

THE ZONING BOARD OF APPEALS
CITY OF POMPANO BEACH, FLORIDA

Date: May 1, 2023

Landowner: Patricia Hodgson
Case No.: 23-15000004
Address: 912 NE 2nd Street
Zoned: Single-Family Residence 2 (RS-2)
Folio(s): 484236050770

Legal Description:

LOTS 11, 12 AND 13 IN BLOCK 7 OF FIRST ADDITION TO PINECREST, A SUBDIVISION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 7, AT PAGE 34, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. TOGETHER WITH THE EAST 1/2 OF VACATED RIGHT OF WAY OF NE 9 AVE LYING WEST OF AND ADJACENT TO LOT 11 BY CITY OF POMPANO BEACH ORDINANCE NO. 91-18 RECORDED IN OFFICIAL RECORDS BOOK 17988, PAGES 282-285 AND OFFICIAL RECORDS BOOK 18060, PAGES 175-179, BROWARD COUNTY, FLORIDA.

REQUEST:

Applicant Landowner is requesting a Major Temporary Use Permit from the provisions of Chapter 155: Article 4 [Use Standards] and Article 5 [Development Standards] of the City of Pompano Beach Zoning Code in order to temporarily utilize a recreational vehicle as living quarters on premise during the construction of the landowner’s principal dwelling unit.

* * * * *

ORDER

WHEREAS, upon presentation of the Applicant’s request for the Major Temporary Use Permit at a public hearing before the Zoning Board of Appeals (“Board”), and upon review and consideration of all testimony, evidence and argument presented at said hearing, the Board finds that competent substantial evidence was presented to allow a Major Temporary Use Permit from the provisions of Chapter 155: Article 4 [Use Standards] and Article 5 [Development Standards] of the City of Pompano Beach Zoning Code in order to temporarily utilize a recreational vehicle as living quarters on premise during the construction of the landowner’s principal dwelling unit was complying with the applicable use and development standards as required by Code.

THEREFORE, the Applicant’s request for the above Major Temporary Use Permit is GRANTED, conditioned on applicant fulfilling the following:

1. Compliance with sound level standards outlined in Chapter 97: Noise Control, of the Pompano Beach Code of Ordinances. Repeated noise disturbance complaints or violations shall result in revocation of this Major Temporary Use Permit.
2. Connect to city utilities, domestic water supply and sanitary sewer system.

This matter was heard before the Zoning Board of Appeals, and the Board pronounced its decision on April 20, 2023.

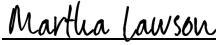
DocuSigned by:



Dan Yaffe, Chairman, Zoning Board of Appeals

Filed with Development Services Department on 1 day of May 2023.

DocuSigned by:



Martha Lawson, Head Secretary Development Services

A party aggrieved by a final decision by the Zoning Board of Appeals as provided in City Code Section 155.2424, may petition the Circuit Court for issuance of a Writ of Certiorari in the manner and within the time provided for the Florida Rules of Appellate procedure.