
- PROPOSED PLUG
- TEE
- WATER METER
- DOUBLE DETECTOR CHECK W/ WAFER
- REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- WATER MAIN
- SANITARY FORCE MAIN
- VALVE
- FIRE HYDRANT
- SIAMSE CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED

EXISTING FIRE HYDRANT

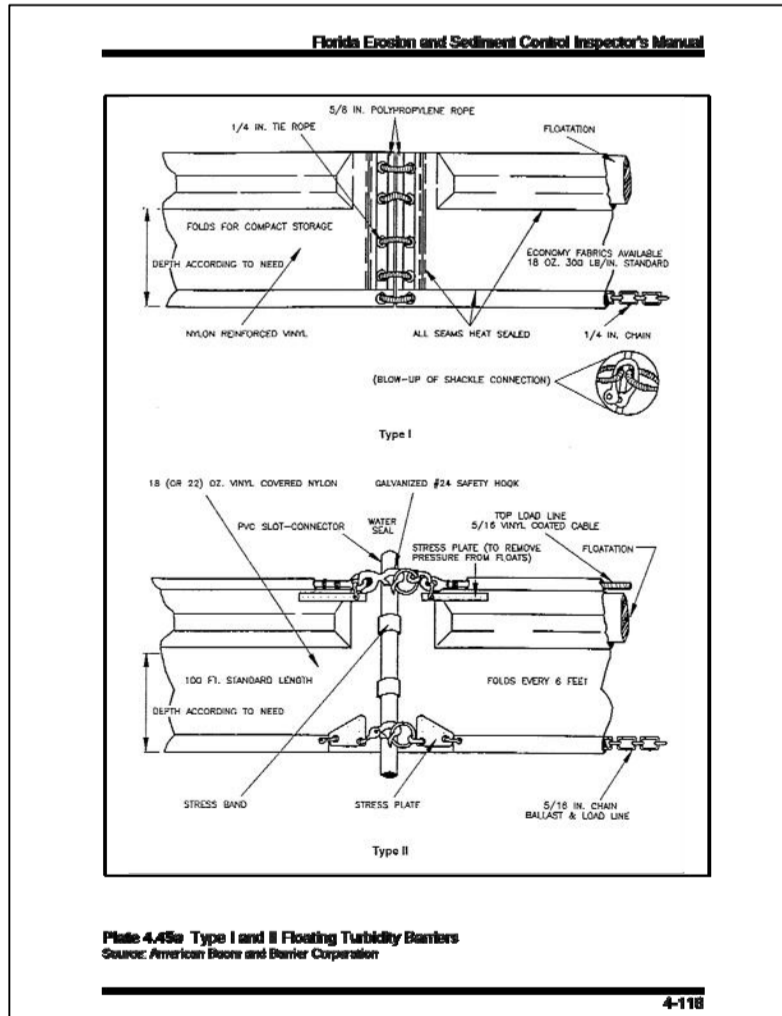
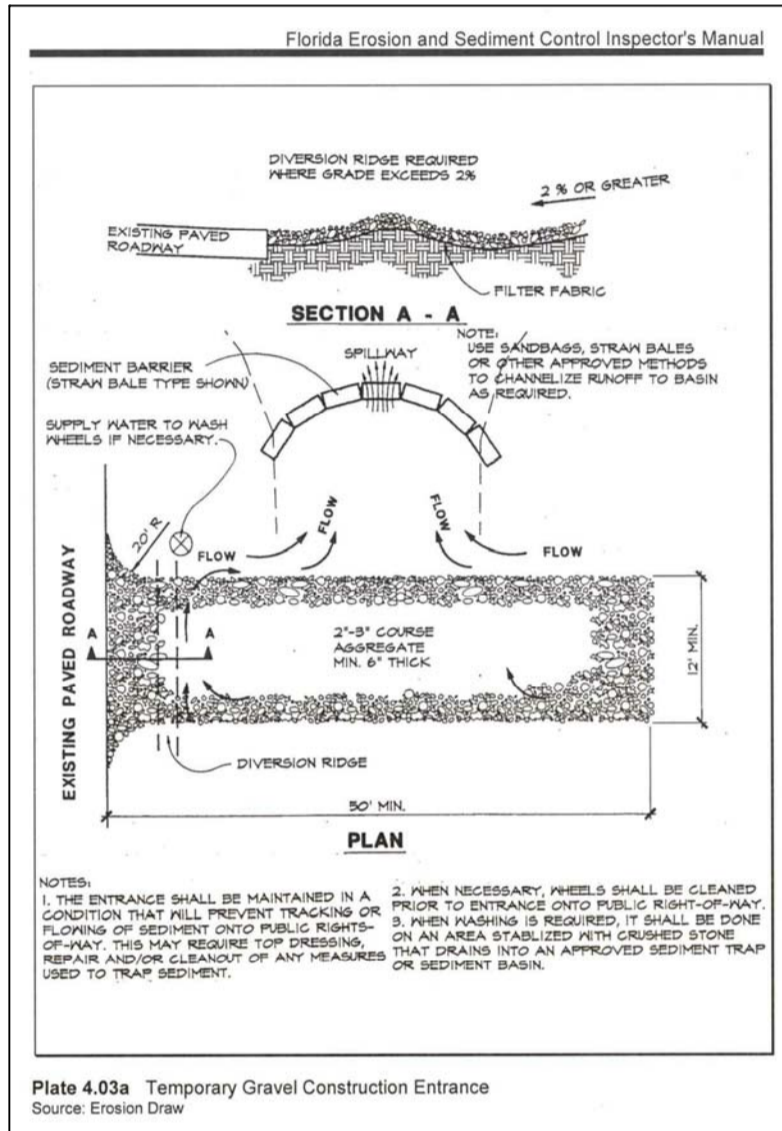
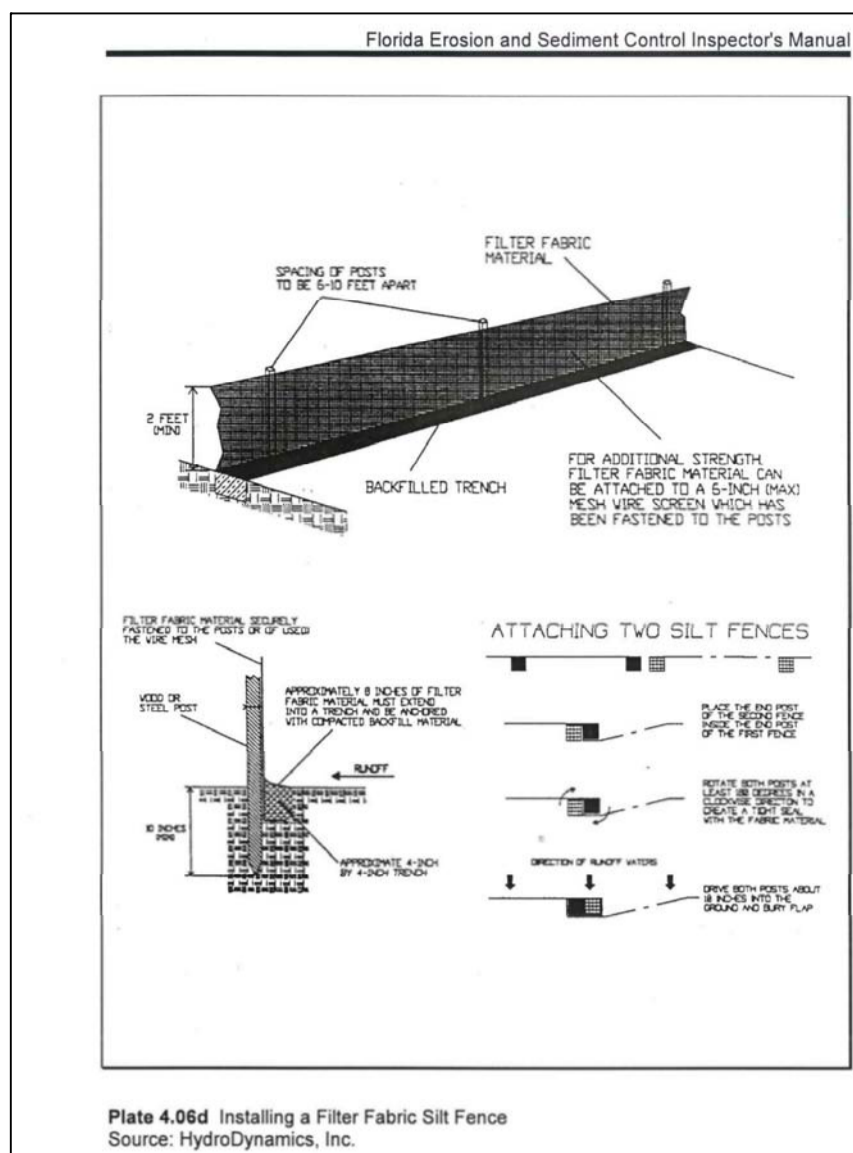
**NPDES**  
 ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.300(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2500 BLAIR STONE ROAD, MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

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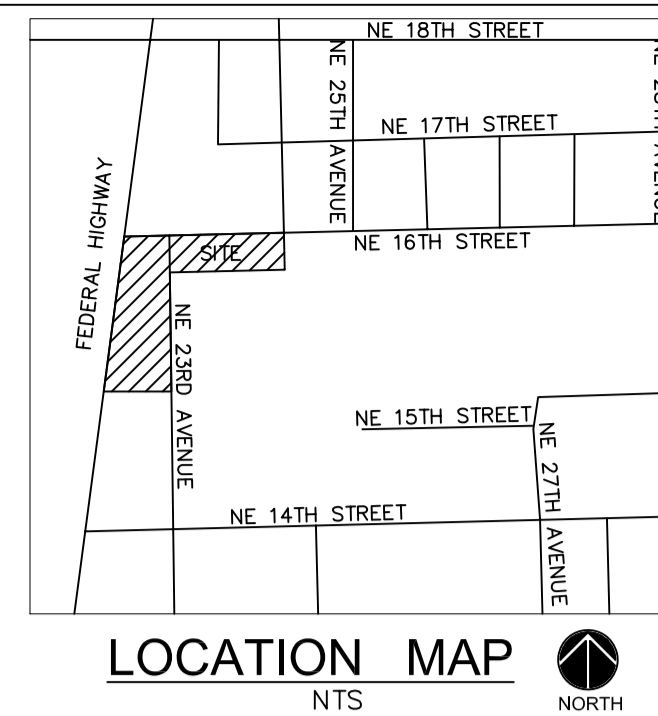
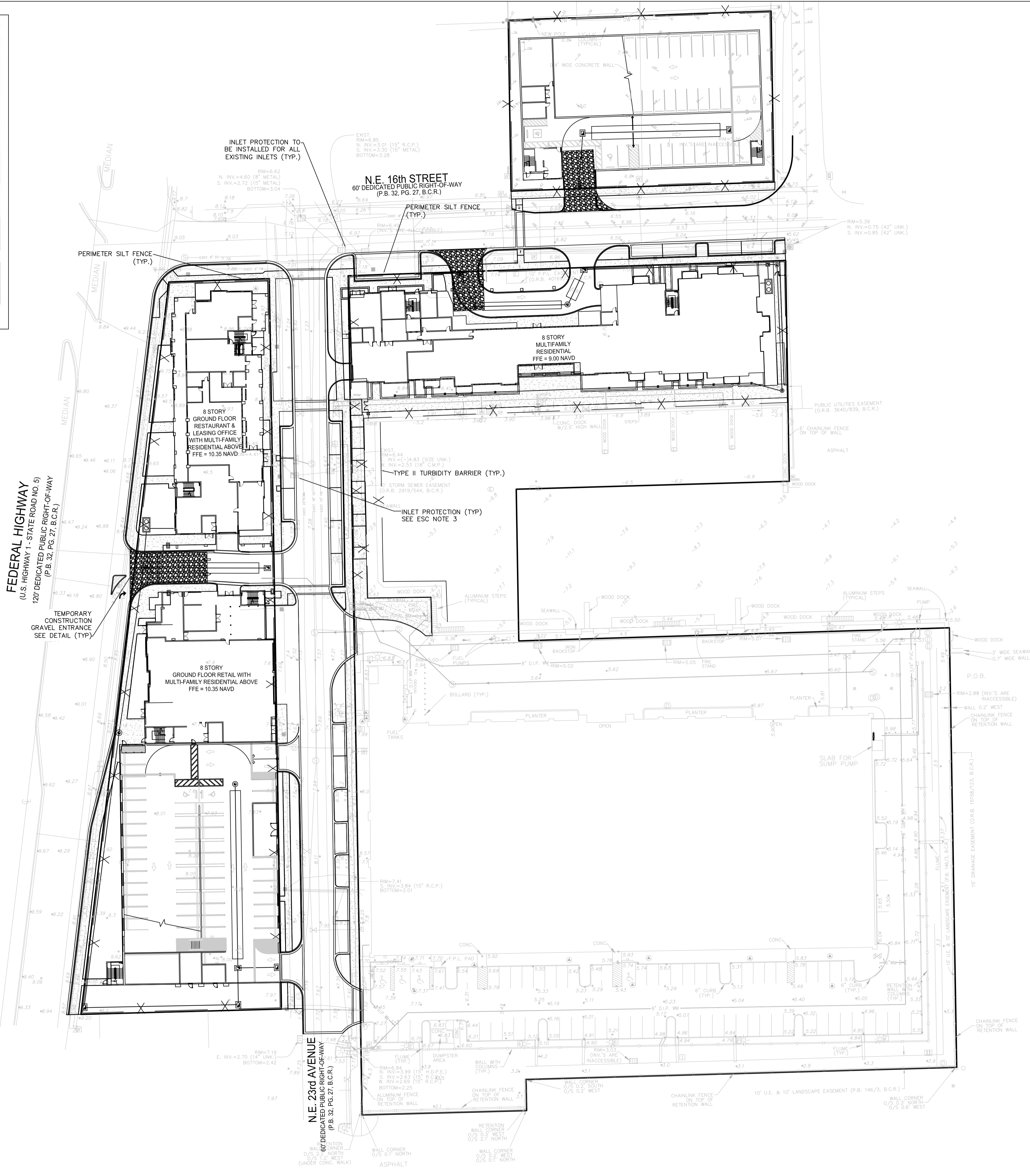






**NPDES**

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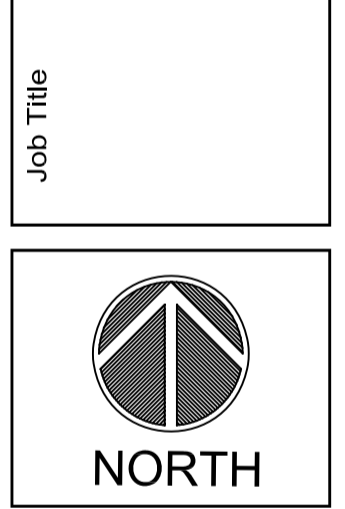


- ESC NOTES:
1. THIS PLAN REFLECTS THE ENGINEER'S SUGGESTION FOR EROSION AND SEDIMENT CONTROL. SITE OPERATOR TO MODIFY PLAN AS NEEDED TO MAINTAIN "BEST MANAGEMENT PRACTICES" DURING CONSTRUCTION.
  2. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ONSITE. NO DISCHARGE INTO THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES IS ALLOWED.
  3. DRAINAGE STRUCTURES INSTALLED TO BE PROTECTED WITH FILTER FABRIC AND/OR PERIMETER SILT FENCE.
  4. PROVIDE FILTER FABRIC OR OTHER METHOD OF SEDIMENT PROTECTION FOR ANY EXISTING CATCH BASIN/INLET WITHIN 100 FEET OF THE PROJECT AREA.
  5. ANY SEDIMENT THAT IS TRACKED ONTO ROADS MUST BE SWEEPED UP IMMEDIATELY.
  6. SEDIMENT SHALL NOT BE REMOVED BY WASHING/FLUSHING WITH WATER AT THE RIGHT OF WAY.
  7. PRIOR TO START OF CONSTRUCTION, AN ENGINEERING ROUGH INSPECTION MUST BE SCHEDULED TO VERIFY EROSION AND SEDIMENTATION CONTROL IS SETUP PROPERLY AND SO INSPECTOR CAN MONITOR SITE FOR CONSTRUCTION MITIGATION.

**FLYNN ENGINEERING**  
241 COMMERCIAL BLD., LAUDERHOLE BE, THE SEA, FL 33308  
PHONE: (954) 522-1001 | WWW.FLYNNENGINEERING.COM  
EFL 6578

Sheet Title  
**CONCEPTUAL EROSION & SEDIMENT CONTROL PLAN**

Job Title  
**HIDDEN HARBOR**  
POMPANO BEACH, FLORIDA 33062

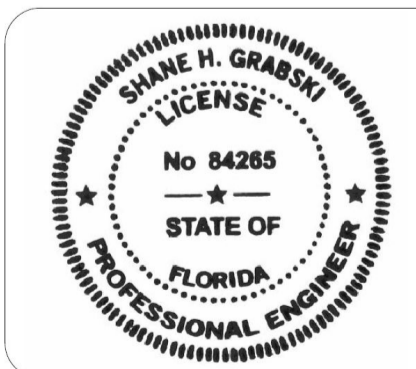


Revisions

No.	Description

Phase:  
DRC  
DOCUMENTS

Shane H Grabski



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CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

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**P&Z**

PZ21-13000006  
1/26/2022

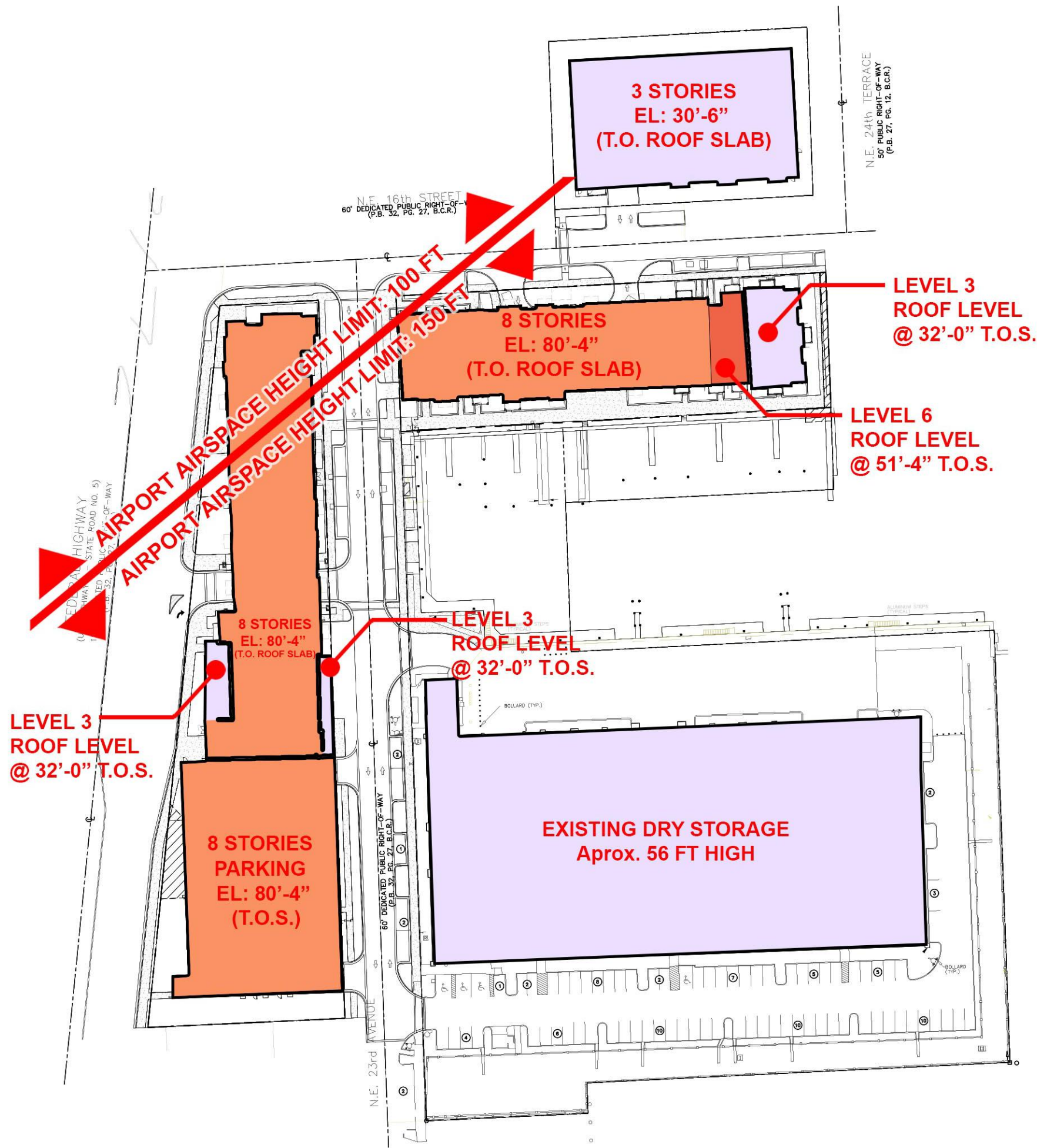












**LEGEND**

- 8 STORIES
- 6 STORIES
- 1-3 STORIES

P & Z

PZ21-13000006

1/26/2022



AIRPORT AIRSPACE HEIGHT LIMIT DIAGRAM  
SCALE: N.T.S.

	BY

**HARBORSIDE AT  
HIDDEN HARBOUR**

FOR:  
AMP IV-HIDDEN HARBOUR, LLC  
LOCATED AT:  
POMPANO BEACH, FLORIDA

BEATRIZ M. HERNANDEZ  
AR0094576

**MSA ARCHITECTS**  
ARCHITECTURE & PLANNING

MSA ARCHITECTS, INC.  
AACC000895  
8950 SW 74th COURT  
MIAMI, FLORIDA 33156  
(305) 273-9911

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633, FLORIDA STATUTES.

NOTE: PROJECT SHALL INCORPORATE A ... SYSTEM IN BOTH BUILDING ... FOR FDC ... CIVIL SITE PLAN

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DRAWN	-/-/-
DATE	-/-/-
SCALE	AS SHOWN
JOB NO.	1828
SHEET TITLE:	
DIAGRAMS	
SHEET NUMBER:	
EX - K	



