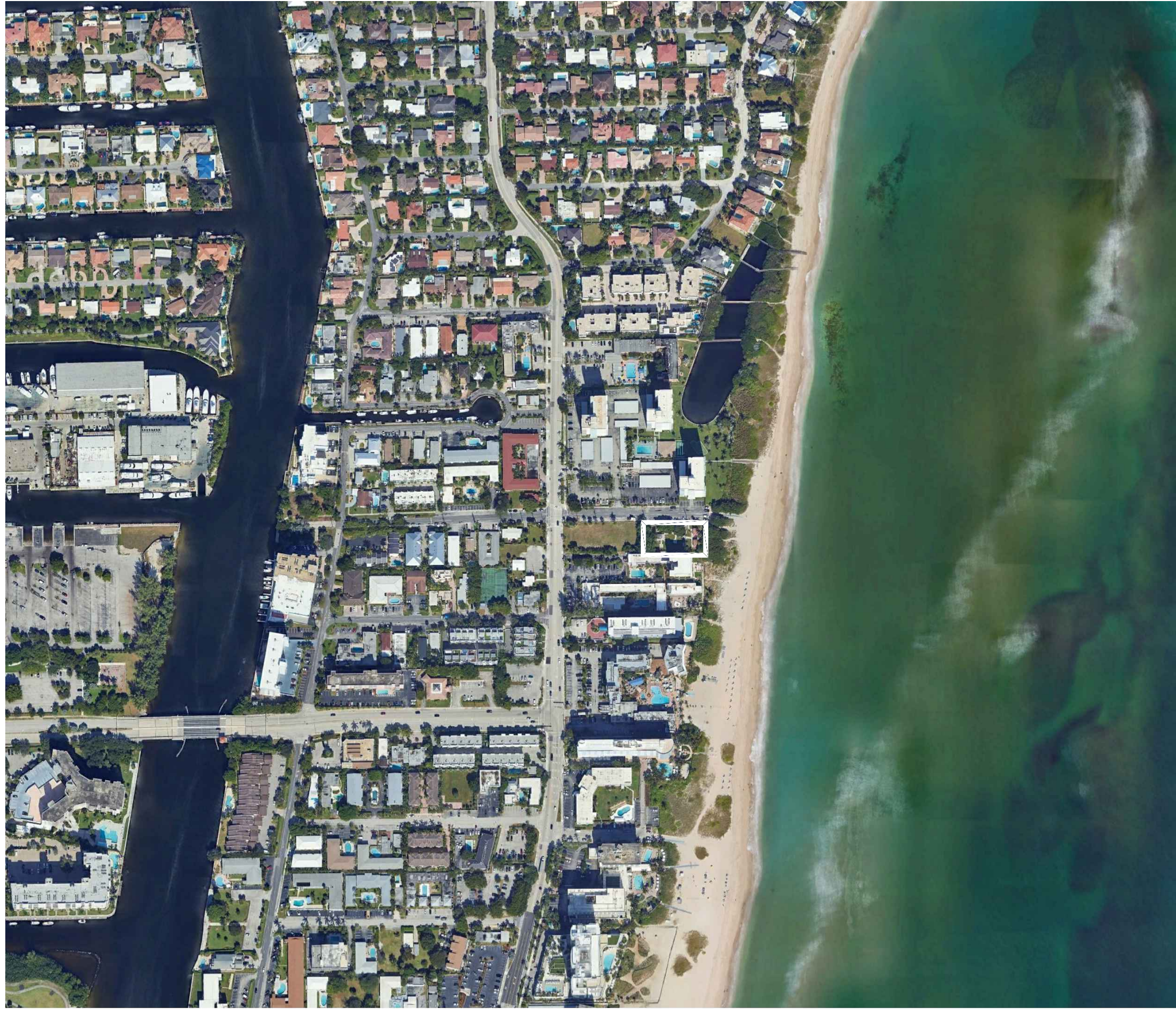


DRC Submission  
June 11th, 2024



## RESPONSIBILITY CLAUSE

1. PRIOR TO SUBMITTING A BID, EACH CONTRACTOR SHALL VISIT THE SITE OF THE PROPOSED WORK TO BECOME FULLY ACQUAINTED WITH THE CONDITIONS AS THEY EXIST. CONTRACTOR SHALL ACCEPT THE CONDITIONS AS THEY EXIST. CONTRACTOR SHALL INCLUDE ALL WORK SHOWN, SPECIFIED AND IMPLIED IN THE DRAWINGS AND SPECIFICATIONS IN BID TO DO A COMPLETE JOB TO THE SATISFACTION OF THE OWNER.
2. THE OWNER DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF LAYOUTS AND OTHER DATA SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, LAYOUTS AND THE EXACT CONDITIONS OF THE SITE.
3. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH FIELD CONDITIONS AS DISCOVERED.
4. THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE PROPER PROTECTION OF EXISTING STRUCTURES, PARTICULARLY EXISTING TREES, PLANTING, PAVEMENTS, UTILITIES, AND STRUCTURES WHICH ARE TO REMAIN DURING CONSTRUCTION AND FOR THE LIFE OF THE CONTRACT. ANY STRUCTURES FOUND TO BE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE DISCRETION OF THE OWNER'S INSPECTOR TO THE COMPLETE SATISFACTION OF THE OWNER AND AT THE CONTRACTOR'S EXPENSE.
5. THE CONTRACTOR'S ATTENTION IS DIRECTED TO THE FACT THAT, DUE TO THE NATURE OF SITE RECONSTRUCTION PROJECTS, THE EXACT EXTENT OF RECONSTRUCTION WORK CAN NOT ALWAYS BE ACCURATELY DETERMINED PRIOR TO THE COMMENCEMENT OF ANY WORK. ACTUAL FIELD CONDITIONS MAY REQUIRE MODIFICATIONS TO CONSTRUCTION DETAILS AND WORK QUANTITIES. THE CONTRACTOR SHALL PERFORM THE WORK IN ACCORDANCE WITH FIELD CONDITIONS AS DISCOVERED.
6. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE TYPE, SIZE, WEIGHT AND RELATED OPERATIONAL PARAMETERS OF EQUIPMENT THAT MAY BE SAFELY USED THROUGH THE COURSE OF THE WORK.
7. THE CONTRACTOR SHALL ACCEPT FULL RESPONSIBILITY FOR THE IMPLEMENTATION AND MAINTENANCE OF EROSION CONTROL MEASURES ACCORDING TO THE CONTRACT DRAWINGS.

## GENERAL NOTES

1. CONTRACTOR TO FULLY REVIEW SPECIFICATIONS PRIOR TO ANY WORK ON SITE.
2. CONTRACTOR TO COORDINATE ALL WORK WITH THE EXISTING AND ADJACENT PROPERTY OWNERS - REPAIR AND MAKE GOOD ANY AND ALL DAMAGES.
3. ALL MATERIALS, CONSTRUCTION METHODS AND WORKMANSHIP SHALL BE EXECUTED IN FULL COMPLIANCE WITH THE APPLICABLE PROVISIONS OF ALL LAWS, BY-LAWS, STATUTES, ORDINANCES, CODES, RULES, REGULATIONS AND LAWFUL ORDERS OF PUBLIC AUTHORITIES AND CITY AND STATE OF NEW YORK BEARING ON THE PERFORMANCE AND EXECUTION OF THE WORK.
4. DIMENSIONS AND LOCATIONS OF EXISTING ABOVE AND BELOW GROUND STRUCTURES AND UTILITIES SHOWN IN THESE DOCUMENTS ARE ACCORDING TO THE BEST INFORMATION AVAILABLE AT THE TIME. THE CONTRACTOR SHALL VERIFY THE LOCATIONS AND DIMENSIONS OF ALL STRUCTURES AFFECTED BY THE WORK AS FOUND IN THE FIELD PRIOR TO THE COMMENCEMENT OF WORK. DISCREPANCIES IN THE FIELD AND / OR PLAN THAT MAY AFFECT THE CONTRACT SHALL BE BROUGHT IMMEDIATELY TO THE CONSTRUCTION MANAGERS ATTENTION. IF UTILITIES ARE SHOWN PER PHYSICAL FEATURES FOUND, RECORD INFORMATION OBTAINED, AND MARKINGS PLACED BY UTILITY COMPANIES, THE EXACT LOCATION OR COMPLETENESS OF UTILITY INFORMATION CANNOT BE GUARANTEED. VERIFY THE ACTUAL LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.
5. ANY MATERIALS DELIVERED OR WORK PERFORMED CONTRARY TO THE DRAWINGS, SPECIFICATIONS AND APPROVED SHOP DRAWINGS SHALL BE REMOVED BY THE CONTRACTOR AT THEIR OWN EXPENSE, AND THE SAME SHALL BE REPLACED WITH OTHER MATERIALS OR WORK SATISFACTORY TO THE LANDSCAPE ARCHITECT AND IN CONFORMANCE WITH CONTRACT DOCUMENTS. THE CONTRACTOR SHALL ALSO ASSUME THE COST OF REPLACING THE WORK WHICH MAY BE DISTURBED.
6. THE CONTRACTOR SHALL KEEP THE OWNERS REPRESENTATIVE AND LANDSCAPE ARCHITECT INFORMED OF THE PROGRESS OF HIS/HER WORK. NO WORK SHALL BE CLOSED OR COVERED UNTIL DULY INSPECTED AND APPROVED. SHOULD UNINSPECTED WORK BE COVERED, THE CONTRACTOR SHALL, AT HIS/HER EXPENSE, UNDERCOVER ALL SUCH WORK SO THAT IT BE PROPERLY INSPECTED AND AFTER SUCH INSPECTION, HE / SHE SHALL PROPERLY REPAIR AND REPLACE WORK.
7. ALL WORK SHALL BE SUBJECT TO FINAL INSPECTION BY THE LANDSCAPE ARCHITECT AND ACCEPTANCE BY THE OWNERS REPRESENTATIVE.
8. THE PREMISES AND THE JOB SITE SHALL BE MAINTAINED IN A REASONABLY NEAT AND ORDERLY CONDITION AND KEPT FREE FROM ACCUMULATIONS OF WASTE OR RUBBISH DURING THE ENTIRE CONSTRUCTION PERIOD. REMOVE CRATES, CARTONS AND OTHER WASTE OR TRASH FROM THE WORK AREAS AT THE END OF EACH WORKING DAY.
9. SHOULD CONTRACTOR REQUIRE MOVING SITE PERIMETER FENCE OR ACCESS TO AREA OUTSIDE OF PERIMETER FENCE, THE CONTRACTOR SHALL NOTIFY OWNER AT LEAST 72 HOURS BEFORE AND OBTAIN WRITTEN APPROVAL FROM OWNERS REPRESENTATIVE.



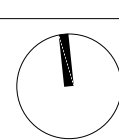
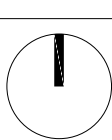
## SHEET LIST

SHEET LIST				720	L	300	HARDSCAPE PLAN
100	S1		TOPOGRAPHIC SURVEY	730	L	310	HARDSCAPE DETAILS
				731	L	311	HARDSCAPE DETAILS
101	L	101	ILLUSTRATIVE PLAN	750	L	500	TREE PLANTING PLAN
102	L	102	PARK 3D OVERVIEW	760	L	510	UNDERSTORY PLANTING PLAN
103	L	103	ARTIST IMPRESSIONS	770	L	520	PLANTING PALETTE
110	L	110	COMPOSITE SITE PLAN	780	L	530	LANDSCAPE DETAILS
120	L	120	SITE LAYOUT PLAN	790	L	600	IRRIGATION PLAN
121	L	121	PARKING LAYOUT	791	L	601	IRRIGATION DETAILS
130	L	130	SITE SECTIONS	800	L	700	LIGHTING PLAN
131	L	131	SITE SECTIONS	810	L	800	FURNISHINGS PLAN
				820	L	810	FURNISHINGS CATALOG
200	A	100	WC FLOOR PLAN AND ROOF PLAN				
210	A	110	WC ELEVATIONS				
220	A	200	VERTICAL ELEMENTS - CANOPY				
230	A	210	VERTICAL ELEMENTS - COLONNADE				
240	A	211	VERTICAL ELEMENTS - COLONNADE				
	SP	101	SITE PLAN				
	SP	102	CPTD PLAN				
	GI	001	LEGENDS AND ABBREVIATIONS				
	GI	002	GENERAL CONSTRUCTION NOTES				
	GI	003	CONSTRUCTION SPECIFICATIONS				
	CD	101	DEMOLITION PLAN				
	CG	101	EROSION CONTROL PLAN				
	CG	501	EROSION AND CONTROL DETAILS				
	CP	101	PAVING, GRADING AND UTILITY PLAN				
	CP	501	PAVING, GRADING AND DRAINAGE DETAILS				
	CU	501	WATER AND SEWER DETAILS				
	CM	101	PAVEMENT MARKING AND SIGNAGE PLAN				
	CM	501	PAVEMENT MARKING AND SIGNAGE DETAILS				
700	L	200	TREE DISPOSITION PLAN				
701	L	201	SITE PREPARATION				
702	L	202	TREE DISPOSITION DETAILS				
710	L	210	LANDSCAPE NOTES				

PROJECT, ADDRESS AND OWNER:

## NORTH OCEAN PARK

3424 NE 16th St.  
POMPAÑO BEACH, FL | 33062



DEVELOPER

Duet Property Development LLC  
250 NE 25TH St. #203  
Miami, FL 33128

LANDSCAPE ARCHITECT

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LANDSCAPE ARCHITECTURE P.C.  
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t 347-371-2252

CIVIL ENGINEER



**KEITH**  
301 East Atlantic Blvd.  
Pompano Beach, FL 33060  
t 954-788-3400

ARCHITECT:

**G**<sub>3</sub><sup>AEC</sup>  
975 Arthur Godfrey rd. suite 401  
Miami Beach, FL 33140  
t 305-763-8471

#### IRRIGATION



GSLA DESIGN, INC.  
17670 NW 78th Avenue, Suite 214  
Miami, FL 33015  
t 305-392-1016

[illegible]

**NOT FOR CONSTRUCTION**

Discrepancies must be reported immediately to the Architect before proceeding.  
Only figured dimensions are to be used.  
Contractors must check all dimensions on site.

CONSULTANT

**WEST 8** WEST 8 URBAN DESIGN &  
LANDSCAPE ARCHITECTURE P.C.

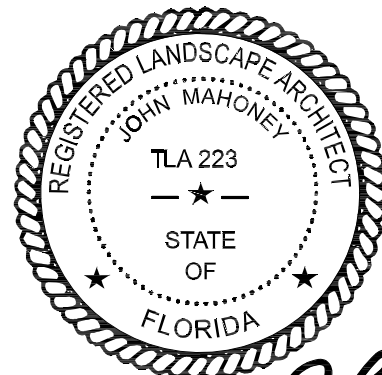
DRAWING TITLE:

# LANDSCAPE COVER SHEET

SHEET No. \_\_\_\_\_

**001-L-001**

SEAL:



SIGNATURE \_\_\_\_\_

All drawing and written materials herein constitute original work of the architect and may only be duplicated with their written consent.