

ZONING: RM-45
(MULTIPLE FAMILY RESIDENCE)

PALM AIRE DRIVE WEST

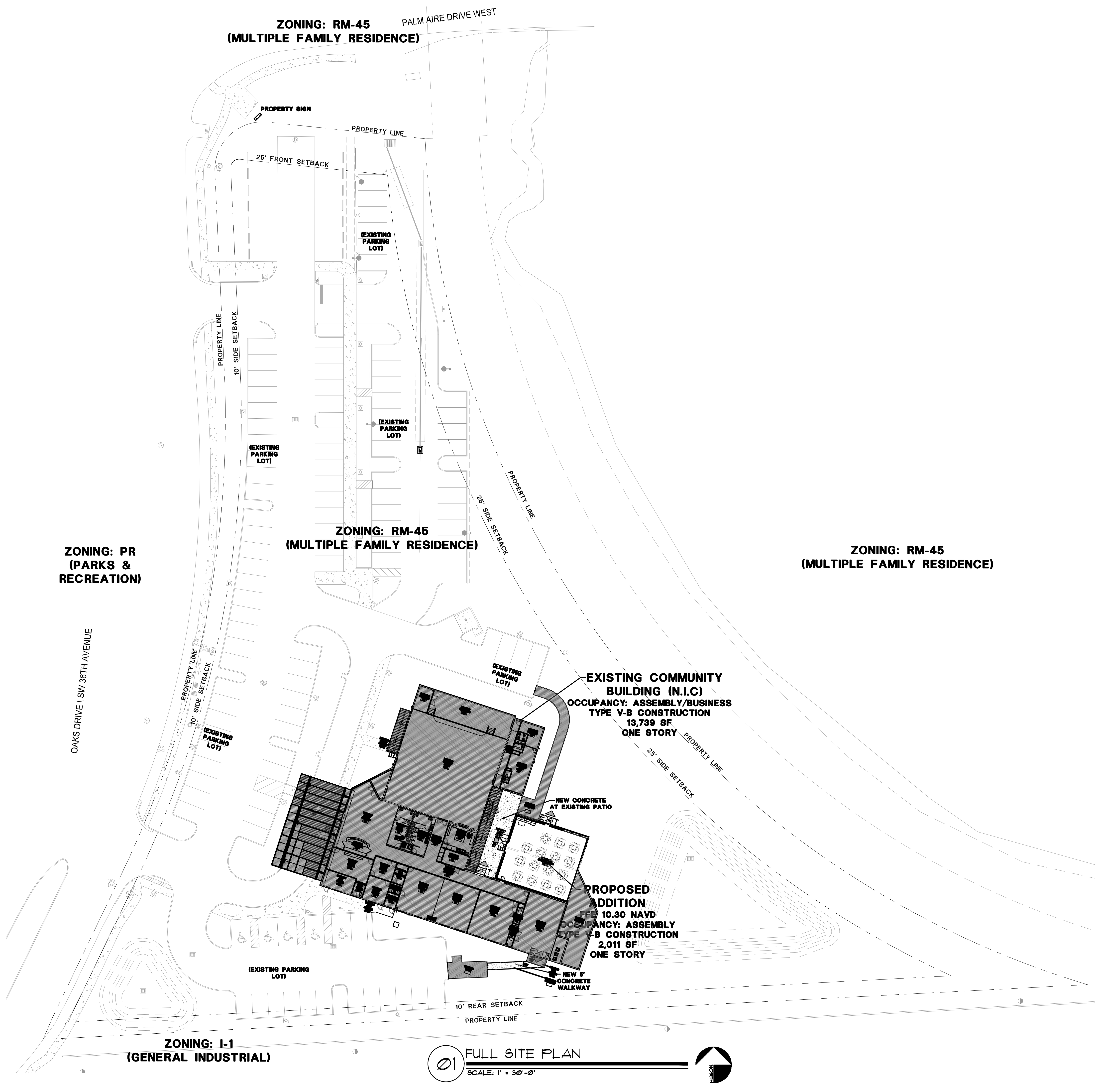
ZONING: PR
(PARKS & RECREATION)

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ZONING: I-1
(GENERAL INDUSTRIAL)

01 FULL SITE PLAN
SCALE: 1" = 30'-0"



SITE DESCRIPTION

PALM AIRE RECREATION CENTER
112-08 PARCEL A

BUILDING DATA

LIFE SAFETY AND OCCUPANCY

OCCUPANCY CLASSIFICATION	FBC 303.1.1/NFPA 6.1.2.1
ASSEMBLY - A2	
OFFICES - B	
OCCUPANT LOAD - 500	

CONSTRUCTION TYPE

TYPE VB - SPRINKERED	FBC 602.1
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BUILDING AREAS

COMMUNITY CENTER	AREA
	15,750 SF

SITE DATA

	ACRE	SQUARE FOOTAGE
NET SITE AREA	3.473	151,310 SF
ZONING	MULTI-FAMILY RESIDENCE (RM-45)	
LAND USE DESIGNATION	COMMUNITY CENTER	
EXISTING USE	COMMUNITY CENTER	
PROPOSED USE	COMMUNITY CENTER	
ABUTTING PROPERTIES	USE	ZONING
NORTH - PALM AIRE DRIVE W	--	--
SOUTH - 3545-3589 SW 10TH STREET	BUSINESS	I-1
EAST - CANAL	--	--
WEST - SW 36TH AVENUE	--	--

SETBACKS

	REQUIRED	PROVIDED
FRONT (NORTH)	25'-0"	342'-3"
SIDE - SW 36TH AVENUE (WEST)	10'-0"	114'-6"
SIDE - ABUTTING CANAL (EAST)	25'-0"	86'-5"
REAR (SOUTH)	10'-0"	32'-11"

LOT COVERAGE

	SQUARE FOOTAGE	% OF LOT
EXISTING BUILDING AREA	13,139 SF.	9.08%
ADDITION AREA	2,011 SF.	1.33%
TOTAL BUILDING AREA	15,150 SF.	10.41%
ALLOWABLE LOT COVERAGE	90,786 SF.	60%

LANDSCAPE

	SQUARE FOOTAGE	% OF LOT
PROPOSED PERVIOUS AREA	87,018 SF.	57.5%
REQUIRED PERVIOUS AREA	37,028 SF.	25%

PARKING CALCULATION

REQUIRED PARKING	SQUARE FOOTAGE	FACTOR (T 155.5/102.D.1)	CALCULATION	REQ'D SPACES
COMMUNITY CENTER	15,750	52.5 MAX.OCC.	15,750 / 300 = 52.5	53
SUBTOTAL MINIMUM REQUIRED PARKING SPACES				53
EXISTING 9' x 18' PARKING SPACES PROVIDED				113
EXISTING 12' x 18' PARKING SPACES PROVIDED				5
TOTAL EXISTING PARKING SPACES PROVIDED				118

PARKING CALCULATION (CIVIC)

REQUIRED PARKING	SQUARE FOOTAGE	FACTOR (T 155.5/102.D.1)	CALCULATION	REQ'D SPACES
CIVIC CENTER	15,750	1 PER 5 OF MAX. ASSEMBLY	3045/5 = 60.9	61
SUBTOTAL MINIMUM REQUIRED PARKING SPACES				61
EXISTING 9' x 18' PARKING SPACES PROVIDED				113
EXISTING 12' x 18' PARKING SPACES PROVIDED				5
TOTAL EXISTING PARKING SPACES PROVIDED				118

ALL LEGALS, CONDITIONS, AMENDMENTS AND PLANS INDICATED ON THESE PLANS SHALL BE OBSERVED BY THE CONTRACTOR AND SHALL BE A PART OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPLICABLE AGENCIES.

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ADDITION TO:
HERB SKOLNICK CENTER
800 SW 36TH AVENUE
POMPANO BEACH, FL 33069

DATE
08/15/2022

PERMIT 00/00/00
CONSTR 00/00/00

PROJECT NO.
22011

BY	REVISIONS	DATE

SHEET NO.
SP101

PRINTED: 5/4/2023 11:35 AM