



Staff Report

File #: LN-321

PLANNING AND ZONING BOARD

Meeting Date: NOVEMBER 16, 2022

POMpano BEACH AIRPARK PARCEL Y DEVELOPMENT

Request: Major Site Plan for Construction of 12 New Aircraft Hangers within 6 New Buildings

P&Z# 22-12000020

Owner: City of Pompano Beach

Project Location: 1550 NE 5 Avenue

Folio Number: 484236250010

Land Use Designation: Transportation

Zoning District: T (Transportation)

Commission District: 2 (Rhonda Eaton)

Agent: Wayne Asbury (561-523-0643)

Project Planner: Lauren Gratzer (954-545-7792 / lauren.gratzer@copbfl.com)

Summary:

The following is a summary of information on the subject property. The applicant is requesting Major Site Plan approval in order to construct twelve (12) new aircraft hangers within six (6) new buildings located at the Pompano Beach Airpark. The total footprint of the buildings is 76,653 square feet within a lease area of 405,176 square feet (9.3 acres), a total lot coverage of 18.9%. The site plan was reviewed by the Development Review Committee on August 3, 2022, September 21, 2022, and October 19, 2022.

The property is located east of NE 5th Ave and north of NE 10th Street, within the Pompano Beach Airpark.



SITE PLAN REVIEW STANDARDS

An application for a Major Site Plan or Minor Site Plan shall be approved only on a finding that there is competent substantial evidence in the record that the development, as proposed:

1. Is consistent with the land use designation in the comprehensive plan;

The property has a land use designation of T (Transportation). The proposed aircraft hangers are a compatible use for this land use category. The Development is consistent with the City of Pompano Beach Comprehensive Plan, and the Future Land Use Element Goals, Objectives and Policies contained therein:

Goal 02.00.00 *To develop and maintain a multimodal system which will serve the transportation needs of all sectors of the Pompano Beach community in a safe, efficient, cost effective, resilient and aesthetically pleasing manner that promotes the reduction of greenhouse gas emissions and is designed to accommodate the increased flooding resulting from climate change.*

Objective 02.06.00 - Pompano Air Park *Protect the aviation viability of the Pompano Air Park and promote it as an economic driver for aviation business development, as an overall economic asset as well as a location for non-aviation recreational and open space uses compatible with the Air Park's Airport Layout Plan.*

Policy 01.06.12 *Review all land use plan map amendments, rezonings and site plan applications to ensure that there is sufficient wastewater collection and treatment facilities, potable water resources available and if reuse water is available, require it be used, and that they pose no noxious impacts to the Biscayne Aquifer.*

Policy 02.01.03 *Require the provision of landscaping within parking facilities to reduce visual impacts, provide for carbon attenuation and reduce heat-island effects.*

Policy 01.14.01 *The City shall emphasize re-development and infill, which concentrates the growth and intensifies the land uses consistent with the availability of existing urban services and infrastructure in order to conserve natural and manmade resources.*

2. Complies with the applicable district, use, and intensity and dimensional standards of this Code (Articles 3, 4, and 5);

Article 3: Zoning Districts

The proposed development complies with the standards for development within the T (Transportation) zoning district.

Article 4: Use Standards

The development proposes a transportation use that complies with the use-specific standards in Article 4: Use Standards and is consistent with section 155.4212.B. Aviation Related Uses.

Article 5: Development Standards

See section 3 below.

3. Complies with the applicable development standards of this Code (Article 5);

The DRC and project applicant have worked together to present a project that satisfies the requirements of Article 5 for new development requiring Major Site Plan approval, with exception of the conditions listed for approval.

As part of the Major Site Plan and Building Design application, the applicant has provided a narrative addressing how the project will achieve the required sustainability points. The project has met the required 12 sustainability points for nonresidential development.

4. Complies with all other applicable standards in this Code;

The proposed site plan is in compliance with all other applicable standards of this Code.

5. Complies with all requirements or conditions of any prior applicable development orders or prior applicable approved plans on record.

The leased area of the site for this project does not have any prior applicable development orders or plans of record.

6. The concurrency review has been completed in accordance with Chapter 154 (Planning) of the Code of Ordinances;

Based on the calculations below, the proposed project complies with concurrency requirements.

Wastewater Treatment Demand	7,665.30 gallons per day *
Water Treatment Demand	9,091.05 gallons per day *
Raw Water Demand	9,818.33 gallons per day *
Park Acreage Required	N/A
School Impacts	N/A
Transportation	Transit fees paid to the Broward County to meet concurrency
Solid Waste	1,533.06 lbs. per day (City has a contract with

Solid Waste Generation 1,533.06 lbs. per day (City has a contract with the Waste Management for disposal of all solid waste through 2033)

** The City has adequate capacity to serve the proposed project.*

7. Is designed to provide safe, adequate, paved vehicular access between buildings within the development and streets as identified on the Broward County Trafficways Plan;

The development is not located on a street identified on the Broward County Trafficways Plan. The project is designed to provide safe, adequate, and paved vehicular access within the site.

8. Complies with any applicable hazardous material licensing requirements in the Broward County Wellfield Protection Ordinance;

The property is not located within a wellfield protection area as identified on the Broward County Wellfield Protection Zones map.

9. Complies with crime prevention security strengthening and CPTED standards for natural surveillance, natural access control, territorial reinforcement, maintenance and activity support;

As part of the Major Site plan and Building Design application, the applicant has developed a separate CPTED security plan, which addresses the CPTED standards for natural surveillance, natural access control, territorial reinforcement, maintenance and activity support.

10. Complies with adopted Fire Codes and Standards per City Code Section 95.02.

The proposed site plan was reviewed by a Fire Plans Examiner during DRC and will be required to meet all applicable standards before building permits are approved.

11. Considers and mitigates any potential adverse impacts on environmentally sensitive lands identified by the City Comprehensive Plan or Broward County Land Use Plan.

The proposed development is not within an area that will have impact on environmentally sensitive lands as defined in the Broward County Land Use Plan.

12. Complies with the approved Transportation Corridor Study, unless in direct conflict with another

Zoning code provision.

The proposed development is not located in any of the subject areas of the approved Transportation Corridor Study.

DEPARTMENT RECOMMENDATION

Pursuant to §155.2304.C, Applications Subject to Staff Recommendation, the Development Services Director has compiled the department reports from the Development Review Committee (DRC) meeting which are recorded on file with the Department of Development Services. Should the Board find that the application has provided competent, substantial evidence to satisfy the review standards for Major Site Plan approval, the Development Services Department recommends approval of the Major Site Plan subject to the following comments and conditions:

1. Any required tree balance will be deposited into the City's Tree Canopy Trust Fund (TCTF), as noted on the landscape plans.
2. Provide a roof plan, which includes a note that the roof will be painted white, as indicated on the sustainability narrative.
3. Standard Conditions of Approval and/or Specifications required prior to Building Permit / Zoning Compliance Permit issuance:
 - a. The site layout must be consistent on all plan sheets; the photometric plans submitted did not correspond to the site plan.
 - b. Plans are subject to compliance with all applicable Code requirements, including but not limited to DRC comments issued for this site plan.
 - c. A copy of the CPTED plan approved by the Broward Sheriff's Office must be submitted for Zoning Compliance Permit approval.

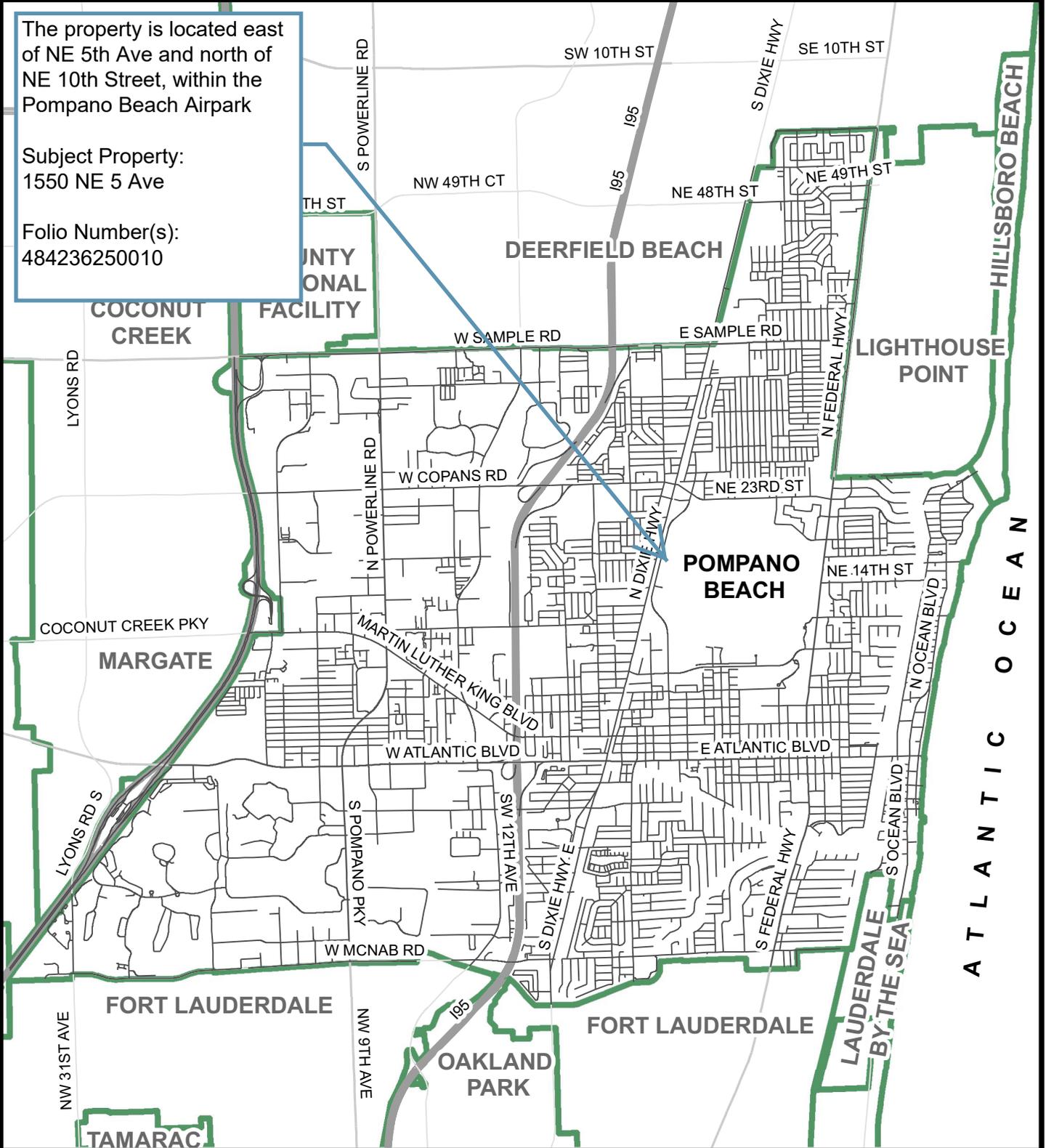
CITY OF POMPANO BEACH LOCATION MAP



The property is located east of NE 5th Ave and north of NE 10th Street, within the Pompano Beach Airpark

Subject Property:
1550 NE 5 Ave

Folio Number(s):
484236250010



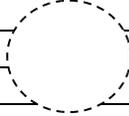
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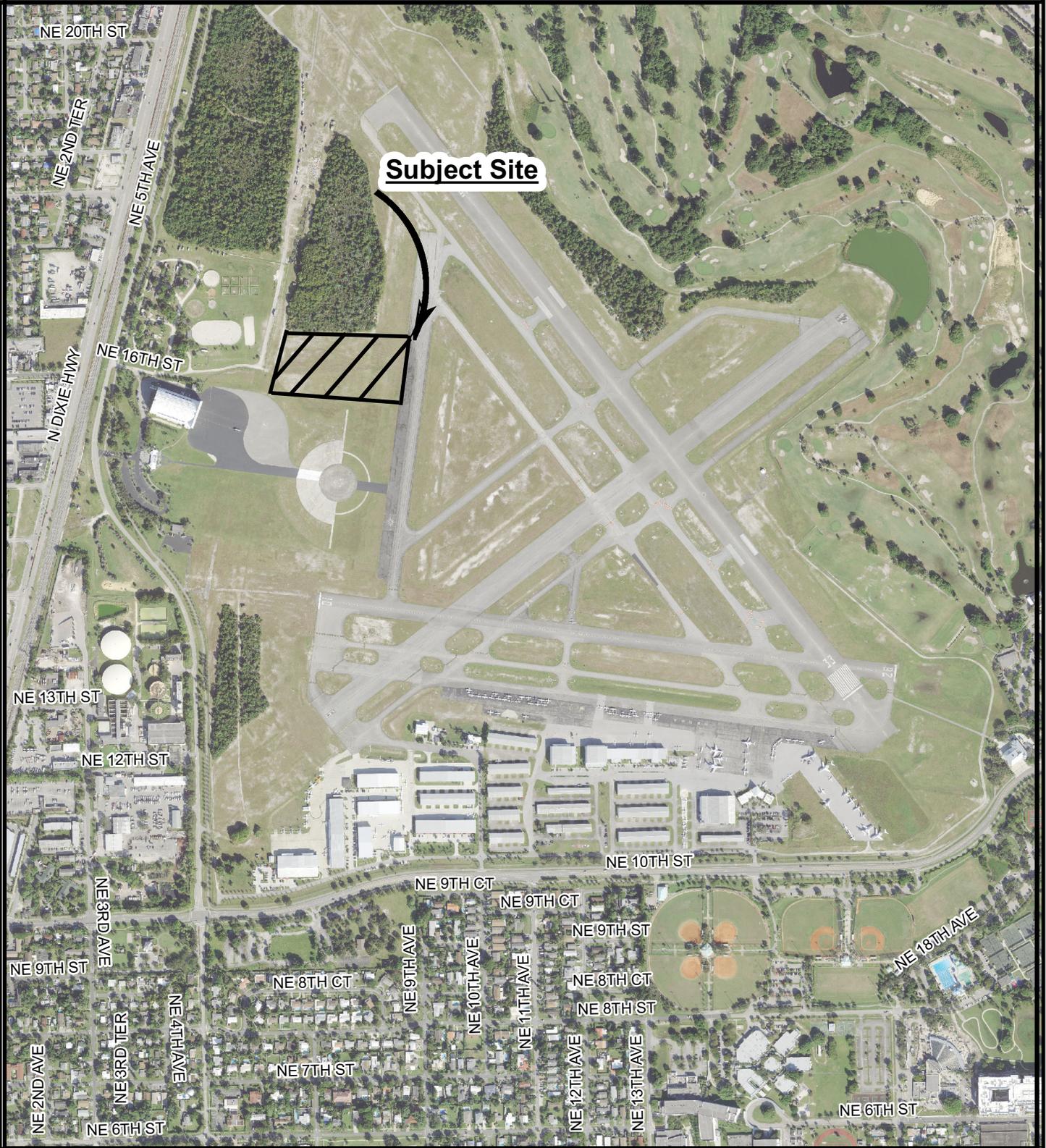
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LEGEND

FOR LAND USE PLAN		FOR ZONING MAP	
Symbol	Classification Units/ Acre	Symbol	District
		RS-1	Single-Family Residence 1
L	Low (1-5 DU/AC)	RS-2	Single-Family Residence 2
LM	Low- Medium (5-10 DU/AC)	RS-3	Single-Family Residence 3
M	Medium (10-16 DU/AC)	RS-4	Single-Family Residence 4
MH	Medium-High 16-25 DU/AC)	RS-L	Single-Family Residence Leisureville
H	High (25-46 DU/AC)		
12	Irregular Density	RD-1	Two- Family Residence
36	Irregular Density		
		RM-7	Multiple-Family Residence 7
C	Commercial	RM-12	Multiple-Family Residence 12
CR	Commercial Recreation	RM-20	Multiple-Family Residence 20
		RM-30	Multiple-Family Residence 30
I	Industrial	RM-45	Multiple-Family Residence 45
		MH-12	Mobile Home Park
*	T		
	Transportation	B-1	Limited Business
U	Utilities	B-2	Neighborhood Business
		B-3	General Business
CF	Community Facilities	B-4	Heavy Business
		M-1	Marina Business
OR	Recreation & Open Space	CR	Commerical Recreation
W	Water	I-1	General Industrial
		I-1X	Special Industrial
RAC	Regional Activity Center	O-IP	Office Industrial Park
		M-2	Marina Industrial
LAC	Local Activity Center		
		TO	Transit Oriented
DPTOC	Downtown Pompano	PR	Parks & Recreation
	Transit Oriented Corridor	CF	Community Facilities
		PU	Public Utility
	Number	*	T
			Transportation
			BP
			Business Parking
			LAC
			Local Activity Center
*	Current Designation		
		RPUD	Residential Planned Unit Dev.
>	Proposed Designation	PCD	Planned Commercial Development
		PD-TO	Planned Development - Transit Oriented
		PD-I	Planned Development - Infill
		RM-45 HR	Multiple-Family Residence 45 High Rise-Overlay
		AOD	Atlantic Boulevard Overlay District
		CRAO	Community Redevelopment Area Overlay
		NCO	Neighborhood Conservation Overlay
		APO	Air Park Overlay
		DP	Downtown Pompano Beach Overlay

P&Z

CITY OF POMPANO BEACH AERIAL MAP



Subject Site

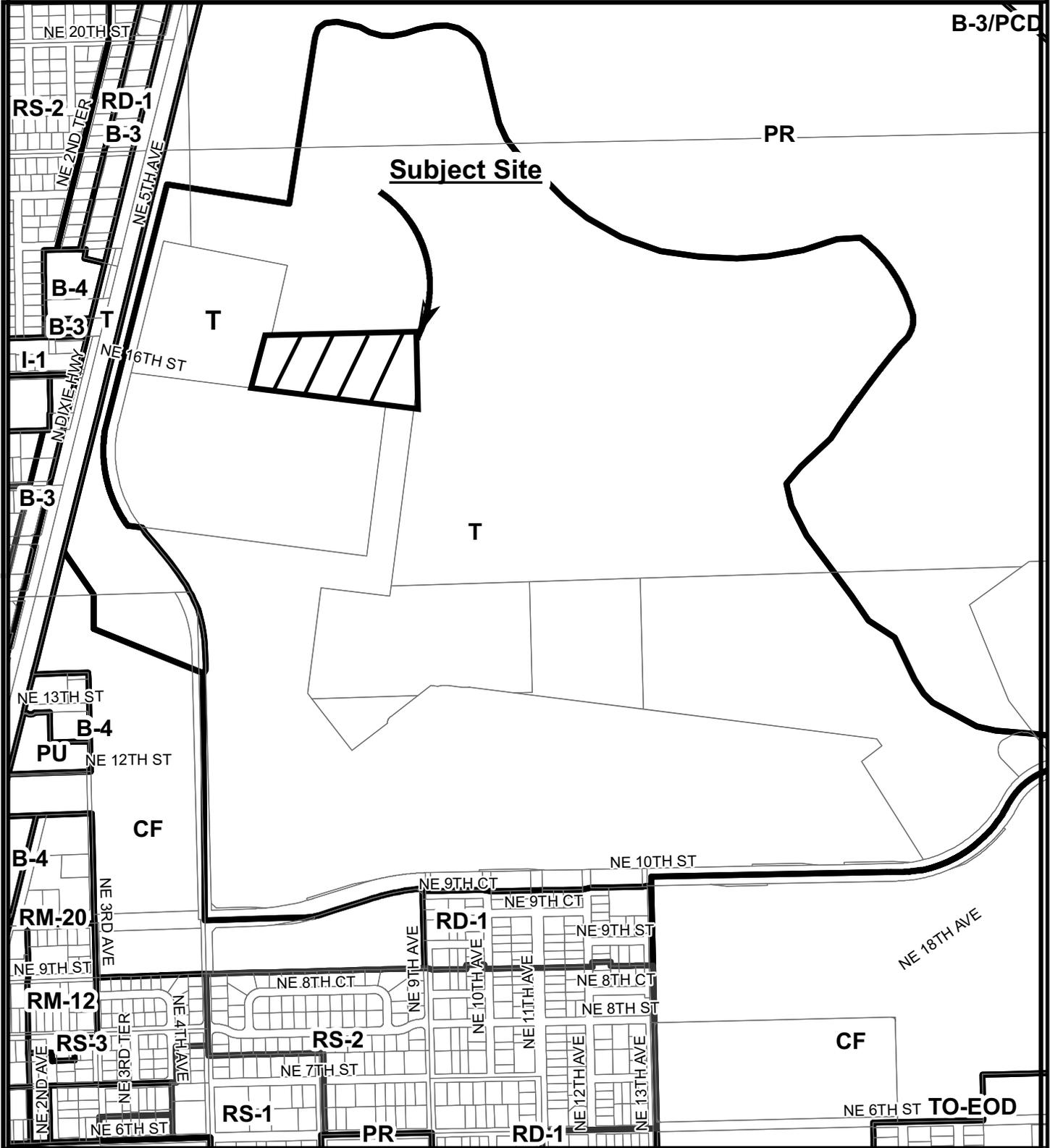
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CITY OF POMPANO BEACH OFFICIAL ZONING MAP



B-3/PCD

PR

Subject Site

T

T

CF

NE 10TH ST

RD-1

CF

NE 6TH ST TO-EOD

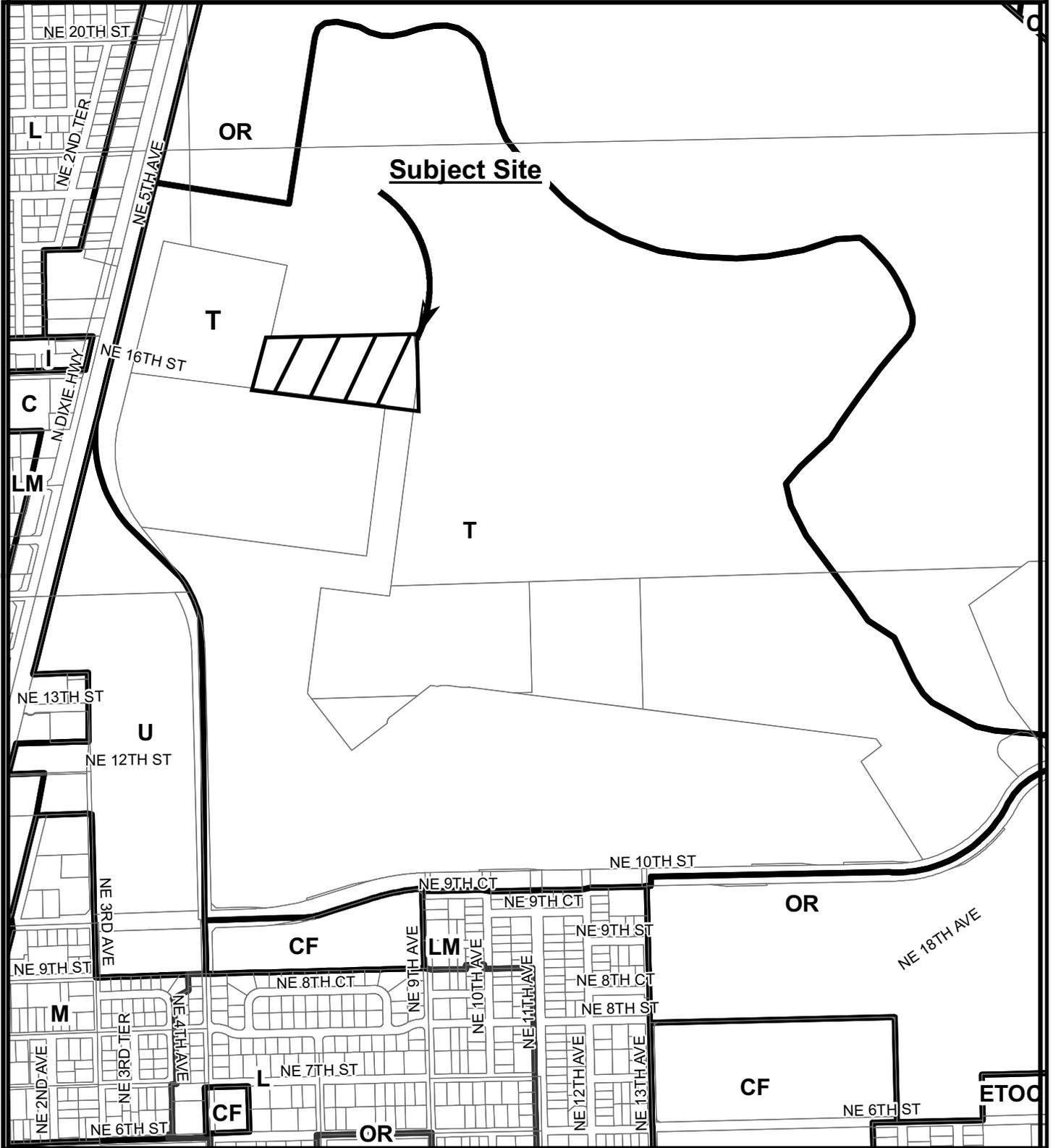
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CITY OF POMPANO BEACH OFFICIAL LAND USE MAP



Subject Site

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