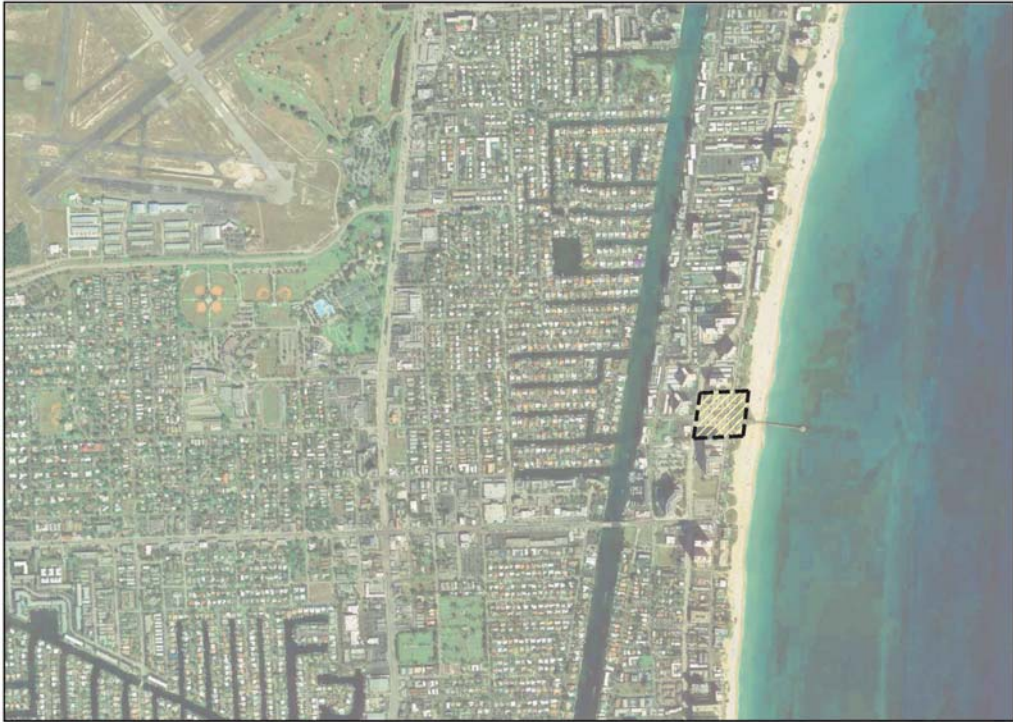



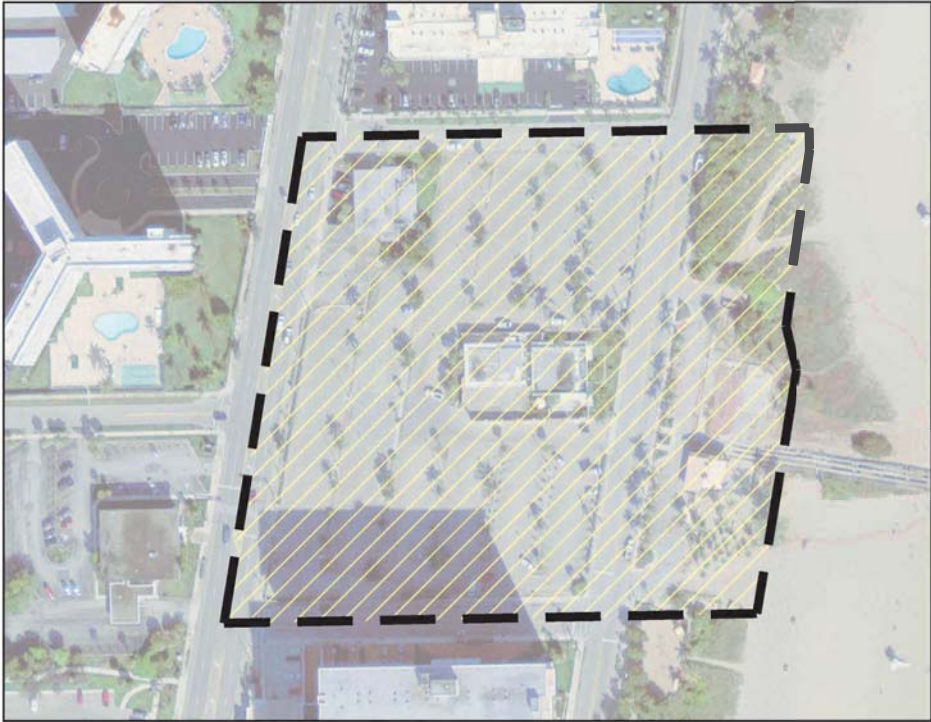


MASTER SITE PLAN REZONING

POMPANO BEACH, FL
APRIL 18, 2017



 PROJECT LOCATION - N.T.S.
NORTH



 PROJECT LOCATION - N.T.S.
NORTH

INDEX OF DRAWINGS:

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L - 0.02	ICW TO PIER PLAN
L - 0.03	EXISTING CONDITIONS
L - 0.10	TREE DISPOSITION LIST
L - 0.11	TREE DISPOSITION PLAN
L - 1.01	MASTER SITE PLAN
L - 1.10	CIRCULATION PLAN
L - 2.01	LAYOUT AND DIMENSIONING
L - 3.01	EXISTING COVERAGE
L - 3.02	PROPOSED COVERAGE
L - 4.01	PHASING PLAN
L - 5.00	LANDSCAPE NOTES
L - 5.01	TREE PLAN
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EXHIBIT "B"



AERIAL MAP



LEGEND

OR Land Use less than one acre

ZONING DISTRICTS

RESIDENTIAL ZONING DISTRICTS

- RS-1 - SINGLE-FAMILY RESIDENCE
- RS-2 - SINGLE-FAMILY RESIDENCE
- RS-3 - SINGLE-FAMILY RESIDENCE
- RS-4 - SINGLE-FAMILY RESIDENCE
- RS-5 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-6 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-7 - SPECIAL SINGLE-FAMILY RESIDENCE
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- RS-40 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-41 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-42 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-43 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-44 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-45 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-46 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-47 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-48 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-49 - SPECIAL SINGLE-FAMILY RESIDENCE
- RS-50 - SPECIAL SINGLE-FAMILY RESIDENCE

COMMERCIAL ZONING DISTRICTS

- C-1 - GENERAL BUSINESS
- C-2 - GENERAL BUSINESS
- C-3 - GENERAL BUSINESS
- C-4 - GENERAL BUSINESS
- C-5 - GENERAL BUSINESS
- C-6 - GENERAL BUSINESS
- C-7 - GENERAL BUSINESS
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- C-46 - GENERAL BUSINESS
- C-47 - GENERAL BUSINESS
- C-48 - GENERAL BUSINESS
- C-49 - GENERAL BUSINESS
- C-50 - GENERAL BUSINESS

INDUSTRIAL ZONING DISTRICTS

- I-1 - GENERAL INDUSTRIAL
- I-2 - GENERAL INDUSTRIAL
- I-3 - GENERAL INDUSTRIAL
- I-4 - GENERAL INDUSTRIAL
- I-5 - GENERAL INDUSTRIAL
- I-6 - GENERAL INDUSTRIAL
- I-7 - GENERAL INDUSTRIAL
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- I-50 - GENERAL INDUSTRIAL

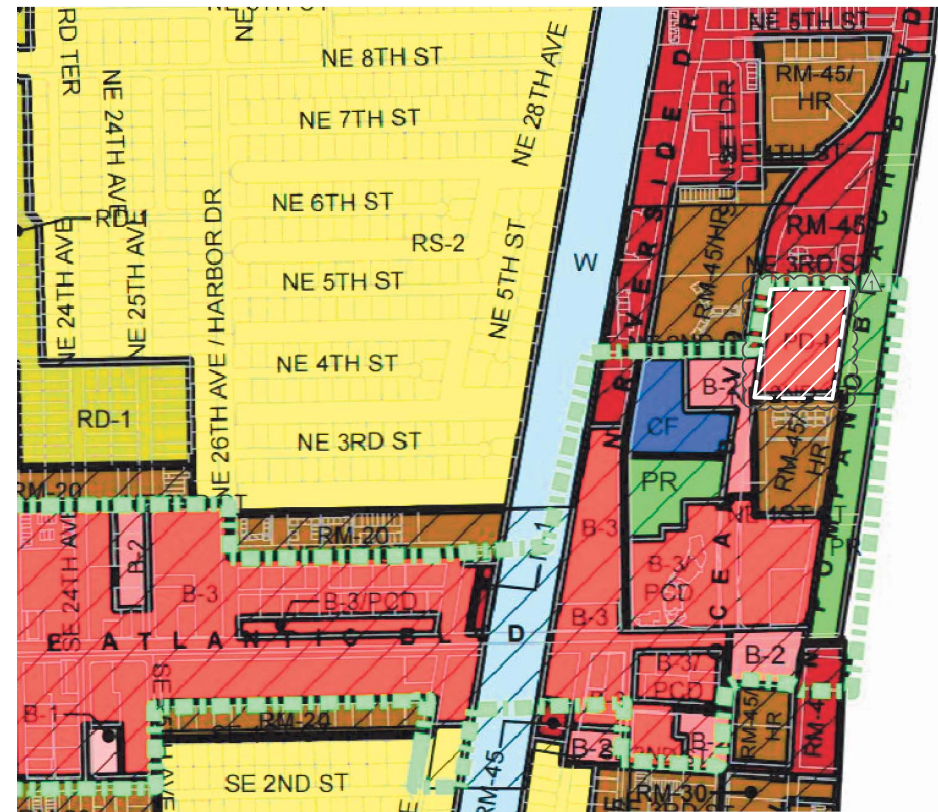
SPECIAL ZONING DISTRICTS

- SP-1 - SPECIAL ZONING DISTRICT
- SP-2 - SPECIAL ZONING DISTRICT
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- SP-50 - SPECIAL ZONING DISTRICT

PLANNED DEVELOPMENT DISTRICTS

- PD-1 - PLANNED DEVELOPMENT DISTRICT
- PD-2 - PLANNED DEVELOPMENT DISTRICT
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- PD-49 - PLANNED DEVELOPMENT DISTRICT
- PD-50 - PLANNED DEVELOPMENT DISTRICT

CITY LIMITS



ZONING MAP



LEGEND

OR Land Use less than one acre

TYPE

- Number
- L-LOW 1-5 DU/AC
- LM-MEDIUM 5-10 DU/AC
- M-MEDIUM 10-16 DU/AC
- MH-MEDIUM-HIGH 16-25 DU/AC
- H-HIGH 25-46 DU/AC
- IR-IRREGULAR DENSITY
- IRREG-IRREGULAR DENSITY
- C-COMMERICAL
- CR-COMMERICAL RECREATION
- I-INDUSTRIAL
- T-TRANSPORTATION
- U-UTILITIES
- CF-COMMUNITY FACILITIES
- DPTOC-DP TOC
- OR-RECREATION OPEN SPACE
- W-WATER
- RAC-REGIONAL ACTIVITY CENTER
- LAC-LOCAL ACTIVITY CENTER
- CITY LIMITS

LAND USE LEGEND



LAND USE MAP



Prepared for:

 Florida's Warmest Welcome

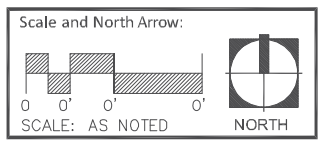
Clients:
 New Urban Communities

 CASTER developers

Consultants:
 EDSA, INC.
 Planning, Landscape Architecture, Urban Design
 1512 East Broward Boulevard
 Suite 110
 Fort Lauderdale, FL 33301
 CRAVEN THOMPSON & ASSOCIATES, INC.
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 3563 NW 53rd Street
 Fort Lauderdale, FL 33309
 BOUNDS + GILLESPIE ARCHITECTS, PLLC
 Architecture
 7975 Stage Hills Boulevard, Suite 4
 Memphis, TN 38133
 GONZALES ARCHITECTURE
 Architecture
 4304 NE 2nd Avenue
 Miami, FL 33137

Rev:	Date:	Description:	By:
1	05/31/17	REZONING AND BUILDING APPLICATION RESUBMITTAL	EDSA

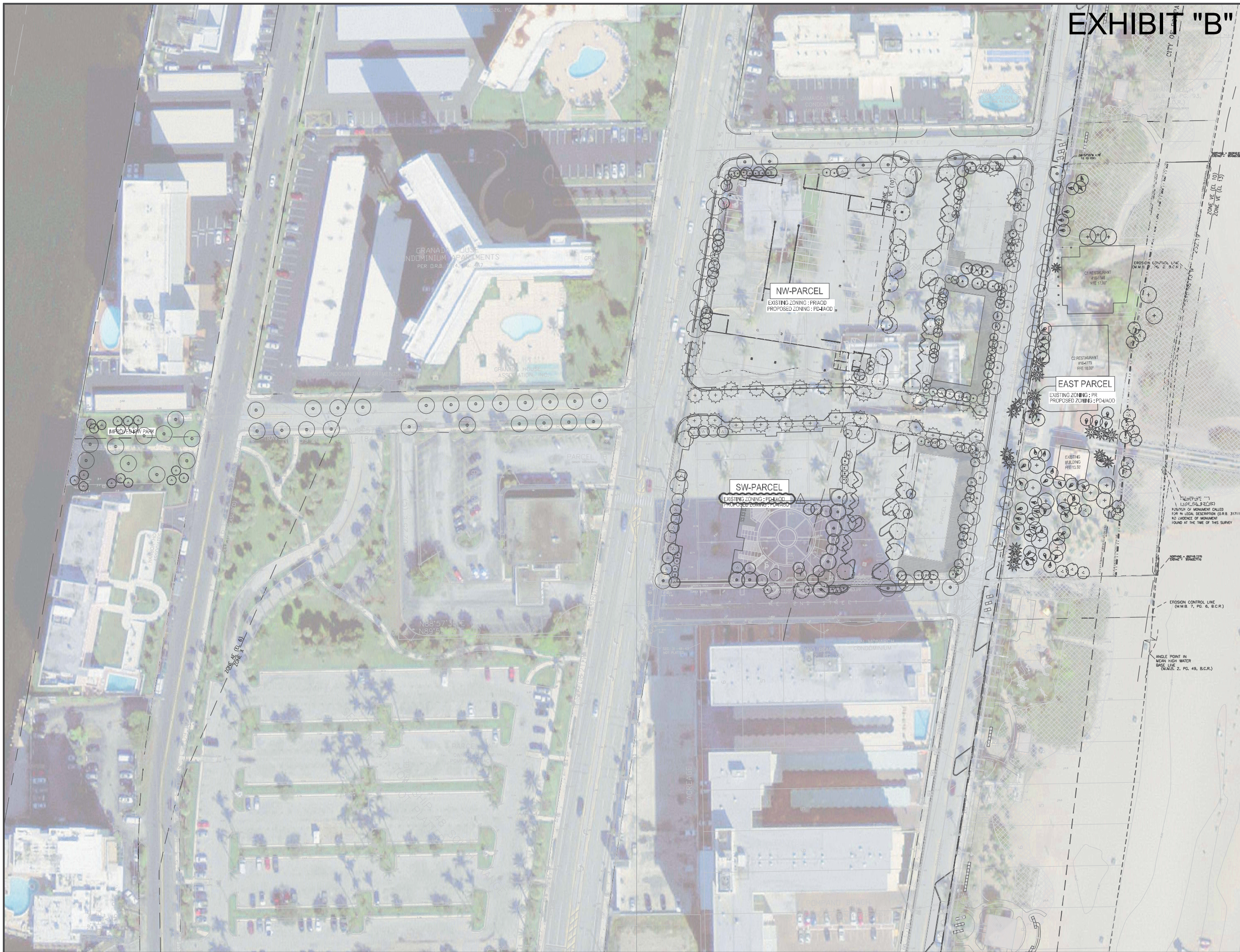
Sheet Title:
**MASTER SITE PLAN
 REZONING
 EXISTING ZONING
 MAP**



Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:
L-0.01

EXHIBIT "B"



Prepared for:



Clients:



Consultants:

EDSA, INC.
 Planning, Landscape Architecture, Urban Design
 1512 East Broward Boulevard
 Suite 110
 Fort Lauderdale, FL 33301

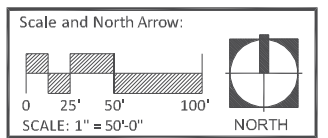
CRAVEN THOMPSON & ASSOCIATES, INC.
 Civil Engineering
 3563 NW 53rd Street
 Fort Lauderdale, FL 33309

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GONZALES ARCHITECTURE
 Architecture
 4304 NE 2nd Avenue
 Miami, FL 33137

Rev:	Date:	Description:	By:
1	05/31/17	REZONING AND BUILDING APPLICATION RESUBMITAL	EDSA

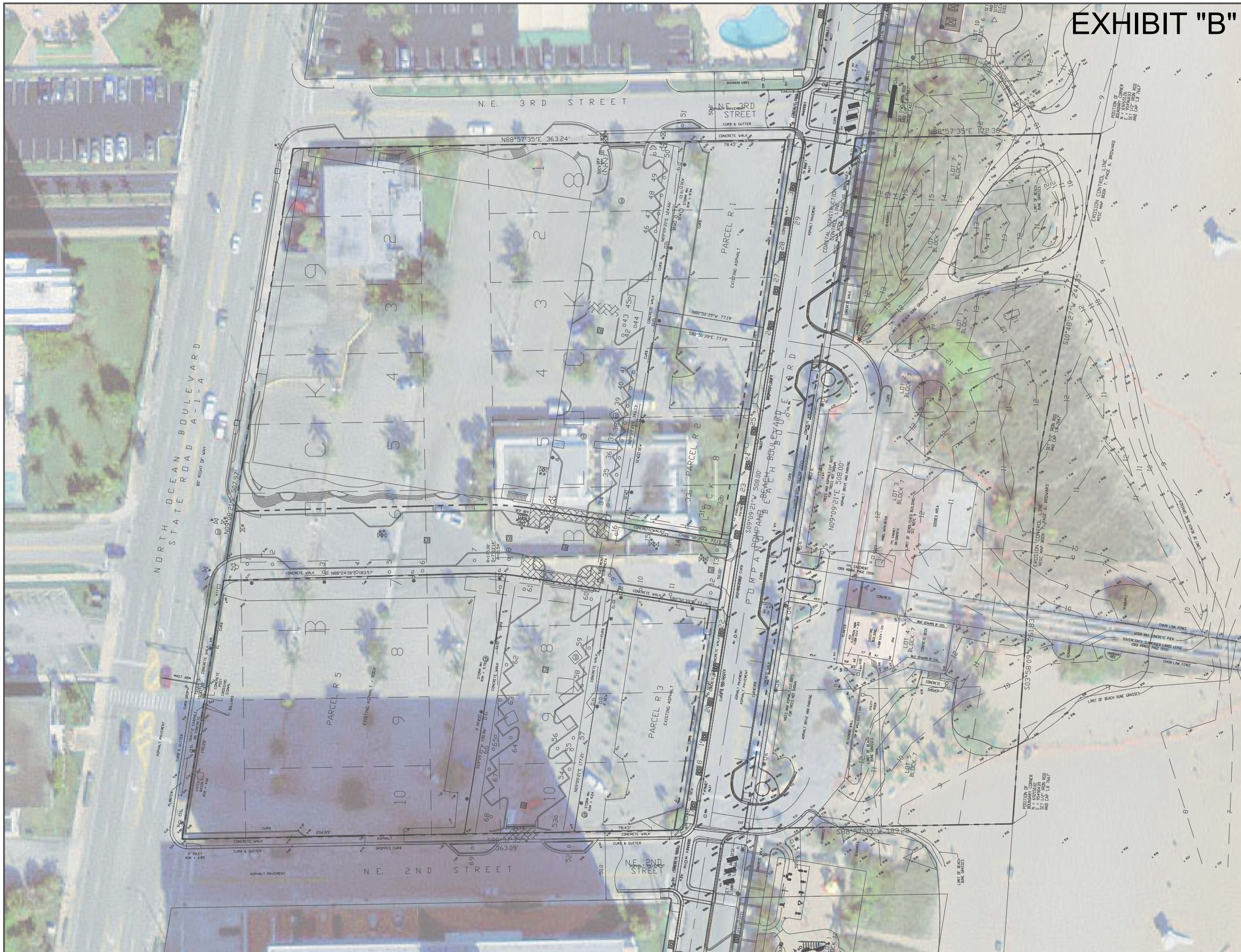
Sheet Title:
**MASTER SITE PLAN
 REZONING
 ICW TO PIER
 PLAN**



Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:
L-0.02

EXHIBIT "B"



Prepared for:



Clients:



Consultants:

EDSA, INC.
 Planning, Landscape Architecture, Urban Design
 1512 East Broward Boulevard
 Suite 110
 Fort Lauderdale, FL 33301

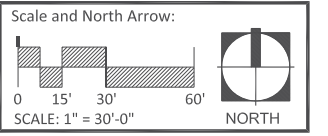
CRAVEN THOMPSON & ASSOCIATES, INC.
 CMI Engineering
 3563 NW 53rd Street
 Fort Lauderdale, FL 33309

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 Memphis, TN 38133

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 Architecture
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 Miami, FL 33137

Rev:	Date:	Description:	By:

Sheet Title:
**MASTER SITE PLAN
 REZONING
 EXISTING
 CONDITIONS**



Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:
L-0.03

EXHIBIT "B"

Tree #	Species/ Common	Scientific/ Botanical Name	DBH in.	Height ft.	Condition %	Appraised Value	Status	Notes
1	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
2	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
3	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
4	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
5	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
6	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
7	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
8	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
9	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
10	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
11	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
12	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
13	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
14	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
15	Silvester Palm	<i>Phoenix sylvestris</i>		18	80	\$2,520.00	Remain in place	
16	Coconut Palm	<i>Cocos nucifera</i>		18	80	\$150.00	Remain in place	
17	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
18	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
19	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
20	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
21	Coconut Palm	<i>Cocos nucifera</i>		17	60	\$150.00	Remain in place	
22	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
23	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
24	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
25	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
26	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
27	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
28	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
29	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
30	Coconut Palm	<i>Cocos nucifera</i>		18	60	\$150.00	Remain in place	
31	Coconut Palm	<i>Cocos nucifera</i>		18	50	\$150.00	Remove	
32	Montgomery Palm	<i>Veitchia montgomeryana</i>		5GW	40	\$90.00	Remove	
33	Montgomery Palm	<i>Veitchia montgomeryana</i>		5GW	40	\$90.00	Remove	
34	Live Oak	<i>Quercus virginiana</i>	4.5		50	\$475.00	Remain in place	
35	Green Buttonwood	<i>Concarpas erectus</i>	3		90	\$370.00	Remain in place	
36	Gumbo Limbo	<i>Bursera simarruba</i>	4.25		90	\$600.00	Remain in place	
37	Green Buttonwood	<i>Concarpas erectus</i>	3		90	\$370.00	Remain in place	
38	Gumbo Limbo	<i>Bursera simarruba</i>	4		90	\$600.00	Remain in place	
39	Green Buttonwood	<i>Concarpas erectus</i>	2.5		90	\$370.00	Remain in place	
40	Gumbo Limbo	<i>Bursera simarruba</i>	3.75		70	\$600.00	Remain in place	
41	Green Buttonwood	<i>Concarpas erectus</i>	3		80	\$370.00	Remain in place	
42	Gumbo Limbo	<i>Bursera simarruba</i>	4		70	\$600.00	Remain in place	
43	Gumbo Limbo	<i>Bursera simarruba</i>	4.5		80	\$600.00	Remain in place	
44	Gumbo Limbo	<i>Bursera simarruba</i>	4.25		70	\$600.00	Remain in place	
45	Live Oak	<i>Quercus virginiana</i>	4.75		90	\$475.00	Remain in place	
46	Green Buttonwood	<i>Concarpas erectus</i>	2.75		90	\$370.00	Remain in place	
47	Gumbo Limbo	<i>Bursera simarruba</i>	3.75		70	\$600.00	Remain in place	
48	Green Buttonwood	<i>Concarpas erectus</i>	2.75		80	\$370.00	Remain in place	
49	Gumbo Limbo	<i>Bursera simarruba</i>	4		70	\$600.00	Remain in place	
50	Live Oak	<i>Quercus virginiana</i>	5		50	\$475.00	Remain in place	
51	Green Buttonwood	<i>Concarpas erectus</i>	2.75		90	\$370.00	Remain in place	
52	Green Buttonwood	<i>Concarpas erectus</i>	3.5		80	\$370.00	Remain in place	
53	Live Oak	<i>Quercus virginiana</i>	4.75		10	\$95.00	Remain in place	
54	Green Buttonwood	<i>Concarpas erectus</i>	2.5		70	\$370.00	Remain in place	
55	Gumbo Limbo	<i>Bursera simarruba</i>	4		60	\$360.00	Remain in place	
56	Gumbo Limbo	<i>Bursera simarruba</i>	4		60	\$360.00	Remain in place	
57	Gumbo Limbo	<i>Bursera simarruba</i>	4.25		60	\$360.00	Remain in place	
58	Green Buttonwood	<i>Concarpas erectus</i>	2.5		90	\$370.00	Remain in place	
59	Green Buttonwood	<i>Concarpas erectus</i>	2.5		90	\$370.00	Remain in place	
60	Live Oak	<i>Quercus virginiana</i>	4.5		50	\$475.00	Remain in place	
61	Live Oak	<i>Quercus virginiana</i>	4.5		40	\$380.00	Remain in place	
62	Green Buttonwood	<i>Concarpas erectus</i>	2.25		90	\$370.00	Remain in place	
63	Green Buttonwood	<i>Concarpas erectus</i>	2.5		80	\$370.00	Remain in place	
64	Gumbo Limbo	<i>Quercus virginiana</i>	4		60	\$360.00	Remain in place	
65	Gumbo Limbo	<i>Quercus virginiana</i>	4		60	\$360.00	Remain in place	
66	Gumbo Limbo	<i>Quercus virginiana</i>	3.75		60	\$360.00	Remain in place	
67	Green Buttonwood	<i>Concarpas erectus</i>	2.5		70	\$370.00	Remain in place	
68	Live Oak	<i>Quercus virginiana</i>	4.75		10	\$95.00	Remain in place	
69	Green Buttonwood	<i>Concarpas erectus</i>	2.75		70	\$370.00	Remain in place	



Consultants:

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Sheet Title:

MASTER SITE PLAN REZONING TREE DISPOSITION LIST

Scale and North Arrow:

Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:

L-0.10

EXHIBIT "B"



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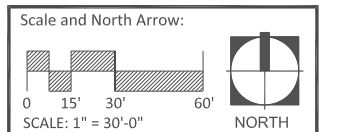
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Sheet Title:
**MASTER SITE PLAN
REZONING
TREE DISPOSITION
PLAN**



Date: 18 APR 2017	Designed By:
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Sheet Number:
L-0.11



TREE DISPOSITION NOTES:

- REFER TO THE TREE DISPOSITION TABLES ON L-0.10 FOR REFERENCE.
- THE CONTRACTOR SHALL CALL FOR AND ATTEND AN INSPECTION OF EXISTING CONDITIONS BY THE OWNER PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO IDENTIFICATION OF TREES, AND POTENTIAL OBSTRUCTIONS TO THE RELOCATION WORK. THE CONTRACTOR WILL PREPARE A REPORT OF EXISTING CONDITIONS AS A MATTER OF RECORD, TO INCLUDE PHOTOGRAPHS. THE CONTRACTOR WILL ACCEPT THE EXISTING CONDITIONS AS A REFERENCE POINT FOR CONDITION OF TREES, AND CONDITION OF THE SITE. EXISTING CONDITIONS WILL THEN BECOME THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP INTACT.
- CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND EXISTING TREES/PALMS.
- ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY INSTALLING PROTECTIVE BARRIERS AROUND THE DRIP LINE OF TREES PER DETAIL 3/ L9-1.05. TREE PROTECTION BARRIERS SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF DEMOLITION AND MAINTAINED THROUGHOUT CONSTRUCTION.
- ALL TREES SUBJECT TO ENCROACHMENT INTO THE ROOTZONE, DUE TO PROPOSED CONSTRUCTION, SHALL BE ROOT PRUNED 18" FROM THE PAVEMENT EDGE OR TRENCH AS INDICATED ON THE DRAWINGS AND HEREIN THESE SPECIFICATIONS.
- TREE PITS RESULTING FROM RELOCATED MATERIAL SHALL BE BACKFILLED WITH CLEAN, STABLE FILL AND BROUGHT FLUSH WITH SURROUNDING GRADE.
- CONTRACTOR SHALL FOLLOW THE AMERICAN STANDARD FOR TREE CARE OPERATIONS - TREE, SHRUB AND OTHER WOODY PLANT MAINTENANCE - STANDARD PRACTICES (TRANSPLANTING ANSI A300(PART 6)-2005 MUST BE ADHERED TO IN ITS ENTIRETY FOR ALL RELOCATING/TRANSPLANTING OF TREES AND SHRUBS. ANSI A300 (PART 6-2005 INCLUDES THE FOLLOWING: 60-TRANSPLANTING STANDARDS, 61-NORMATIVE REFERENCES, 62-DEFINITIONS, 63-TRANSPLANTING PRACTICES.
- EXISTING TREES TO BE RELOCATED SHALL BE CROWN PRUNED, ROOT PRUNED, AND TREATED WITH SOIL AMENDMENTS PRIOR TO RELOCATION. ALL TREES ARE TO BE TRIMMED BY THINNING THE CROWN ONLY, AND NOT BY REDUCING CROWN DIMENSIONS. TRIM TO CONFORM TO NAA AND ISA STANDARDS, INCLUDING REMOVAL OF DEAD WOOD.
 - ALL TREES TO BE RELOCATED ARE TO BE PROVIDED WITH AN AUTOMATIC IRRIGATION SYSTEM WHICH PROVIDES 3 BUBBLER HEADS FED BY PVC PIPE TO EACH TREE.
 - THE CONTRACTOR SHALL VERIFY A SOURCE OF MUNICIPAL OR WELL WATER AND PROVIDE FOR A TEMPORARY METER TO OPERATE THE IRRIGATION. WATER TO BE TREATED FOR SALT CONTENT, IF WELL WATER, IF LEVELS ARE NOT CONDUCTIVE TO PLANT MATERIAL GROWTH, AN ALTERNATE SOURCE OF WATER SHALL BE UTILIZED AT NO ADDITIONAL EXPENSE.
 - PROVIDE IRRIGATION TIMER, OR BATTERY POWERED VALVE TO WATER TREES TO BE RELOCATED. HAND WATERING IN LIEU OF AUTOMATIC SYSTEM SHALL NOT BE ALLOWED, HOWEVER HAND WATERING SHALL BE PERFORMED TO AVOID LAPSES SHOULD THE AUTOMATIC SYSTEM BE INOPERABLE FOR MORE THAN 24 HOURS.
- BARRICADES:
 - BARRICADES SHALL BE INSTALLED AT AN OFFSET DISTANCE OF 2' (TWO FEET) OUTSIDE THE TREE DRIP LINE/EDGE OF TREE CANOPY, PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - BARRICADE ALL EXISTING TREES AND PALMS WITH SIX FOOT (6') CHAIN LINK FENCE OR OTHER BARRICADE APPROVED BY OWNER.
- ROOT PRUNING TECHNIQUE:
 - ALL TREES SHALL BE EXCAVATED BY DIGGING A TRENCH A MINIMUM OF 48" DEEP BY 6" WIDE, EITHER BY HAND OR WITH A TRENCHING MACHINE DESIGNED FOR THIS PURPOSE. HAND CUT BROADLEAF TREE ROOTS AFTER TRENCHING TO PRODUCE CLEAN CUTS WITH NO SPLITS OR TEARS.
 - TREES TO BE ROOT PRUNED SHALL HAVE A MINIMUM ROOT BALL SIZE OF 10" PER 1" OF CALIPER MEASURED AT DBH FOR BROAD LEAF TREES, ROOT BALLS ARE TO BE FORMED SQUARE, ALL TRENCHES BEING EQUAL DISTANCE FROM THE TRUNK.
- TIMING:
 - ALL BROADLEAF TREES ARE TO BE RELOCATED SHALL BE MAINTAINED FOR A MINIMUM OF TWELVE (12) WEEKS AFTER ROOT PRUNING PRIOR TO RELOCATION.

LEGEND

- EXISTING PALM/TREE - REMOVE
- EXISTING PALM/TREE - PROTECT IN PLACE
- EXISTING PALM/TREE - RELOCATE

EXHIBIT "B"



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NOTES:
ALL PERMITTED PRINCIPAL COMMERCIAL USES, ACCESSORY USES AND STRUCTURES, AND TEMPORARY USES AND STRUCTURES AS PROVIDED FOR WITHIN THE CITY'S LAND USE PLAN AND THE PD-CATEGORY IN APPENDIX A: CONSOLIDATED USE TABLE OF THE ZONING ORDINANCE. ALL USES PROHIBITED IN THE AOD (155.3703.D.2.A) SHALL ALSO BE PROHIBITED IN THIS PD-I. IN ADDITION, OUTDOOR ENTERTAINMENT SHALL BE PERMITTED PROVIDED UNTIL 11 PM WEST OF POMPANO BEACH BOULEVARD AND 1 AM EAST OF POMPANO BEACH BOULEVARD, AND SALE OF FOOD AND DRINK SHALL BE PERMITTED ON THE BEACH IN THE BEACHFRONT AREA AS DESCRIBED IN ATTACHMENT 2 OF THE PD-I PLAN AND AGREEMENT AND AOD EXPANSION NARRATIVE.

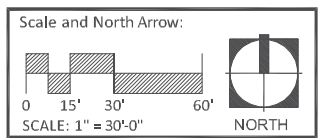
LIGHTING NOTES:
1. EXTERIOR LIGHTING WILL FULLY COMPLY WITH THE CITY OF POMPANO BEACH REVISED ZONING CODE DATED JULY 23, 2013 AND ENSURE THE SAFETY OF MOTORISTS, AND PEDESTRIANS AND MINIMIZE ADVERSE IMPACTS ON ADJACENT PROPERTIES. (ARTICLE 5, PART 4, CODE 155.5401)
2. EXTERIOR LIGHTING WILL FULLY COMPLY WITH THE CITY OF POMPANO BEACH REVISED ZONING CODE DATED JULY 23, 2013 AND REDUCE IMPACTS OF COASTAL LIGHTING ON THE NESTING AND HATCHING OF THREATENED AND ENDANGERED SEA TURTLES THROUGH RESTRICTIONS, CONSTRAINTS AND REQUIREMENTS TO PRESERVE AND PROTECT SEA TURTLE INHABITANTS. TO HELP DO SO, IT IS THE POLICY OF THE CITY THAT NO ARTIFICIAL LIGHT SHALL DIRECTLY ILLUMINATE ANY AREA OF THE INCORPORATED BEACHES OF THE CITY. (ARTICLE 5, PART 4, CODE 155.5402)
3. EXTERIOR LIGHTING WILL FULLY COMPLY WITH FDEP AND FWC SEA TURTLE LIGHTING REQUIREMENTS.

DIMENSIONAL AND DEVELOPMENT STANDARDS

STANDARD	REQUIREMENT
MAXIMUM PARCEL COVERAGE	95%
MAXIMUM FAR	3.0
MAXIMUM IMPERVIOUS AREA	95%
MINIMUM LOT AREA	1 ACRE
MINIMUM LOT WIDTH	100'
MAXIMUM BUILDING HEIGHT	55'
MAXIMUM BUILDING SIZE	250,000
ROW SETBACK	1'
INTERIOR SIDE SETBACK	0'
REAR SETBACK	0'

Rev:	Date:	Description:	By:
1	05/31/17	REZONING AND BUILDING APPLICATION RESUBMITTAL	EDSA

Sheet Title:
**MASTER SITE PLAN
REZONING
SITE PLAN**



Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:
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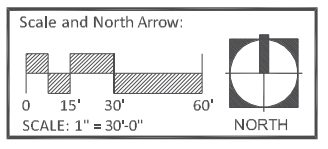
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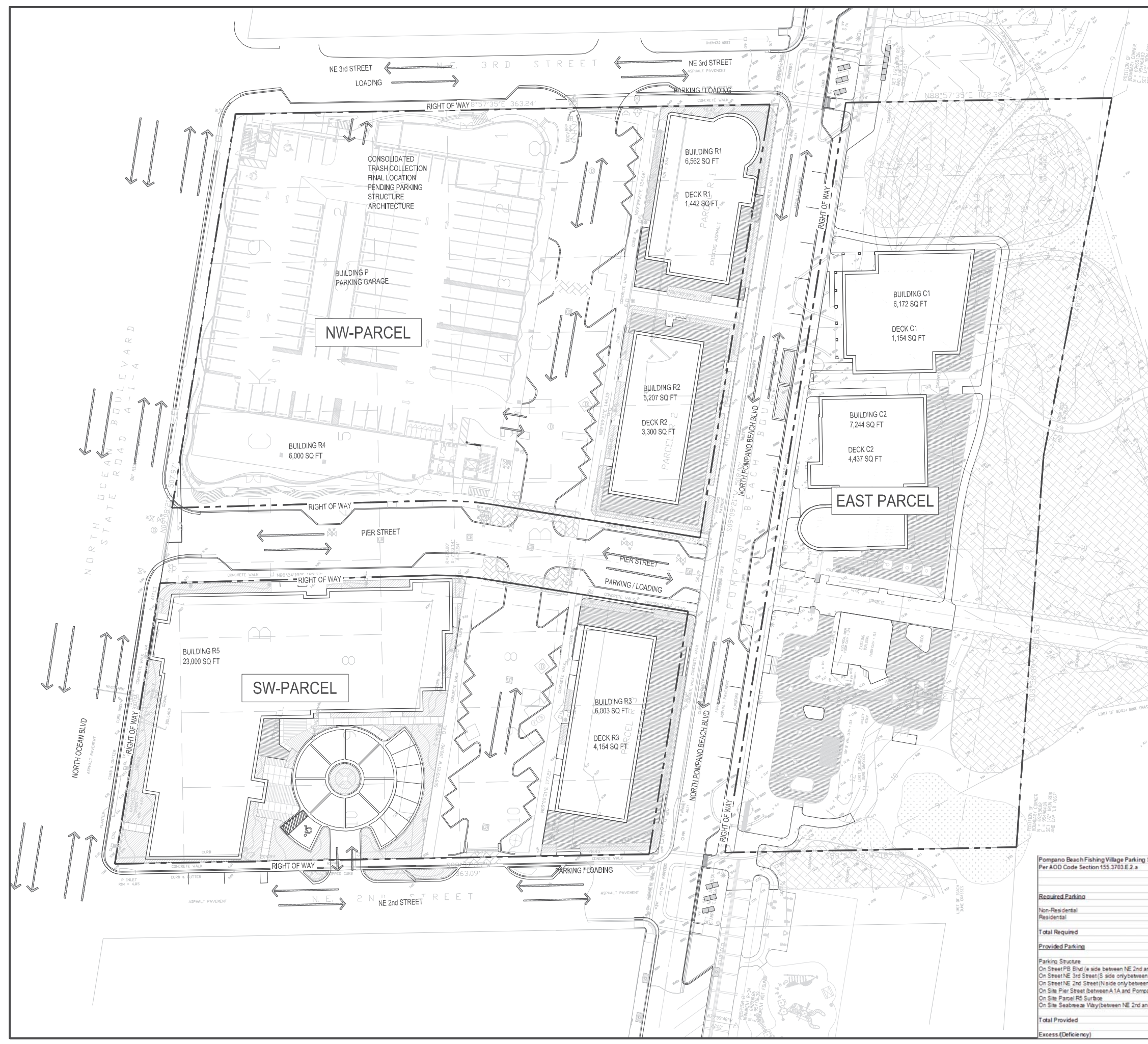
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Sheet Title:
**MASTER SITE PLAN
 REZONING
 CIRCULATION
 PLAN**



Date: 18 APR 2017 Designed By:
 Project No: 113037 Drawn By:

Sheet Number:
L-1.10



Pompano Beach Fishing Village Parking Summary
 Per AOD Code Section 155.3703.E.2.a

	SE	AOD Code Required Spaces Per SE or Unit	Total Required Spaces
Required Parking			
Non-Residential	139,936	0.001	140
Residential	0	0.001	0
Total Required			140
Provided Parking			
Parking Structure			613
On Street PB Blvd (e side between NE 2nd and 3rd Streets)			10
On Street NE 3rd Street (S side only between A1A and Pompano Beach Blvd)			6
On Street NE 2nd Street (N side only between A1A and Pompano Beach Blvd)			6
On Site Pier Street (between A1A and Pompano Beach Blvd)			14
On Site Parcel R5 Surface			11
On Site Seabee Way (between NE 2nd and NE 3rd Streets)			34
Total Provided			694
Excess (Deficiency)			554

EXHIBIT "B"



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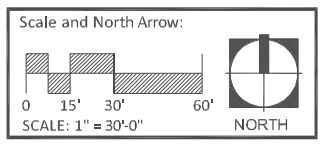
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Sheet Title:
**MASTER SITE PLAN
 REZONING
 LAYOUT PLAN**



Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:
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EXHIBIT "B"



EXISTING SITE CALCULATIONS - NW PARCEL

TOTAL BUILDING COVERAGE	8,764 SF	9.2%
TOTAL PAVED AREA	72,206 SF	75.4%
TOTAL IMPERVIOUS AREA	80,970 SF	84.6%
TOTAL LANDSCAPE/PERVIOUS AREA	14,770 SF	15.4%
TOTAL NW PARCEL AREA	95,740 SF	100.0%

EXISTING SITE CALCULATIONS - SW PARCEL

TOTAL BUILDING COVERAGE	0.00 SF	0.0%
TOTAL PAVED AREA	62,359 SF	95.5%
TOTAL IMPERVIOUS AREA	62,359 SF	95.5%
TOTAL LANDSCAPE/PERVIOUS AREA	2,947 SF	4.5%
TOTAL SW PARCEL AREA	65,306 SF	100.0%

TOTAL EXISTING CONDITIONS

TOTAL BUILDING COVERAGE	8,764 SF	5.4%
TOTAL PAVED AREA	134,565 SF	83.6%
TOTAL IMPERVIOUS AREA	143,329 SF	89.0%
TOTAL LANDSCAPE/PERVIOUS AREA	17,717 SF	11.0%
TOTAL PROJECT AREA	161,046 SF	100.0%



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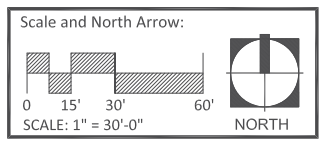
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**MASTER SITE PLAN
 REZONING
 EXISTING
 COVERAGE**



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Project No: 113037	Drawn By:

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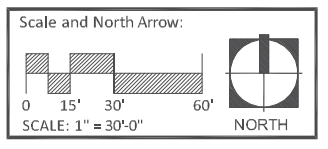
PROPOSED SITE CALCULATIONS - NW PARCEL			
	TOTAL BUILDING COVERAGE	67,774 SF	63%
	TOTAL PAVED AREA	33,024 SF	31%
	TOTAL IMPERVIOUS AREA	100,798 SF	94%
	TOTAL LANDSCAPE/PERVIOUS AREA	6,361 SF	6%
	TOTAL NW PARCEL AREA	107,159 SF	100%

PROPOSED SITE CALCULATIONS - SW PARCEL			
	TOTAL BUILDING COVERAGE	33,715 SF	52%
	TOTAL PAVED AREA	24,032 SF	36%
	TOTAL IMPERVIOUS AREA	57,747 SF	88%
	TOTAL LANDSCAPE/PERVIOUS AREA	7,580 SF	12%
	TOTAL SW PARCEL AREA	65,327 SF	100%

TOTAL PROPOSED CONDITIONS			
	TOTAL BUILDING COVERAGE	101,489 SF	59%
	TOTAL PAVED AREA	57,056 SF	33%
	TOTAL IMPERVIOUS AREA	158,545 SF	92%
	TOTAL LANDSCAPE/PERVIOUS AREA	13,941 SF	8%
	TOTAL PROJECT AREA	172,486 SF	100%

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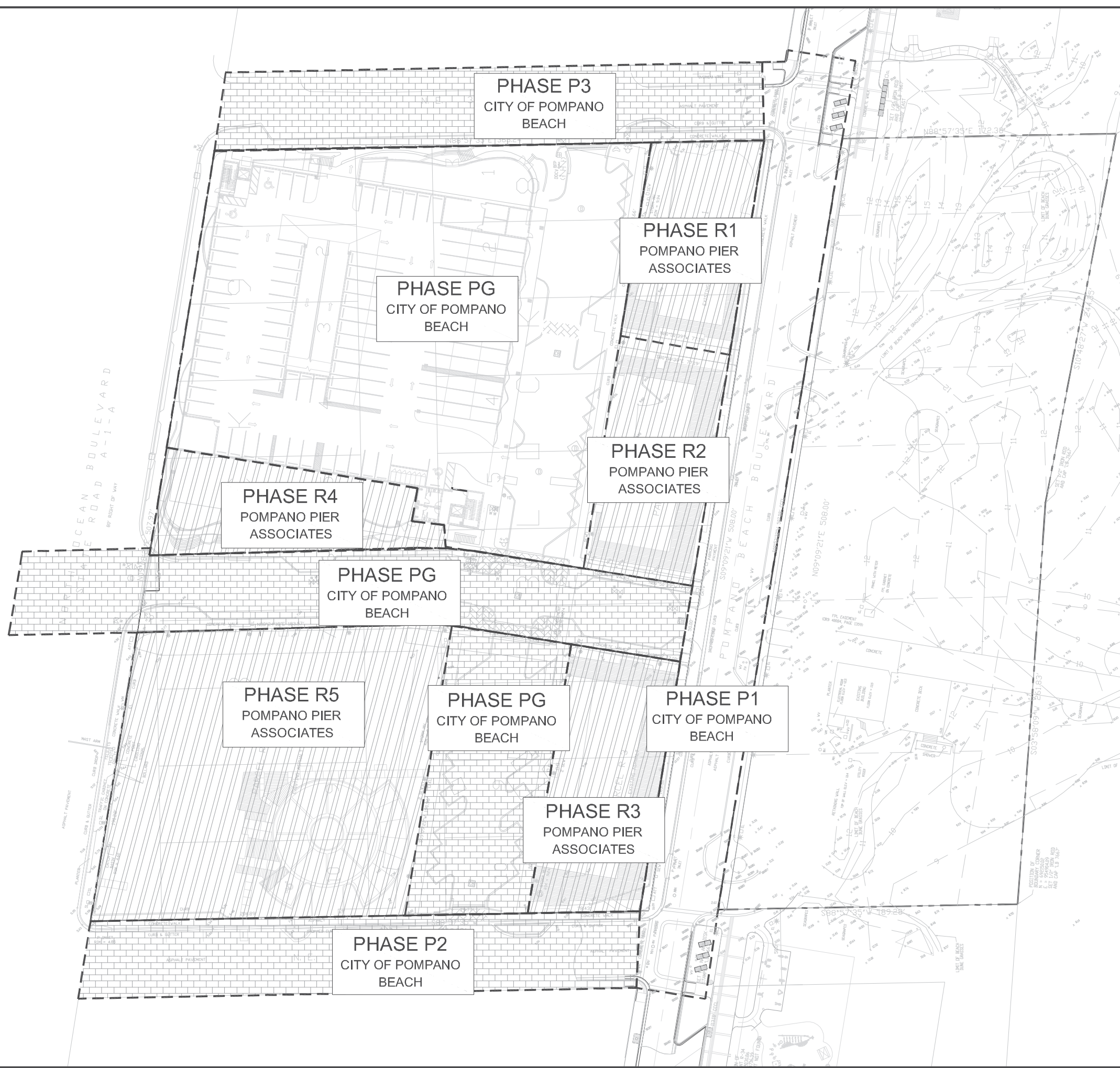
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**MASTER SITE PLAN
 REZONING
 PROPOSED
 COVERAGE**



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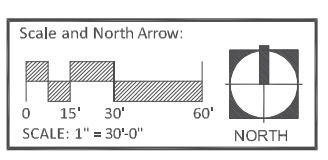
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Sheet Title:
**MASTER SITE PLAN
 REZONING
 PHASING PLAN**



Date: 18 APR 2017
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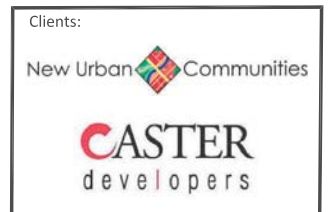
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EXHIBIT "B"

PLANTING NOTES:

1. ALL PLANTS SHOULD BE HEALTHY, OF STRONG MATERIAL, FREE OF PLAGUE AND SICKNESS. ALL PLANTS MUST BE IN COMPLETE AND STRICT ACCORDANCE WITH ARTICLE NO. 1 OF FLORIDA'S "QUALITY STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE DEPARTMENT OF AGRICULTURE AND SERVICES FOR CONSUMERS. IN SOME INSTANCES THE PLANTS MUST BE OF SUPERIOR QUALITY THAN NO. 1 TO BE ABLE TO ACHIEVE THE MINIMAL REQUIREMENT FOR THIS PROJECT.
2. THE CONTRACTOR IS RESPONSIBLE FOR THE PLANTS MEETING THE SPECIFICATIONS AS NOTED PRIOR TO THEIR INSTALLATION. THE CONTRACTOR MUST IMMEDIATELY REMOVE ANY PLANT THAT DOES NOT MEET THE SPECIFICATIONS.
3. ALL ROOT BALLS MUST BE IN ACCORDANCE TO THE SIZE STANDARDS ESTABLISHED IN "AMERICAN STANDARDS FOR NURSERY PLANTS".
4. THE CONTRACTOR MUST PRESENT TO THE LANDSCAPE ARCHITECT THE INSPECTION CERTIFICATE FROM THE NURSERY AND/OR THE STATE OF ALL PLANTS TWO (2) WEEKS PRIOR TO COMMENCEMENT OF WORK.
5. ALL PLANTS MUST BE PROTECTED DURING THEIR TRANSPORT AND TAKEN TO THE SITE COVERED WITH A CLOTH FOR SHADE OR OTHER PREVENTIVE FORM TO PROTECT THE PLANTS AGAINST WIND BURN.
6. THE CONTRACTOR MUST VERIFY ALL INFORMATION ON SITE BEFORE INSTALLATION BEGINS. ALL EXISTING PLANTS MUST REMAIN INTACT AND UNDISTURBED UNLESS IT IS SPECIFIED IN THE PLANS.
7. ANY SUBSTITUTION OF SIZE AND/OR PLANT TYPE MUST BE PRE-APPROVED BY THE LANDSCAPE ARCHITECT. ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE THEY ARE PLANTED.
8. THE LANDSCAPE CONTRACTOR MUST PLACE STAKES ON THE PLANT LOCATION BEFORE THE PLANTING BEGINS FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT.
9. ALL TREES MUST HAVE STRAIGHT, LEAFY TRUNKS, AND MUST MEET ALL THE SPECIFIED REQUIREMENTS.
10. BEFORE CONSTRUCTION BEGINS, THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND MUST AVOID DAMAGING ANY SERVICES DURING CONSTRUCTION. IF ANY DAMAGE OCCURS BY FAULT OF THE CONTRACTOR, THE NECESSARY REPAIR MUST TAKE PLACE AT THE CONTRACTOR'S EXPENSE AND UNDER THE SUPERVISION OF THE LANDSCAPE ARCHITECT.
11. INSTALLATION -ALL PLANTS MUST BE INSTALLED PROFESSIONALLY AND WITH GREAT CARE AND OF THE QUALITY PREVIOUSLY DESCRIBED. ALL LANDSCAPE ELEMENTS MUST BE INSTALLED IN A WAY TO MEET ALL REQUIRED CODES AND ORDINANCES .
12. TYPICALLY, THE PLANTING OF SHRUBS AND GROUNDCOVER ARE SHOWN AS PLANTING BED LAYERS. THE PLANTS MUST BE PLACED IN A TRIANGULAR SPACING CONFIGURATION (IRREGULAR SPACING) AS SHOWN IN THE PLANTING DETAILS. THE DIMENSIONS FROM CENTER TO CENTER (O.C.) OF THE PLANTS CAN BE FOUND IN THE PLANT LIST.
13. THE CONTRACTOR MUST SECURE THE DRAINAGE AND PERCOLATION OF ALL PLANTING WELLS PRIOR TO THE PLANT INSTALLATION. THE CONTRACTOR MUST FILL ALL WELLS WITH WATER BEFORE PLANTING TO MAKE SURE THAT DRAINAGE AND PERCOLATION ARE FEASIBLE AND FIX WHATEVER IS NECESSARY TO ACCOMPLISH THIS. THE CONTRACTOR IS RESPONSIBLE TO REPLACE ANY PLANT LOST DUE TO INADEQUATE DRAINAGE CONDITIONS.
14. ANY TREE THAT HAS BEEN PLANTED IN A GROW BAG OR SIMILAR MATERIAL MUST HAVE THE BAG COMPLETELY REMOVED PRIOR TO ITS PLANTING.
15. THE TOP HALF PART OF THE BURLAP HAS TO BE CUT OR REMOVED SURROUNDING THE TRUNK FROM THOSE PLANTS THAT HAVE BURLAP OR ARE INSIDE BAGS. IT SHOULDNT BE TOTALLY REMOVED. WIRE CAGES, STRAPS, ETC. SHOULD BE CUT AND REMOVED BEFORE INSTALLATION.
16. THE CONTRACTOR SHOULD REPLACE ANY PLANT THAT IS NOT APPROVED WITHIN A WEEK OF BEING NOTIFIED.
17. THE CONTRACTOR SHOULD REFER TO THE LANDSCAPE PLANTING DETAILS, PLANT LIST, NOTES AND PLANTING SPECIFICATIONS FOR COMPLETE INSTRUCTIONS ON THE LANDSCAPE PLANTING.
18. FERTILIZATION
 PALMS 13-3-13 PLUS LOWER ELEMENTS -SLOW DISCHARGE 0.2 KG FERTILIZER BY 1CM REGULATOR
 SHRUBS AND GROUNDCOVER 8-10-10 PLUS LOWER ELEMENTS-SLOW DISCHARGE 0.5KG FERTILIZER BY 10 M2
 TREES 8-8-8 PLUS LOWER ELEMENTS - SLOW DISCHARGE 0.2 KG FERTILIZER BY 1 CM REGULATOR
 GRASS 16-4-8 PLUS LOWER ELEMENTS - SLOW DISCHARGE 0.5 KG FERTILIZER BY 100 M2
 *THE COST OF THE LANDSCAPE FERTILIZER PREVIOUSLY DESCRIBED SHOULD BE INCLUDED IN THE PRICE OF THE PLANT.

19. PREPARATION AND MIXTURE OF THE PLANT SOIL.
 - A. APPLY "ROUNDUP" (MANUFACTURED BY MONSANTO CORP) OR SIMILAR PESTICIDE APPROVED ACCORDING TO THE PORCENTAGE AND SPECIFICATIONS BY THE MANUFACTURER WITHIN THE LIMITS OF ALL THE AREAS THAT WILL BE PLANTED. PROTECT ALL PLANTS FROM OVER-WATERING OR WATER WITHIN THE ROOT ZONE, THE CONTRACTOR MUST MAKE SURE TO ERRADICATE ALL WEEDS.
 - B. BEFORE REPLACING THE SUPERIOR PLANT SOIL, THE SURFACE MUST BE RAKED TO REMOVE ALL ROCKS (25 MM IN DIAMETER OR GREATER), DEBRIS, GARBAGE AND REMAINS FROM PLANTS THAT WERE REMOVED.
 - C. RAKE THE SUBSOIL TO A DEPTH OF 75 MM.
 - D. THE CONTRACTOR MUST APPLY PRE-EMERGENT PESTICIDE APPROVED ACCORDING TO THE PORCENTAGES AND SPECIFICATIONS OF THE MANUFACTURER.
 - E. THE PLANT SOIL MIX FOR TREES, SHRUBS AND GROUNDCOVER SHOULD BE THOROUGHLY PREPARED CONSISTING OF:
 1. ROYAL PALMS
60% CLEAN SAND D.O.T.
40% SUPERFICIAL LAYER OF SOIL/COMPOSED OF APPROVED SOLID WASTE
 2. ALL OTHER PALMS
90% CLEAN SAND D.O.T.
10% SUPERFICIAL LAYER OF SOIL/COMPOSED OF APPROVED SOLID WASTE
 3. SHRUBS AND GROUNDCOVER
70% CLEAN SAND D.O.T.
30% SUPERFICIAL LAYER OF SOIL /COMPOSED OF APPROVED SOLID WASTE
 THE CONTRACTOR MUST PRESENT SAMPLES OF THE PLANT 501 L MIX PREPARED IN THE LABORATORY TO THE LANDSCAPE ARCHITECT FOR APPROVAL.
 - F. THE MIX COMPOSED OF WASTE SHOULD BE FREE OF NEMATODES THAT COULD BE PERJUDICIAL TO PLANT GROWTH. MUST BE OF UNIFORM QUALITY AND SHOULD HAVE A PH VALUE BETWEEN 5.3 AND 6.5 (AS DETERMINED ACCORDING TO ASTM E70) FLORIDA MOSS MUST BE STERILIZED TO BE FREE OF ALL VIABLE NUT GRASS AND OTHER UNDESIRABLE WEEDS.
 - G. SUPERFICIAL LAYER OF PLANT SOIL SHOULD BE NATURAL, FERTILE, AND CAPABLE TO SUSTAIN THE VIGOROUS GROWTH OF PLANTS. IT MUST HAVE A UNIFORM COMPOSITION MIXED WITH SUBSOIL. IT MUST BE FREE OF ROCKS, LUMPS, LIVE PLANTS AND ROOTS, BRANCHES AND OTHER FOREIGN MATERIAL. EXTEND THE SUPERFICIAL LAYER OF SOIL MIX TO A MINIMUM DEPTH OF 75 MM ACROSS ALL AREAS AND 150 MM IN ALL THE PLANTING BEDS FOR SHRUBS AND GROUNDCOVER. REMOVE ALL ROCKS AND OTHER OBJECTS WITH MORE THAN 25MM IN DIAMETER.
 - H. SMOOTH THE SUPERFICIAL LAYER OF PLANT SOIL TO 100MM BELOW THE EDGES OF THE ADJACENT PAVEMENT.
 - I. THE FINAL GRADING OF THE PREPARED SUPERFICIAL LAYER OF PLANT SOIL SHOULD BE A SMOOTH AND EVEN SURFACE TO MAKE SURE THAN THERE IS POSITIVE DRAINAGE AWAY FROM ANY STRUCTURES AND ELIMINATE ANY LOW AREAS THAT CAN COLLECT WATER.
 - J. SMOOTH THE SUPERFICIAL LAYER OF PLANT SOIL MIX TO 150 MM BELOW THE FINAL LEVEL IN THE GRASS AREAS.
 - K. THE SUPERFICIAL LAYER OF PLANT SOIL SHOULD NOT HAVE HIGH LEVELS OF ACID OR ALKALINE NOR CONTAIN ANY TOXIC SUBSTANCES THAT COULD BE HAZARDOUS TO PLANT GROWTH. THE PH LEVEL SHOULD BE BETWEEN THE RANGE OF 5.5 TO 6.5. IF NECESSARY, THE CONTRACTOR SHOULD MAKE THE APPROPRIATE CORRECTIONS TO THE PH LEVEL OF THE TOP LAYER ADJUSTING THE PH TO BE BETWEEN 5.5 A 6.5.
20. THE PRACTICE OF STAKING SHOULD NOT ALLOW NAILS, SCREWS, WIRES, ETC. TO PENETRATE THE OUTER SURFACE OF THE TREES OR PALMS. THE TREES OR PALMS THAT ARE REJECTED DUE TO THIS PRACTICE SHOULD BE REPLACED IN THE PRESENCE OF AN INSPECTOR.
21. THE CONTRACTOR MUST LAY FERTILIZER MIXED WITH MALALEUCA MULCH FREE OF ANY WEEDS THROUGHOUT ALL PLANTING AREAS AT A MINIMUM DEPTH OF 75 MM.
22. THE CONTRACTOR IS RESPONSIBLE OF COMPLETELY MAINTAINING THE PLANTING AREAS (INCLUDING WATERING, SPRAYING, FERTILIZING, MOWING, ETC.) UNTIL THE WORK HAS BEEN ACCEPTED COMPLETELY UNTIL THE END OF THE PERIOD.
23. ESTABLISHED BY THE ENGINEER AND LANDSCAPE ARCHITECT FOR THE PROJECT.
24. THE CONTRACTOR MUST GUARANTEE ALL THE PLANTS FOR A 90 DAY SETTLING PERIOO AFTER THE COMPLETION DATE.
25. THE CONTRACTOR MUST REQUEST INSPECTION OF THE PROJECT IN WRITING. IF ALL WORK IS SATISFACTORY AND COMPLETE ACCORDING TO THE CONDITIONS OF THE CONTRACT DOCUMENTS, THEN THE OWNER AND THE LANDSCAPE ARCHITECT MUST DECLARE THE PROJECT COMPLETE. THIS DECLARATION WILL CONSTITUTE AS THE BEGINNING OF THE GUARANTEE PERIOD.
26. DURING THE REMOVAL OF THE STAKES OR STRAPS FOR THE TREES AND PALMS AFTER THE INSTALLATION PERIOD WILL BE THE RESPONSIBILITY OF THE OWNER.
27. ALL PLANTS MUST BE OF FLORIDA QUALITY NO.1 OR BITTER IN THE MOMENT OF INSTALLATION AND SHOULD BE MAINTAINED IN THE SAME CONDITION UNTIL THE PROJECT HAS BEEN ACCEPTED. IF THE PLANTS FALL BELOW QUALITY DURING THE MAINTENANCE PERIOD THEY WILL BE REJECTED AND MUST BE REPLACED.



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Rev:	Date:	Description:	By:

Sheet Title:

MASTER SITE PLAN REZONING LANDSCAPE DETAILS

Scale and North Arrow:

Date: 18 APR 2017	Designed By:
Project No: 113037	Drawn By:

Sheet Number:

L-5.00

EXHIBIT "B"



Prepared for:



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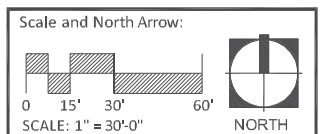
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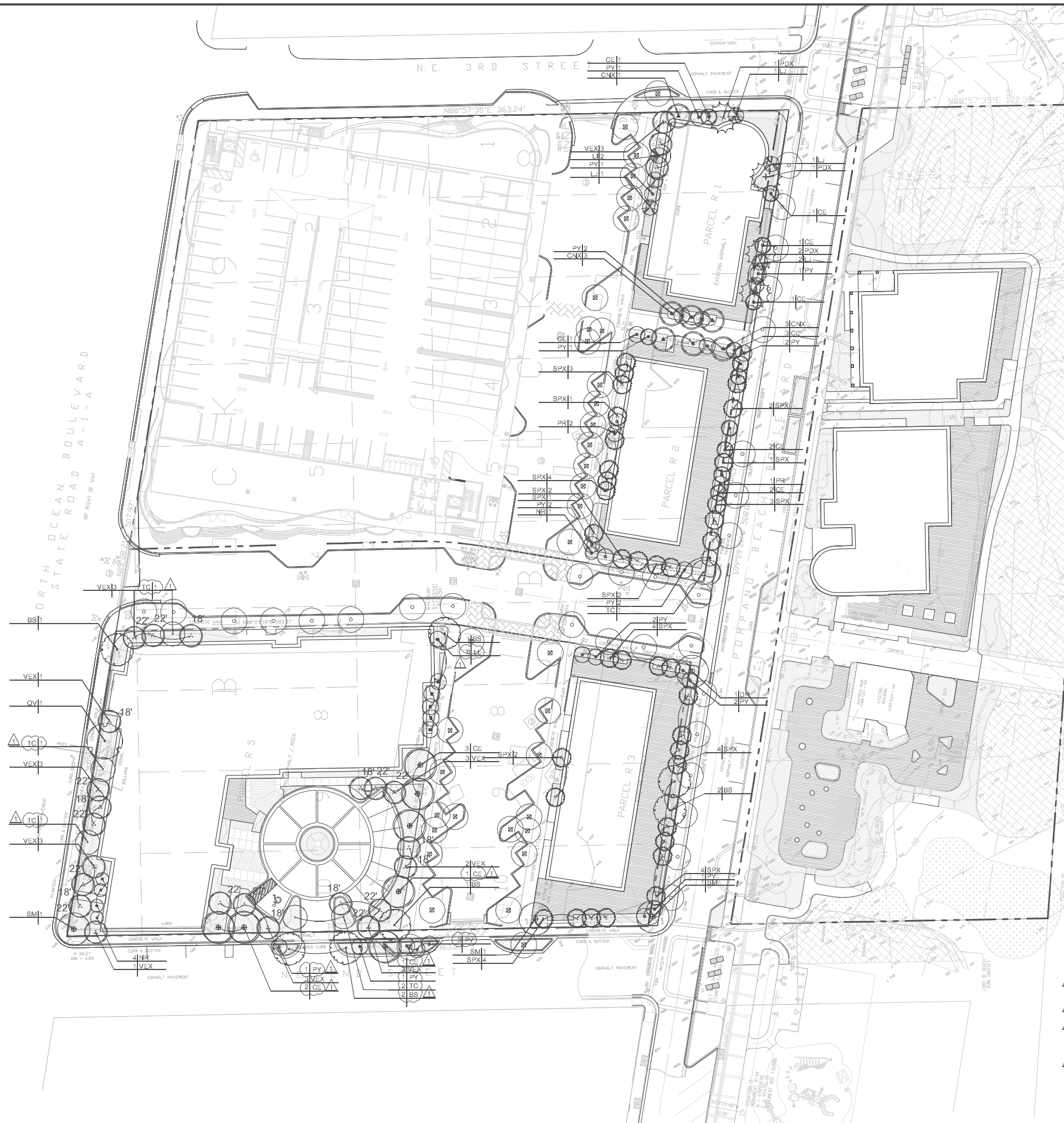
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Sheet Title:
**MASTER SITE PLAN
REZONING
TREE PLAN**



Date: 18 APR 2017 Designed By:
Project No: 113037 Drawn By:

Sheet Number:
L-5.01



- IRRIGATION NOTES:**
1. LANDSCAPING SHALL BE KEPT IN HEALTHY GROWING CONDITIONS THROUGH APPROPRIATE IRRIGATION BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM INSTALLED IN ACCORDANCE WITH REQUIREMENTS OF THE BUILDING CODE.
 2. THE IRRIGATION SYSTEM SHALL INCLUDE A RAIN-SENSING CUTOFF DEVICE THAT SHALL BE LOCATED AND INSTALLED SO THAT BUILDING EAVES, BALCONIES, AND SIMILAR OVERHANGS DO NOT INTERFERE WITH EFFECTIVE OPERATION OF THE DEVICE.
 3. THE IRRIGATION SYSTEM SHALL BE PROPERLY MAINTAINED IN GOOD WORKING ORDER AND PROVIDE A MINIMUM COVERAGE OF 100 PERCENT WITH 50 PERCENT OVERLAP.
 4. WATER USED FOR IRRIGATION SHALL BE RUST-FREE EXCEPT WHERE DEEMED UNNECESSARY BY THE DEVELOPMENT SERVICES DIRECTOR.
 5. WATER USED FOR IRRIGATION SHALL BE REUSE WATER WHEREVER PRACTICABLE.

TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	CALL
BS	7	Bursaria sinuata	Sumbo Limbo	8&B	8' HT	8'
CE	19	Conocarpus erectus	Buttonwood	FG	4'-10' O.C.L.	8'-4"
DR	1	Delonix regia	Royal Poinciana	8&B	8' HT	8'-4"
FR	2	Ageratum indicum	Frans Myrtle	8&B	4' HT	8'-4"
J	5	Jasstrum leucostemum	Japanese Pigeon	85 gal.	0' - 12' O.A.	MINI-MULTI-STEM
KL	6	Lysikom laticlavum	Wild Tamarind	8&B	2' HT	8'-4"
NR	5	Nerium oleander Hardy Red	Hardy Red Oleander	5 gal.	0' FULL	MULTI-STEM
FR	4	Pulmeria rubra	Red Frangipani	25 gal.	0' O.C.L.	8'-4"
PY	17	Pulmeria acutifolia	Yellow Pulmeria	25 gal.	0' O.C.L.	8'-4"
OV	1	Quercus virginiana	Southern Live Oak	8&B	2' HT	8'-4"
SM	3	Swietenia mahagoni	West Indian Mahogany	8&B	8' HT	8'-4"
TC	6	Tabebuia caribaea	Silver Trumpet	85 gal.	4' HT x 8' SP	8'-4"
PALM TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	CALL
CNX	7	Cocos nucifera	Coconut Palm	8&B	2' C.T.	8'-4"
PDX	4	Phoenix dactylifera	Date Palm	8&B	8' C.T.	8'-4"
SPX	37	Sabal palmetto	Cabbage Palmetto	8&B	0' C.T.	8'-4"
VEX	25	Veitchia montgomeryana	Montgomery Palm	FG	8' C.T., double head	8'-4"

EXHIBIT "B"



Prepared for:



Clients:



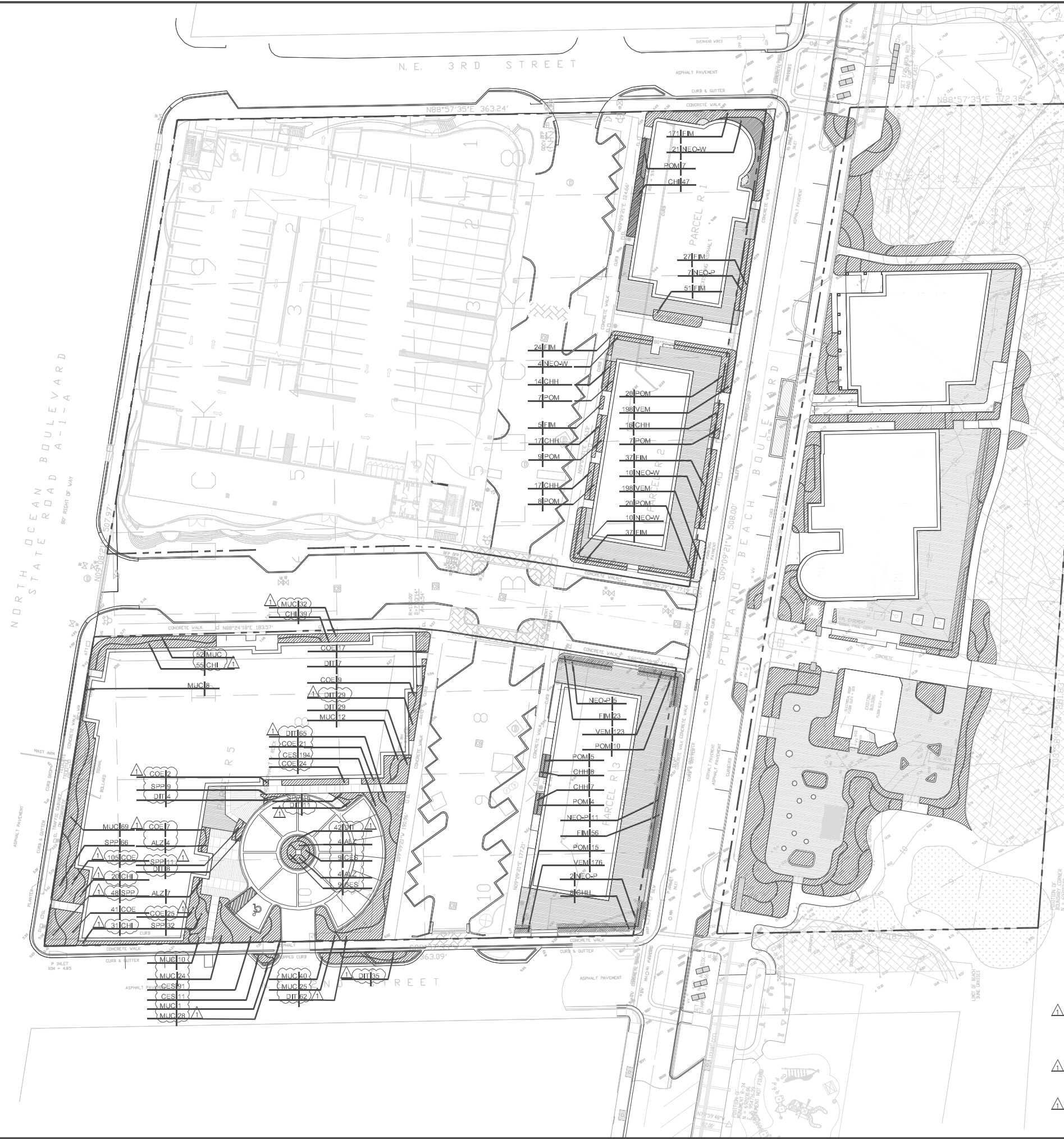
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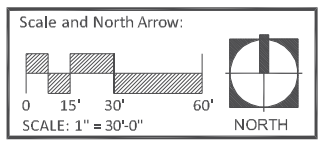
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SHRUB_SCHEDULE

SHRUB AREAS	QTY	BOTANICAL NAME	COMMON NAME	MIN CONT.	SIZE	SPACING
ALZ	8	Albizia zerumbet 'Variegata'	Variegated Shell Ginger	7 gal	3' O.A.	35' o.c.
CA	7	Citrus augustum	Citrus Lily	7 gal	30" O.A.	24" o.c.
CES	314	Conocarpus erectus 'serotous'	Silver Button Wood	7 gal	30" O.A.	24" o.c.
CH	192	Chrysobalanus icaco 'Red Tie'	Red Tie Coccoloba	3 gal	24" HL x 24" sq.	28" o.c.
CHH	87	Chrysobalanus icaco 'Hortobalan'	Red-Tip Coccoloba	3 gal	16" O.A.	24" o.c.
COE	251	Conocarpus erectus	Green Buttonwood	7 gal	30" O.A.	30" o.c.
DIT	292	Dianella tasmanica 'Blueberry'	Blueberry Flax Lily	3 gal	20" O.A.	24" o.c.
FIM	255	Ficus microcarpa 'Green Island'	Green Island Ficus	3 gal	12" HL x 12" sq.	24" o.c.
MUC	30	Muhlenbergia capillaris 'Gulf Coast'	Gulf Coast Muhly	3 gal	12" O.A.	30" o.c.
NEO-P	26	Nerium oleander 'Pink'	Pink Oleander	7 gal	4' O.A.	48" o.c.
NEO-W	45	Nerium oleander 'White'	White Oleander	7 gal	4' O.A.	48" o.c.
POM	106	Podocarpus macrophyllus	Yew Pine	7 gal	36" HT	35" o.c.
SPP	161	Spartina patens	Salt Meadow Cord Grass	1 gal	12" HT	24" o.c.
VEM	532	Verbena maritima	Beach Verbena	1 gal	8" HT x 12" SPK	12" o.c.

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Sheet Title:
**MASTER SITE PLAN
REZONING
SHRUB PLAN**



Date: 18 APR 2017
Project No: 113037
Designed By:
Drawn By:

Paul Kissinger
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