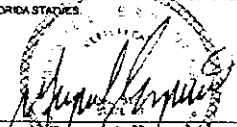


Property Address:  
 2648 S.E. 9 STREET,  
 POMPANO BEACH FLORIDA 33062

Notes:  
 NO NOTES.


**SURVEYOR'S CERTIFICATION:** I HEREBY CERTIFY THAT THIS 'BOUNDARY SURVEY' IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY PREPARED UNDER MY DIRECTION. THIS COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS, AS SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 81G17-6, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

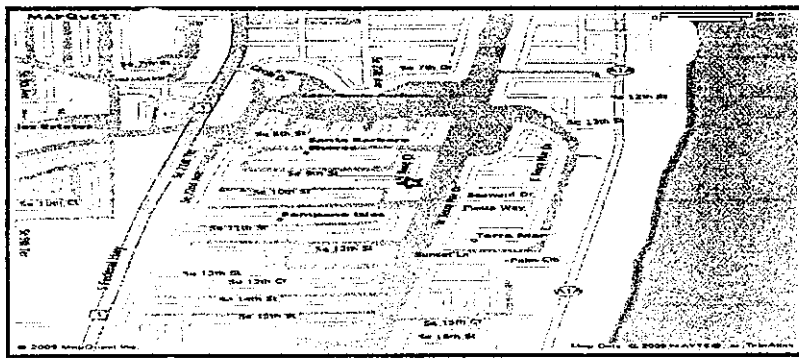
SIGNED  FOR THE FIRM  
 MIGUEL ESPINOSA STATE OF FLORIDA P.S.M. NO. 5101

NOT VALID WITHOUT AN ALPHABETIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL AND/OR THIS MAP IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A LICENSED SURVEYOR AND MAPPER

**MIGUEL ESPINOSA LAND SURVEYING, INC.**  
 10665 SW 190<sup>TH</sup> Street  
 Suite 3110  
 MIAMI, FL 33157  
 PHONE:(305) 740-3319  
 FAX #:(305) 669-3190 LB # 6463

Accepted By \_\_\_\_\_





NOT TO SCALE

<p><b>Certified To:</b>          ANDREW E. DANIELS,          CAPSTONE TITLE PARTNERS, LLC,          ATTORNEYS TITLE INSURANCE FUND, INC.,          TBD</p> <p>Its successors and/or assigns as their interest may Appear</p> <p><b>Community Number:</b> 120055  <b>Panel Number:</b> 0207  <b>Suffix:</b> F  <b>Date of Firm Index:</b> 8/18/1992  <b>Flood Zone:</b> AE  <b>Base Flood Elevation:</b> 6  <b>Date of Field Work:</b> 6/2/2009  <b>Date of Completion:</b> 6/4/2009</p>	<p><b>GENERAL NOTES:</b></p> <ol style="list-style-type: none"> <li>1) LEGAL DESCRIPTION PROVIDED BY OTHERS</li> <li>2) EXAMINATION OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECT THIS PROPERTY</li> <li>3) THE LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR EASEMENT OR OTHER RECORDED ENCUMBERANCES NOT SHOWN ON THE PLAT</li> <li>4) THE PURPOSE OF THIS SURVEY IS FOR USE IN OBTAINING TITLE INSURANCE AND FINANCING AND SHOULD NOT BE USED FOR CONSTRUCTION, PERMITTING, DESIGN, OR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF MIGUEL ESPINOSA LAND SURVEYING.</li> <li>5) UNDERGROUND PORTIONS OF FOOTINGS, FOUNDATIONS OR OTHER IMPROVEMENTS WERE NOT LOCATED.</li> <li>6) ONLY VISIBLE AND ABOVE GROUND ENCROACHMENTS LOCATED.</li> <li>7) WALL TIES ARE TO THE FACE OF THE WALL.</li> <li>8) FENCE OWNERSHIP NOT DETERMINED.</li> <li>9) BEARINGS REFERENCED TO LINE NOTED AS B.F.</li> <li>10) BOUNDARY SURVEY MEANS A DRAWING AND/OR GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWY SCALE AND/OR NOT TO SCALE.</li> <li>11) NO IDENTIFICATION FOUND ON PROPERTY CORNERS UNLESS NOTED.</li> <li>12) NOT YACED UNLESS SEALED WITH THE SIGNING SURVEYORS EMBOSSED SEAL.</li> <li>13) DIMENSIONS SHOWN ARE PLAT AND MEASURED UNLESS OTHERWISE NOTED.</li> <li>14) ELEVATIONS IF SHOWN ARE BASED UPON N.G.V.D. 1929 UNLESS OTHERWISE NOTED.</li> <li>15) THIS IS A BOUNDARY SURVEY UNLESS OTHERWISE NOTED.</li> <li>16) THIS BOUNDARY SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATIONS DO NOT EXTEND TO ANY UNNAMED PARTIES.</li> </ol>
<p><b>Legal Description:</b> LOT 24, BLOCK 8, OF POMPANO ISLES- SECTION B SUBDIVISION          ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 31, PAGE 8,          OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.</p>	

**Surveyor's Legend**

<p>— PROPERTY LINE</p> <p>— STRUCTURE</p> <p>— CONC. BLOCK WALL</p> <p>— CHAIN-LINK or WIRE FENCE</p> <p>— WOOD FENCE</p> <p>— IRON FENCE</p> <p>— EASEMENT</p> <p>— CENTER LINE</p> <p>— WOOD DECK</p> <p>— CONCRETE</p> <p>— ASPHALT</p> <p>— BRICK TILE</p> <p>— WATER</p> <p>— APPROXIMATE EDGE OF WATER</p> <p>— COVERED AREA</p> <p>C.U.E. COUNTY UTILITY ESMT.          I.E.E.E. EGRESS/EGRESS ESMT.</p>	<p>○ FOUND</p> <p>○ NOT FOUND</p> <p>○ SET</p> <p>▲ CONTROL POINT</p> <p>■ CONCRETE MONUMENT</p> <p>○ TREE</p> <p>○ POWER POLE</p> <p>○ CATCH BASIN</p> <p>○ BENCH MARK</p> <p>○ B.M. BENCH MARK</p> <p>P.T. POINT OF TANGENCY</p> <p>P.C. POINT OF CURVATURE</p> <p>P.R.M. PERMANENT REFERENCE MONUMENT</p> <p>P.C.C. POINT OF COMPOUND CURVATURE</p> <p>P.R.C. POINT OF REVERSE CURVATURE</p> <p>P.O.B. POINT OF BEGINNING</p> <p>P.O.C. POINT OF COMMENCEMENT</p> <p>P.C.P. PERMANENT CONTROL POINT</p> <p>M. FIELD MEASURED</p> <p>P. PLATTED MEASUREMENT</p> <p>L.A.E. LIMITED ACCESS EASEMENT</p> <p>L.M.E. LAKE or LANDSCAPE MAINT. ESMT</p>	<p>C. CALCULATED</p> <p>B.R. BEARING REFERENCE</p> <p>Δ CENTRAL ANGLE or DELTA</p> <p>R. RADIUS or RADIAL</p> <p>RAD. RADIAL TIE</p> <p>N.R. NON RADIAL</p> <p>TYP. TYPICAL</p> <p>I.R. IRON ROD</p> <p>I.P. IRON PIPE</p> <p>N.A.D. NAIL &amp; DISK</p> <p>P.K.N.A.L. PARKER-KALON NAIL</p> <p>D.H. DRILL HOLE</p> <p>W. WELL</p> <p>EX. EXISTING FIRE HYDRANT</p> <p>M.H. MAN HOLE</p> <p>O.H.L. OVERHEAD LINE</p> <p>P.P. POWER POLE</p> <p>TR. TRANSFORMER</p> <p>CATV. CABLE TV. RISER</p> <p>W.M. WATER METER</p> <p>ESMT. EASEMENT</p> <p>ENC. ENCROACHMENT</p> <p>D.E. DRAINAGE EASEMENT</p> <p>L.B.E. LANDSCAPE BUFFER ESMT.</p>	<p>T.E.L. TELEPHONE FACILITIES</p> <p>U.P. UTILITY POLE</p> <p>E.U.B. ELECTRIC UTILITY BOX</p> <p>SEP. SEPTIC TANK</p> <p>D.F. DRAIN FIELD</p> <p>A.C. AIR CONDITIONING</p> <p>S.W. SIDEWALK</p> <p>D.W. DRIVEWAY</p> <p>S.C.R. SCREEN</p> <p>G.A.R. GARAGE</p> <p>ENCL. ENCLOSURE</p> <p>N.T.S. NOT TO SCALE</p> <p>F.F. FINISHED FLOOR</p> <p>T.O.B. TOP OF BANK</p> <p>E.O.W. EDGE OF WATER</p> <p>E.O.P. EDGE OF PAVEMENT</p> <p>C.V.G. CONCRETE VALLEY GUTTER</p> <p>B.S.L. BUILDING SETBACK LINE</p> <p>S.T.L. SURVEY TIE LINE</p> <p>C.L. CENTER LINE</p> <p>R.W. RIGHT OF WAY</p> <p>U.E. UTILITY EASEMENT</p> <p>R.O.E. ROOF OVERHANG EASEMENT</p> <p>L.A.E. LIMITED ACCESS EASEMENT</p>
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Property Address:  
 2648 S.E. 9 STREET,  
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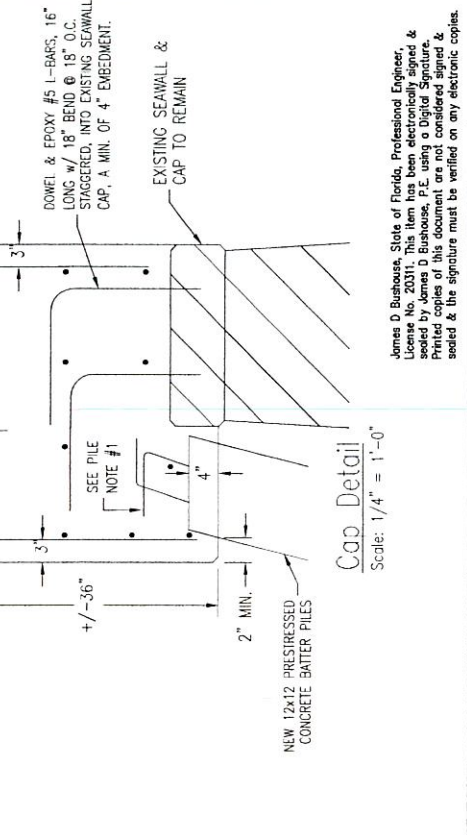
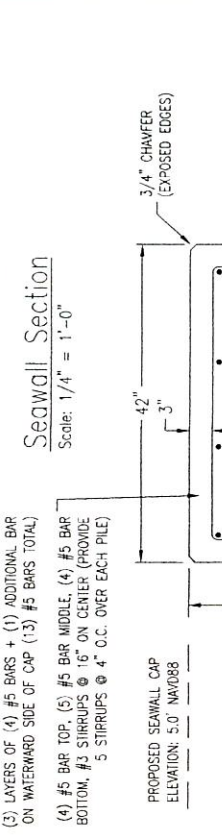
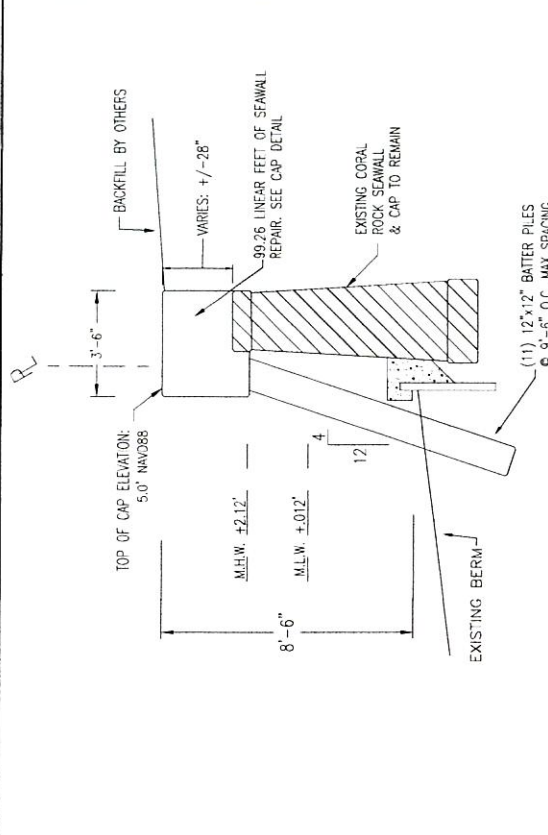
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SIGNED:  FOR THE FIRM  
 MIGUEL ESPINOSA STATE OF FLORIDA P.S.M. NO. 5101

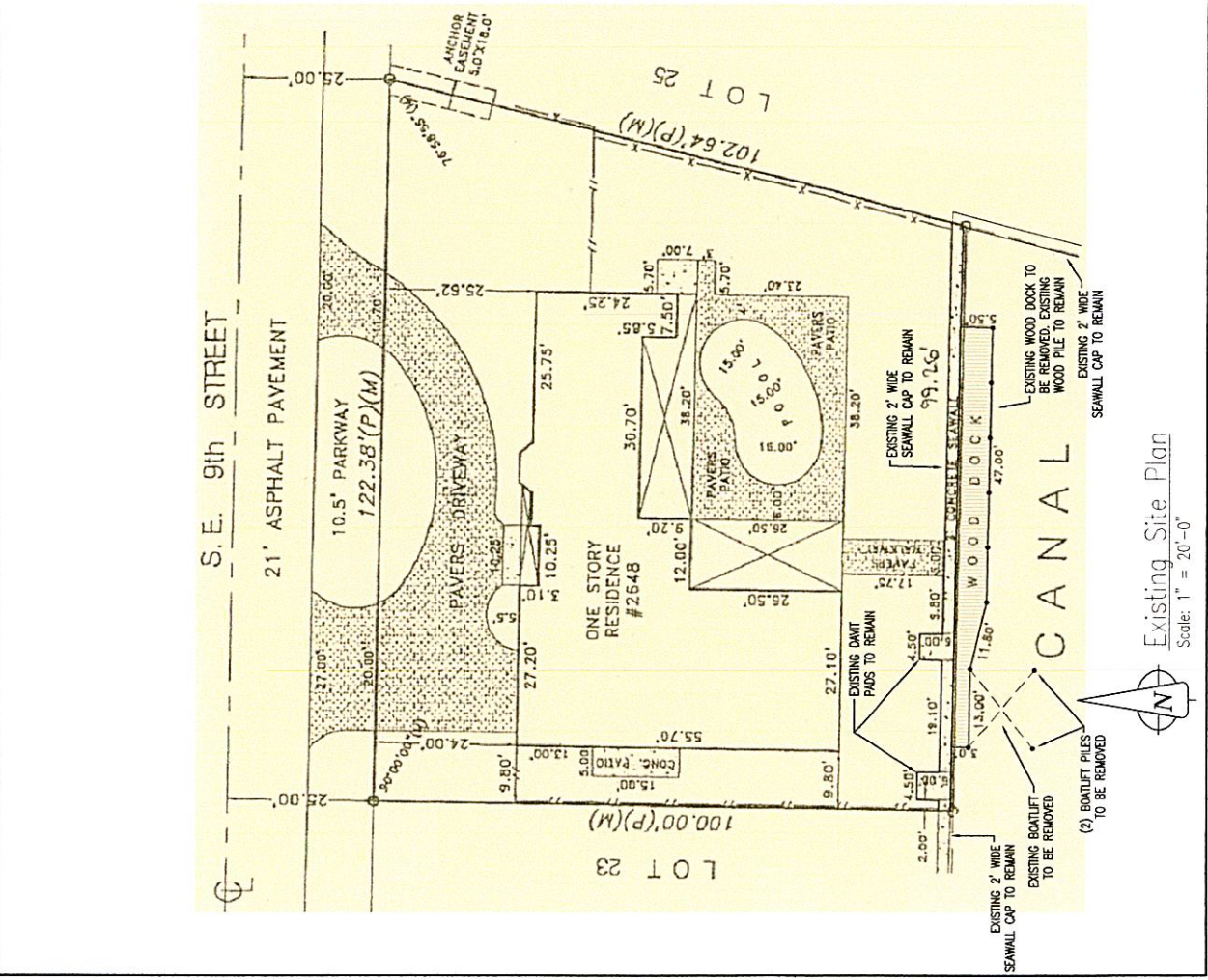
NOT VALID WITHOUT AN ALPHABETIC ELECTRONIC SIGNATURE AND AUTHENTICATED ELECTRONIC SEAL UNDER THE MAP IS NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL HANDED PLAT OF A QUALIFIED SURVEYOR AND MAPPER



Accepted By \_\_\_\_\_



James D. Bushouse, State of Florida, Professional Engineer,  
 License No. 20311. This item has been electronically signed &  
 sealed by James D. Bushouse, P.E. using a Digital Signature.  
 Printed copies of this document are not considered signed &  
 sealed & the signature must be verified on any electronic copies.



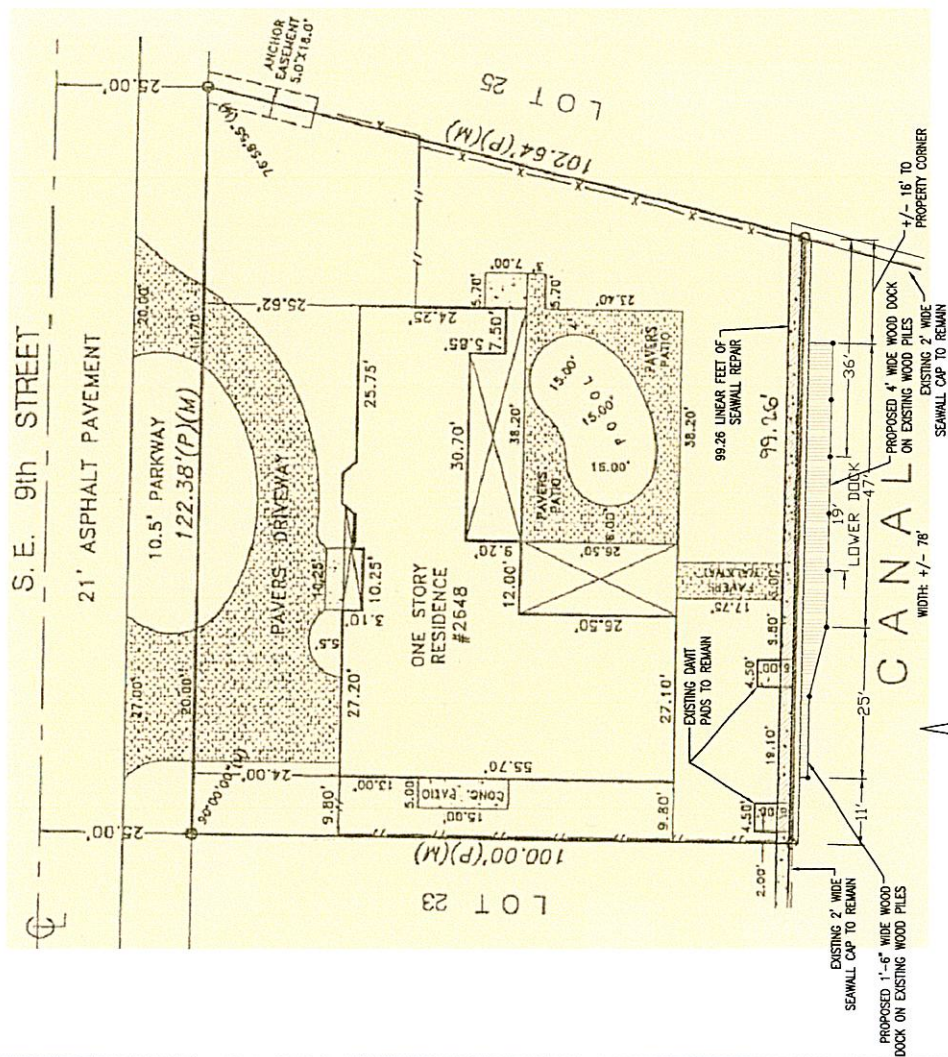
Existing Site Plan  
 Scale: 1" = 20'-0"

- General Notes:**
- Licensed Contractor shall verify the existing conditions prior to commencement of the work. Any conflicts or omissions between existing conditions or the various elements of the working drawings shall be brought to the attention of the Engineer prior to the commencement of the work. The Licensed Contractor and all subcontractors are responsible for all lines, elevations, and measurements.
  - Do not scale drawings for dimensions.
  - All unanticipated or unforeseen demolition and/or new construction conditions which require deviation from the plans and notes herein shall be reported to the Engineer prior to commencement of work.
  - Licensed Contractor to verify location of existing utilities prior to commencing work.
  - The Licensed contractor to install and remove all shoring and bracing as required for the proper execution of the work.
  - Licensed Contractor to obtain all permits as necessary from all Local, State, and Federal agencies.
  - Concrete to be min. 5000 psi @ 28 days, 40 water/cement ratio.
  - Reinforcing steel shall be in conformance with the latest version of ASTM A615/Grade 60 Specifications. All reinforcement shall be placed in accordance with ACI 315 and ACI Manual of Standard Practice.
  - Concrete cover shall be 3 inches unless otherwise noted on the approved drawings.
  - Splices in reinforcing bars shall not be less than 48 bar diameters and reinforcing shall be continuous around all corners and changes in direction. Continuity shall be provided at corners or changes in direction by bending longitudinal steel around the corner 48 bar diameters.
  - Owner shall employ and pay for testing services from an independent testing laboratory for concrete sampling and testing in accordance with ASTM Standards.
  - All framing materials to be pressure treated, southern pine, grade 2 or better, min. FB = 1200 psi.
  - All hardware to be galvanized or stainless steel.
  - Elevations shown are based on the North American Vertical Datum of 1988.
  - Design in accordance with 2023 Florida Building Code.

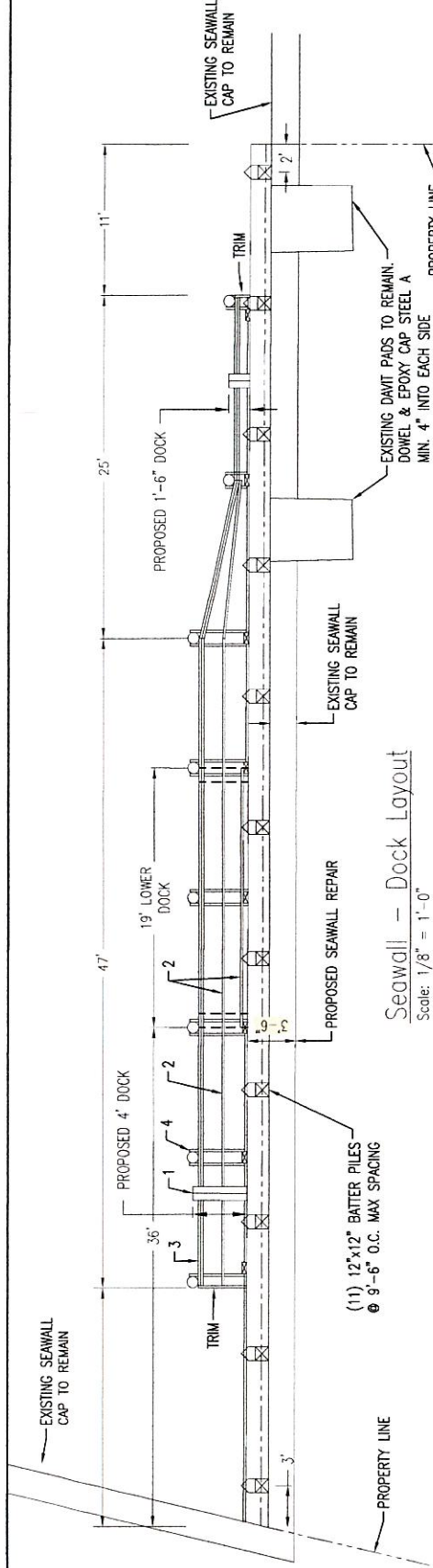
- Pile Notes:**
- For all prestressed piles, extend pile strands a min. of 18" into cap steel or cut strands even w/ top of pile & dowel & epoxy (2) #5 L-bars, 24" long w/ 12" bend, into top of pile, w/ a min. of 4" embedment.
  - New batter pilings to have a minimum 4" penetration into the new seawall cap forms.
  - Concrete piling to be 12"x12" prestressed piles with (4) 7/16" strands.
  - All pilings shall be driven to develop a minimum allowable bearing capacity of 10 tons & shall penetrate a minimum of 8' into berm or 2' min. penetration into hard strata.
  - Piles to be driven with a drop hammer or gravity hammer. The hammer weight shall not be less than 3,000 lbs and the fall shall not exceed 6 feet.

Contractor covenants & agrees to fully indemnify & hold harmless, engineer, & engineer's employees, officers, directors, & representatives, from & against damages, liabilities or costs, including reasonable attorney fees & defense costs, from any & all claims, actions, causes of action, or demands of any kind or nature for loss, damage, or liability arising from Contractor's work under this agreement. The indemnity provided for in this section shall not apply to any liability resulting from defects in plans, designs, or specifications prepared, approved, or used by engineer or negligence of the engineer in the rendition or conduct of professional duties called for or arising out of the construction contract & the plans, designs, or specifications that are a part of the construction contract & arising from personal injury or death, property damage, or any expenses arising therefrom. To that extent, the total liability of James Bushouse, Inc. or any of its employees, officers, directors, & representatives due to plan or specifications defects or negligence shall be limited to the sum equal to the amount paid to James Bushouse, Inc., for these engineered drawings. Acceptance & understanding of this agreement are hereby acknowledged.

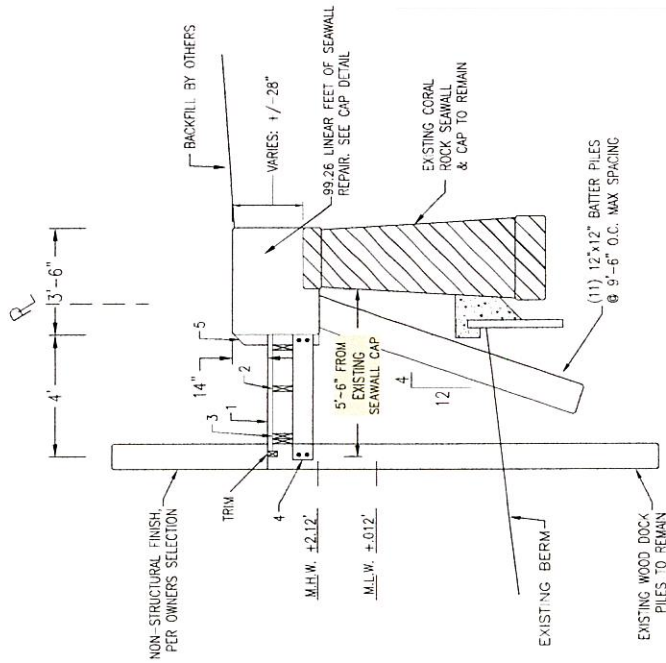
James D. Bushouse, State of Florida, Professional Engineer,  
License No. 20311. This item has been electronically signed &  
sealed by James D. Bushouse, P.E. using a Digital Signature.  
Printed copies of this document are not considered signed &  
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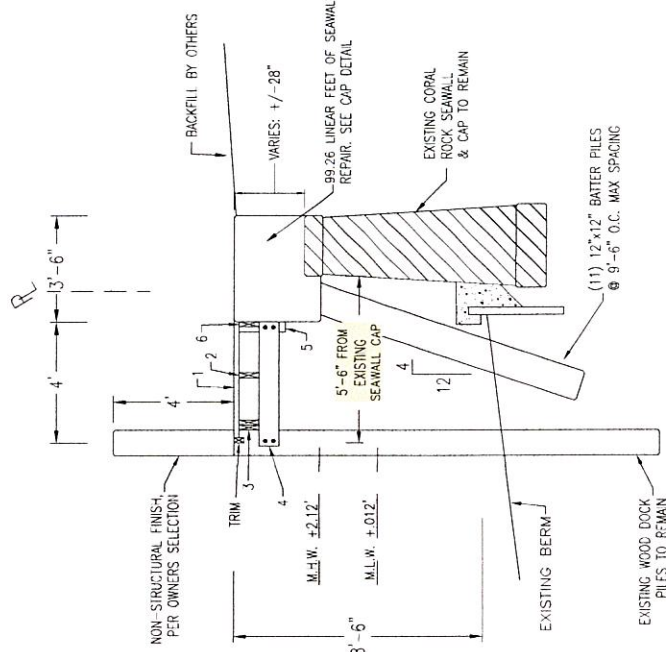
Proposed Site Plan  
Scale: 1" = 20'-0"



**Seawall - Dock Layout**  
Scale: 1/8" = 1'-0"



**Seawall - Lower Dock Section**  
Scale: 1/4" = 1'-0"



**Seawall - Dock Section**  
Scale: 1/4" = 1'-0"

**DOCK NOTES:**

1. 1"x6" decking with (2) #10x2-1/2" deck screws to each framing member
2. 2"x8" stringers @ 20" max spacing w/ (2) 16d toenails to each substringer
3. (2) 2"x8" stringer @ piles with 1/2" thru bolt to pile
4. 2"x8" substringers with (2) 1/2" thru bolts @ pile and drop hanger
5. 4"x10" drop hanger with (2) 1/2" wedge anchors into existing seawall cap, min. 4" embedment
6. 2"x8" ledger board w/ 1/2" wedge anchors @ 36" on center into existing seawall cap, min. 4" embedment

James D. Bushouse, Inc.  
CONSULTING ENGINEERS  
C.A. #27565  
2140 WESGWOOD BLVD.  
DELMAR BEACH, FL 33445  
(951) 908-2173  
P.O. BOX 1237  
MCKAY, FL 32459  
(904) 481-0242

Prepared For:  
Caribbean Marine Construction  
258 NE 40th Court  
Oakland Park, FL 33334

Seawall Repair / Wood Dock for  
DANIELS  
2648 SE 9th Street  
Pompano Beach, FL 33062

DATE	12/9/25
SCALE	AS NOTED
DRAWN BY	SB
CHECKED BY	JB
JOB NO.	24-12-113
SHEET	3 of 4

James D. Bushouse, State of Florida, Professional Engineer,  
License No. 20311. This item has been electronically signed &  
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DETAILS REMOVED FROM SCOPE OF WORK

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<p>DATE</p> <p>2/3/20</p>	<p>NOTES/REVISIONS</p> <p>COSTUME LEFT REMOVED</p>	<p>SCALE: AS NOTED</p> <p>DATE: 12/7/25</p> <p>DRAWN BY: SB</p> <p>CHECKED BY: JB</p> <p>JOB NO. 25-17-113</p>	<p>Seawall Repair / Wood Dock for                  DANIELS                  2648 SE 9th Street                  Pompano Beach, Fl. 33062</p>	<p>Prepared For:                  Caribbean Marine Construction                  258 NE 40th Court                  Oakland Park, FL 33334</p>	<p><b>James Bushouse, Inc.</b>                  CONSULTING ENGINEERS                  C.A. #27565</p> <p>3140 WEDGEWOOD BLVD. P.O. BOX 1237                  DELRAY BEACH, FL 33445 ARCADIA, FL 34285                  (561) 906-2473 (888) 461-8242</p>
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