



City of Pompano Beach

100 West Atlantic Blvd.
Pompano Beach, FL 33060

Detailed Minutes - Final

City Commission

Rex Hardin, Mayor

Beverly Perkins, Vice Mayor

Rhonda Eaton, Commissioner

Cyndy Floyd, Commissioner

Andrea McGee, Commissioner

Tom McMahon, Commissioner

Gregory P. Harrison, City Manager

Mark Berman, City Attorney

Asceleta Hammond, City Clerk

Tuesday, March 8, 2022

1:00 PM

Commission Chamber

City Commission Meeting

CALL TO ORDER

The Honorable Rex Hardin, Mayor called the Regular City Commission meeting to order at 1:00 p.m.

ROLL CALL

Present: Commissioner Rhonda Eaton
Commissioner Cyndy Floyd
Commissioner Andrea McGee
Commissioner Tom McMahon
Vice Mayor Beverly Perkins
Mayor Rex Hardin

INVOCATION

Rev. Dr. Greg Fitch, Psychology and Hospital Chaplain offered the invocation.

Mayor Hardin asked Rev. Dr. Fitch to keep the people in Ukraine in his prayers as they are suffering at this time. He then shared an article about a Mayor, from a town in Ukraine, who was shot dead while passing out bread to his residents in his City as a result of the Russian aggression in Ukraine. Also, there are people from Ukraine running businesses in the City of Pompano Beach.

PLEDGE OF ALLEGIANCE

Led by Asceleta Hammond, City Clerk.

APPROVAL OF MINUTES

[22-238](#) Regular City Commission Meeting Minutes of February 22, 2022

A motion was made by Vice Mayor Perkins, seconded by

Commissioner McGee, that the Minutes be APPROVED AS SUBMITTED. The motion carried unanimously.

APPROVAL OF AGENDA

Mayor Hardin announced that Item 10 will be stricken from the Agenda.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Agenda be APPROVED AS AMENDED. The motion carried unanimously.

CONSENT AGENDA DISCUSSION

The Commission may pull items from the Consent Agenda. During Audience to be Heard, a person may speak on any item on the Consent Agenda, which has not been pulled.

Mayor Hardin announced that Item 7 would be pulled for City Commission discussion.

A. PROCLAMATIONS

22-202 Water Conservation Month Proclamation Presentation

Mayor Rex Hardin presented Shana Coombs, Utilities Compliance and Efficiency Manager for the City of Pompano Beach with a proclamation proclaiming April as Water Conservation Month in the City of Pompano Beach.

This matter was READ AND PRESENTED INTO THE RECORD

B. PRESENTATION

22-237 Presentation of Internal Audit Activity Report Memorandum 22-03 for completed and ongoing audit projects, technical assistance as well as follow up for implementations from previous audit project recommendations covering the 10-month period from April 2021 through February 2022.

(Fiscal Impact: N/A)

(Staff Contact: Deusdedit C. (DC) Kiyemba)

Deusdedit C. (DC) Kiyemba, Internal Auditor, stated that it is one of the responsibilities of the Office of the Internal Auditor to present a report once per year to the City Commission. He acknowledged the City Manager, City Attorney, City Clerk, and Department Heads whose cooperation and assistance make the Internal Auditor's staff work easier and more efficient. He mentioned that the Activity Report covers 10 months from April 2021 through February 2022. A couple ongoing projects have been completed, and they are displayed on the Activity Dashboard of the presentation. The Activity Dashboard includes a summarized accounts of all audit projects, it provides the risk ranking and current status for each project.

Continuing, DC mentioned that their process has not changed, as they work with the City Departments who are

asked to assist with records, processes and people they can converse with. Thereafter, they create a draft report, which is shared with all participants. After reviewing, an agreement is reached on the issues and their respective recommendations. Following, the Department Heads are asked for their responses of either acceptance or rejection (with an explanation) of what is recommended. Responses are then included in a report, which is then issued. After sometime, approximately 6-9 months, they do a follow up to determine implementation of any recommendations offered.

There are 7 pending projects for the coming period, thereafter, they will determine what other measures could be taken or implemented. They also receive requests from City Departments requiring the assistance and review of the Internal Auditor's department for certain projects they are engaged with. Finally, DC mentioned that he welcomes the City Commission's comments, questions or concerns.

Mayor Hardin appreciated DC's ongoing efforts as Internal Auditor. In addition, he inquired if there are any parameters that the Internal Auditor is off limits, and is he obligated to report to the City Commission in any way, if there is an ongoing investigation taking place.

DC responded currently, he is not aware of any limitations within the City where he cannot go. Also, as it relates to reporting, the City Commission is the body that he reports to and they in turn approve the recommendations. During the budgeting process the City Commission can also discuss items for or against recommendations.

This matter was READ AND PRESENTED INTO THE RECORD

C. AUDIENCE TO BE HEARD

Mayor Hardin announced that it was time for "Audience To Be Heard" and offered the following guidelines: Once your name is called, please come forward to the podium in front of the commission, state your name and address for the record. Speakers will be limited to three minutes to speak on any item of concern or interest, including those items pulled from the Consent Agenda. In addition, he asked speakers not to speak on any items on tonight's agenda, as they will have that opportunity to do so when that item comes forward. Lastly, he requested that speakers refrain from any emotional outbursts in either support or non-support of the speaker's comments. All persons interested in speaking during "Audience To Be Heard" must fill out a request form and turn it in to the City Clerk prior to the meeting. A request form is located on the last page of the agenda program.

The following persons were called to speak:

Expressions of Appreciation - George E. Dillard, 301 NE 33rd Street, Pompano Beach, FL, thanked Mayor Hardin and Vice Mayor Perkins for attending the peaceful march the neighborhood had for the young lady that was murdered in the City of Pompano Beach. Their attendance has indicated that they are interested to find ways on how this senseless killing can be stopped not only in the City but around the country.

Continuing, Mr. Dillard thanked City Manager Harrison for encouraging him in continuing to work with his community, as well as Mario Sotolongo, Code Compliance Director, for encouraging him not to quit, but to continue working in his community.

Mayor Hardin mentioned that Comr. Floyd also attended the peaceful march.

Mr. Dillard stated that they will need more funding for the kids.

Speeding Traffic - Brice Mitchell, 1211 SE 3rd Terrace, Pompano Beach, FL, stated that there is a forgotten roadway in the City of Pompano Beach. The subject road is NE 24th Avenue that runs parallel to the east side of Federal Highway; specifically 16th Street from the south on 24th Avenue to NE 22nd Street to the north. He provided a map of the area to the City Commission, and complained that this location, even though it is only one eighth of a mile long, has become a speedway for traffic. Residents from Lighthouse Point use this roadway, and there are 3 stop signs that do not seem to slow anyone down. He mentioned that there are a number of multi-family homes on that stretch, and it gets difficult and dangerous for people pulling out of their driveways to get going on that street. He is requesting perhaps speedbumps or roundabout traffic calming devices.

Mayor Hardin asked Mr. Mitchell to meet with the City Manager, and provide him with his contact number to allow for follow-up.

Habitat for Humanity Housing - Vicente Thrower, 1890 NW 6th Avenue, Pompano Beach, FL, commented on his prior comments at the last City Commission meeting about Habitat. He is not indicating that they are not a good organization. However, they are building in the northwest community next to some slum and blight housing that also needs partnerships in order to be renovated. Therefore, he opined that it would be good for the Commission to encourage Habitat to adopt some of those houses on the same streets that they are building on.

Local Partnerships between the City and Developers - Mr. Thrower stated that there have been a number of ground-breaking events recently, to include from the Casino west, to the Bank Building east. He inquired if all these companies are being asked to provide how they procure and hire local people from the community. Especially, when they are requesting assistance from the City to build apartments or expedite their permits.

Traffic Complaints at Intersection of Dixie Highway and Atlantic Boulevard - Jayne Just, 2601 NE 14th Street, #537, Pompano Beach, FL, inquired if there have been a lot of complaints about the traffic at North Dixie Highway and Atlantic Boulevard intersection. She would recommend that the lanes return to what they were originally because traffic flowed a lot better then.

Traffic Issues at Intersection of Atlantic Boulevard and Dixie Highway - Maureen Gaviola, 2811 NE 9th Court, Pompano Beach, FL, stated that she has been residing in the City since 1992 and has seen a lot of growth taking place since then. She clarified that she is not anti-growth and development, and believes it is good for the City, so long as the quality of life is not purposely impacted in a negative way. Atlantic Boulevard is the main road for approximately 20% of people living east of Federal Highway in the City of Pompano Beach. She is concerned that no conversation has included the extreme increase in traffic that is still to come to

the City. She inquired what will happen to the transit time when the current planned development takes place. She listed a couple of large developments with over 400 units, which will create an estimated 600 jobs and will also increase the demand for surrounding businesses that will have a lasting economic impact on the City, as well as traffic.

In sum, there are more high-rise projects coming east of the intracoastal, Harrah's will be coming soon and they are planning to add 1,500 more parking spaces for the casino as part of that project. This does not include future residential, hotel, office and retail space. The Innovation District will also generate a large amount of traffic. Prior to making a decision on the number of lanes at the intersection of Dixie Highway and Atlantic Boulevard, the conversation should include projections of growth, impact of current developments, and the future vision of the City for its residents.

D. CONSENT AGENDA

Mayor Hardin requested a motion to Approve/Adopt Items 1-6 and 8-9 without City Commission discussion.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Consent Agenda be APPROVED/ADOPTED AS AMENDED. The motion carried unanimously.

1. [22-167](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A CONTRACT FOR SALE AND PURCHASE BETWEEN THE CITY OF POMPANO BEACH AND JOE TAYLOR AND LUCILLE TAYLOR, HEIRS OF THE ESTATE OF MAMIE J. TAYLOR, FOR THE PURCHASE OF PROPERTY LOCATED AT 420 NW 6TH STREET; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$80,000)

(Staff Contact: Cassandra LeMasurier)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-88

2. [22-211](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE AN INSTALLATION OF REQUIRED IMPROVEMENTS AGREEMENT BETWEEN BROWARD COUNTY AND THE CITY OF POMPANO BEACH; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Horacio Danovich)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-89

3. [22-204](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A TERMINATION OF REVOCABLE LICENSE AGREEMENT BETWEEN THE CITY OF POMPANO BEACH AND MOUNT VERNON PROPERTY HOLDINGS, LLC; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Daniel Keester-O'Mills/David L. Recor)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-90

4. [22-212](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE AN AMENDMENT TO NONVEHICULAR ACCESS LINE BETWEEN BROWARD COUNTY AND THE CITY OF POMPANO BEACH; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Horacio Danovich)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-91

5. [22-213](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A DECLARATION OF RESTRICTIVE COVENANTS FOR PRIVATE PAVED ROADWAYS AND ACCESS RELATED TO THE RENTERIA INC. PLAT; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Horacio Danovich)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-92

6. [22-214](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A COVENANT RUNNING WITH THE LAND IN LIEU OF UNITY OF TITLE AMONG THE CITY OF POMPANO BEACH, ESCOBAR HOLDINGS, INC., AND JUSTO ESCOBAR, LLC; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Scott Reale/David Recor)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-93

7. [22-231](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE SERVICE CONTRACT NO. 1402 BETWEEN THE CITY OF POMPANO BEACH AND NEW HORIZON COMMUNITY DEVELOPMENT CORPORATION, INC., TO PROVIDE SUMMER YOUTH EMPLOYMENT TRAINING PROGRAM SERVICES; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$101,184.00)

(Staff Contact: Bobby Bush/Ed Beecher)

Vice Mayor Perkins requested to pull the item for City Commission discussion and inquired how long has the New Horizon Community Development Corporation, Inc. been contracted with the City of Pompano Beach.

Bobby Bush, Human Resources Senior Analyst, responded that they started in the year 2016.

Vice Mayor Perkins indicated that this is a very effective program for the youth and each year they are returning to get the contract renewed. Therefore, she would like to see their contract extended to every 2-3 years rather than annually.

Comr. McGee indicated that she has looked at the contract and they are doing an amazing job with the youth. However, she is disappointed that the businesses that the children are working for is still not contributing towards the salary of these children, and wanted to know if there is any explanation on this. She also, mentioned that she had brought up this same matter prior.

Mr. Bush asked the program director to address the comments that Comr. McGee has brought forward, because she has been speaking with the businesses and could share her findings on the subject.

Bessie Showers, 1518 NW 17th Avenue, Pompano Beach, FL, in response to Comr. McGee's question, stated that during the summer months in which the program is being operated, the participating businesses do not need any help. They have indicated to her that this is a good program but since their businesses are down in the summer and they do not need any help, they are willing to hire the children to help them improve their skills on being responsible employees. They are really not looking for employment for the 13-14 year old children, and they are being kind to the children to have them return to do their in-service points for their High School grades. In addition, they provide gift certificates to the children at the end of their service. The businesses are willing to do anything to help to improve the youth, but they are not looking to employ them.

Comr. McGee asked if a list of the businesses could be provided. She is still unconvinced that these businesses cannot provide at least \$2.50 an hour towards the cost of this program for the children. She believes it is a great program but would like to see more buy-in from the businesses that are being assisted.

Ms. Showers asked if Comr. McGee has any suggestions she will be glad to explore those to expand the experience and to improve the youth.

Comr. McMahon mentioned that he participated in the program in 2016-2017 when it started, and it was a great experience. Year after year, he had multiple kids who return to his store to thank him for teaching them on how to do certain tasks in the work place. In fact, it was more of a training than a job in showing them how to work in a business, such as how to show up on time, how to dress, and things of that nature. He has had these kids return later to thank him, and tell him where they are currently employed. He thinks this is a great program, and understands what Comr. McGee is saying about the buy-in from the businesses. He thanked Ms. Showers and her team for all that they are doing for the youths, to get them trained, which is a great thing.

Vice Mayor Perkins understands the buy-in concept of the businesses; however, when it comes to the children it is a sensitive matter, because they are helping to develop the kids. Perhaps Comr. McGee needs to contact either Human Resources or Ms. Showers to resolve the issue she is having, because this question has come up continually. This is an effective program to assist the kids development in the community, which is lacking especially in the northwest area.

MOTION: A motion was made by Vice Mayor Perkins, seconded by Comr. Floyd to extend the contract to every 3 years instead of every year.

Mark Berman, City Attorney, advised that if the contract is going to be more than a year requiring payment, per the City Charter, there needs to be a Ordinance not a Resolution. The current action is simplified to do a Resolution every year.

Mayor Hardin reiterated Mr. Berman's comments that the Commission could approve the Resolution now and direct staff to bring back an Ordinance.

Ed Beecher, Human Resources Director, stated that he agrees with the Commission and would welcome the opportunity for a multi-year contract. However, there are some time commitments and constraints on advertising it as an Ordinance. So, if this is approved as a one year, staff will bring back an Ordinance that would allow for additional years for the contract.

Vice Mayor Perkins modified her motion to direct staff to bring back an Ordinance for the Commission to approve extending the contract after this year.

Greg Harrison, City Manager, mentioned that this contract will be taken care of for this budget year. He recommended that staff bring back an Ordinance when the next budget is done, and the Ordinance will cover the next 3 years, and the programs will be budgeted for respectively.

MOTION: A motion was made by Vice Mayor Perkins, seconded by Comr. Floyd to direct staff to come back with an Ordinance to extend the contract out for a period of years. On roll call the motion passed unanimously.

Comr. McGee clarified her stance on the buy-in and provided her experiences when she came out of college doing paid and unpaid internships. She found out that there was much more focus and attentiveness with this type of program, hence her stance on getting the businesses to buy-in to this program similarly and provide a minimal pay to the youths as they are gaining their work experience.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Consent Agenda/ Resolution be ADOPTED. The motion carried unanimously.

Enactment No: RES. No. 2022-94

8. [22-236](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A PARKING LICENSE AGREEMENT (NO. 1390) BETWEEN THE CITY OF POMPANO BEACH AND VERDEX CONSTRUCTION LLC; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$42,000.00 Revenue)

(Staff Contact: Jeff Lantz)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-95

9. [22-240](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, AUTHORIZING THE SETTLEMENT OF THE LAWSUIT BETWEEN THE CITY OF POMPANO BEACH, FLORIDA, AND HERITAGE AT POMPANO HOUSING PARTNERS, L.P.; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$445,000.00)

(Staff Contact: Mark E. Berman)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, to APPROVE/ADOPT the item under the Consent Agenda. The motion carried unanimously.

Enactment No: RES. No. 2022-96

10. [22-249](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE CITY MANAGER OR HIS DESIGNEE TO SUBMIT AN APPLICATION TO THE FLORIDA INLAND NAVIGATION DISTRICT WATERWAYS ASSISTANCE PROGRAM FOR INSTALLATION OF A FLOATING DOCK WITH ASSOCIATED PILES AND RAMP TO ACCESS THE CYPRESS CREEK WATERWAY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$100,000.00)

(Staff Contact: Horacio Danovich)

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Consent Agenda/ Resolution be STRICKEN. The motion carried

E. REGULAR AGENDA

QUASI-JUDICIAL PROCEEDING

Mark E. Berman, City Attorney, advised that Items 11-13, are listed under Quasi-Judicial Proceeding and are quasi-judicial in nature; therefore, anyone who wishes to testify must be sworn in and may be subject to cross-examination by the City Commission or any other interested party. The individuals addressing the City Commission must state his or her name, whether he or she has been sworn, and understands the rules which governs these proceedings. Thereafter, Mr. Berman outlined the order in which they would follow: City staff would make its presentation for each item, followed by the applicant or any other person(s) wishing to speak, closing argument, and the Commission's discussion.

Asceleta Hammond, City Clerk, placed under oath all individuals, including staff, addressing the City Commission in the following matters.

11. [22-182](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING THE OCEAN PARK POMPANO BEACH PLAT LOCATED ON THE SOUTHEAST CORNER OF NORTH OCEAN BLVD. AND NE 16TH STREET; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Jean Dolan/David Recor)

Mayor Hardin indicated that he has had discussions with the developer or representatives about the

development but not about this particular item.

Mark Berman, City Attorney, stated that it is fine to declare ex parte communications again, and over disclosure does not hurt in the abundance of caution.

Comr. McGee indicated she had similar discussions with the developer or representatives and would like to over disclose ex parte communications just in case.

Comrs. McMahon and Eaton indicated that they have had similar discussions similar to the Mayor's comments and would like to over disclose ex parte communications about the development but not this particular item.

Jean Dolan, Development Services Department, presented the item and stated that the item is for a proposed Plat for the property located at 1508 N. Ocean Boulevard, which is approximately 0.86 acres and is located at the southeast corner of State Road A1A and northeast 16th Street, adjacent to North Ocean Park. The Plat is 1 primary parcel labeled Parcel A and the secondary Parcel B being additional right-of-way for State Road A1A. The Plat Note is for 28 high-rise residential units and 4,000 square feet of commercial use, which is consistent with the PD-I zoning Master Plan. The Land Use designation of the property is high 46 dwelling units per acre. The City Commission approved the PD-I zoning of the Site in July 2019. A Site Plan consistent with the PD-I Master Plan and has been submitted for Development Review Committee (DRC) review. The Plat was reviewed at the Planning and Zoning Board on January 26, 2022 and was recommended for approval with a 5-1 vote. The Plat meets all regulatory requirements, and staff recommends approval.

The applicant is present to answer any questions, and upon being asked by Mayor Hardin for a presentation, he indicated that he did not have a presentation.

The following persons spoke in opposition of the project.

- 1) Tom Terwilliger, 3160 NW 1st Avenue, Pompano Beach, FL, stated he is against the project and provided his reasons. He urged the Commission to either table the item or terminate it because the application is incorrect as it relates to the acreage.

Mayor Hardin asked Ms. Dolan to address the size issue.

Ms. Dolan mentioned that there is a discrepancy with gross versus net. The gross acre goes to the center line whereas the net is what is within the property lines.

- 2) Mike Skversky, 1630 SW 5th Avenue, Pompano Beach, FL, inquired if this is the same size as what was on the property. They went from .62 to .86 acres, which means they are moving up and it is not making sense. He complained that the building does not fit the surrounding area.
- 3) Jerry Myrick, 1505 North Ocean Boulevard, Pompano Beach, FL, stated the lot is too small and it cannot be increased.
- 4) Sharon Chiappetta, 2870 NE 22nd Court, Pompano Beach, FL, stated that the sewage issue is getting

worse and the City cannot handle the increased usage on the system. It is not fitting for the neighborhood or the residents' way of life.

- 5) Doug Borden, 525 North Ocean Boulevard, Pompano Beach, FL, inquired about the reason they are now asking to expand the acreage of the property.

Mayor Hardin indicated that he would have the applicant answer any questions that Mr. Borden may have regarding the property.

Mayor Hardin asked the developer's representative to answer some of the questions that were asked by the prior speakers.

Mike Vonder Meulen, Keith, 301 E. Atlantic Boulevard, Pompano Beach, FL, stated that the application is for the Plat, which has been surveyed, signed, and sealed by their surveyor. Their license would be in jeopardy if the information is not accurate. The Plat contains 0.62 acres, and is the property owned by the developer. Mr. Terwilliger brought up the 0.86 acres, which is the rezoning application that goes to the centerline of the roads. Density for a PD rezoning is calculated from the centerline of the roads. The acreage was provided at the rezoning application to show the entire impact of what could be developed on the property based on the PD rezoning, and based on the Land Use. So, this is a Plat application, which is only for the property, itself. The terminology sometimes switches around, and they now have what is normally considered in a rezoning or Land Use, the net acreage going out to the centerline of the road and then it being the property line. In a Plat it is different. The gross acreage is the property lines and the net acreage is anything that will allow for right-of-way and land to the Florida Department of Transportation (FDOT) for State Road A1A. Therefore, the parcel changes a little as they will be moving the west property line further east. Nevertheless, the property and the size remain same. Some of the property goes to FDOT, and the remainder of the property is still the developable parcel. There is no encroachment on the property. Also, they are not taking any property from North Ocean Park. The Plat application is only for the property that is owned by the property owner.

Mark Berman, City Attorney, provided an overview and agreed with Mr. Vonder Meulen that this is a Plat application for Plat approval only. This does not take into consideration on whether it is going to be big or small, the parking lot, and things of that nature. This is the boundary of the land and the Plat that is being approved. Under the Florida law, it is well established that once all legal requirements are met for Plat approval, the process is purely ministerial and not discretionary. Therefore, the Commission has no discretion but to approve the Plat. Staff testified at the beginning that this Plat application does meet all legal requirements. He then provided 2 examples of cases in Broward County, namely Broward County versus North Co Realty Inc., 359 Southern Second 509 and the other is City National Bank versus City of Coral Springs, 475 Southern Second 594, which all stand for the proposition that a plat approval is ministerial in nature and that there is no discretion. Whether the project is liked or not or whether it is too small or too big it does not matter, as long as it meets the legal requirements.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Quasi-Judicial/ Resolution be

ADOPTED. The motion carried by the following vote:

Yes: Eaton
McGee
McMahon
Hardin

No: Floyd
Perkins

Enactment No: RES. No. 2022-9712. [22-205](#) **P.H. 2022-41: (PUBLIC HEARING 2ND READING)**

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, REZONING PROPERTY LYING ON THE SOUTH SIDE OF NW 4TH STREET BETWEEN NW 31ST AVENUE AND NW 30 AVENUE, AND COMMONLY KNOWN AS 3055 NW 4TH STREET FROM B-3 (GENERAL BUSINESS) TO B-2 (COMMUNITY BUSINESS); PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

FIRST READING: MARCH 22, 2022

(Staff Contact: Jean Dolan/David Recor)

Jean Dolan, Development Services Department, presented the item and stated that the item is a City initiated rezoning from B-3 (General Business) to B-2 (Community Business) on a City owned lot at 3055 NW 4th Street. The rezoning would allow for the allocation of 1 flex unit for the construction of a single-family home. The current B-3 zoning designation of the subject property does allow multi-family residential but does not allow for single-family homes. The B-2 zoning will accommodate a single-family use. She then provided a brief background on the property. This rezoning will allow the City to build 1 single-family unit on the lot without precluding the frontage parcel on NW 31st Avenue from being developed either as Commercial use or as a residential project, allowed through a flex request. She noted that several of the Commercial furnished parcels on the east side of NW 31st Avenue have received flex units. If they are all developed as planned, the character of this block face would be predominately residential. She then displayed an overhead view of the project. The Planning and Zoning Board heard the request on February 23, 2022, and unanimously recommended approval.

Doug Borden, 525 North Ocean Boulevard, Pompano Beach, FL, stated that this is an example that he condones. Going from Commercial, and making more residential homes in this area is a great idea. This type of rezoning is beneficial for the City of Pompano Beach.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Quasi-Judicial/ Ordinance be

ADOPTED. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

Enactment No: ORD. No. 2022-31

13. [22-203](#) **P.H. 2022-40: (PUBLIC HEARING 1ST READING)**
AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, REZONING PROPERTY LYING SOUTH OF NE 16TH STREET AND EAST OF FEDERAL HIGHWAY AND COMMONLY KNOWN AS 1490, 1500, 1520, 1530, 1540, 1542, 1544, 1550, 1552, 1554 AND 1590 N. FEDERAL HIGHWAY, 2300 AND 2351 NE 16TH STREET, AND 1550, 1580 AND 1590 NE 23RD AVENUE FROM RD-1 (TWO-FAMILY RESIDENCE) AND PD-I (PLANNED DEVELOPMENT - INFILL) TO PD-I (PLANNED DEVELOPMENT - INFILL); PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Scott Reale/David Recor)

Jennifer Gomez, Assistant Director, Development Services Department, presented the item and stated that the item is to request City Commission's approval to amend the Hidden Harbor PD-I application which was approved by the Commission in January of 2020. This request adds 1 parcel in order to allow for a 3-story parking garage. It also reduces the intensity of the previous application from 9 stories to 8 stories and from 323 units to 300 units. In January, The Planning and Zoning Board recommended approval of this revision to the PD-I. The application was reviewed on behalf of staff by an outside consultant, Jim Hickey, Calvin Giordano & Associates, who is available to provide further information on the requested application.

Jim Hickey, Calvin Giordano & Associates, 1800 Eller Drive, Fort Lauderdale, FL, stated that he would briefly provide information on the Hidden Harbor PD-I; it is 7.19 net acres, which is the parcel acreage that goes out to the centerline of the road. This is to add 1 additional parcel to the north, where the garage is located. This will include the address at 2351 NE 16th Street from RD-1 to incorporate that into the PD-I and to construct a 3-story parking garage. The remainder of the development has decreased from 9 stories to 8 stories as previously proposed. Also, the maximum number of units has been reduced to 300. He provided a overhead on the proposed Master Plan, and the only change at the northeast corner where there was additional parking and an open space area, they have constructed a garage at the location. There are 2 garages created at this point, and they reduced the traffic from going back and forth with valet and other services that they had proposed.

Continuing, Mr. Hickey stated that the applicant is requesting 1 change to the modifications and deviations that are there, other than that all deviations will remain same. The additions are to include adding the roads to the

centerline of the internal intersecting roadway. This means that the original deviation was just for the parking lot to the south that has more than 500 vehicles. They are asking for the same design for both garages. Finally, Mr. Hickey stated that the Consultant/Planner is saying that approval of the PD-I, the rezoning application meets the Future Land Use goals, objectives and policies of the Comprehensive Plan, as well as the purpose and intent of the PD-I district.

Graham Penn, Bercow Randell Fernandez Larkin and Tapanes, 200 South Biscayne Boulevard, Suite 300, Miami, FL, provided an overhead presentation ,which is attached as **Exhibit 1**.

Mayor Hardin declared that he had ex parte communications with the developer concerning the item, and this version as well as previous versions.

Comr. McGee declared that she had ex parte communications with the developer regarding this item and keeping abreast with the project.

Comr. Eaton declared that she had ex parte communications with the applicant regarding this change.

Comr. Floyd declared that she had ex parte communications with the applicant regarding this change.

Vice Mayor Perkins indicated that she believed she had ex parte communications regarding the changes.

Comr. McMahon indicated that he had ex parte communications with the applicant regarding the change.

The following persons spoke in opposition to the project.

- 1) Brice Mitchell, 1211 SE 33rd Terrace, Pompano Beach, FL, is concerned that during the developer's presentation he did not mention any thing about 24th Avenue where the proposed parking garage will be butt up against. He indicated that currently 24th Avenue is a "drag strip" that people use for a shortcut to cut through. As well as it will be the main thoroughfare to get out of the parking garage.
- 2) John Klarsfeld, 1470 North Federal Highway, Pompano Beach, FL, provided a map of the area and how his property would be impacted by the mega garage proposed to be put in place. He showed how traffic will be diverted and would force users of the garage to utilize his property to get to and from the garage. He mentioned that according to information from Mr. Penn, they are planning to demolish his building located at 1470 North Federal Highway. In sum, he mentioned that he wants the development but not in a way that will destroy an adjoining property. He urged the Commission to deny the application until such time that a proper garage can be situated that does not adversely affect the adjoining properties, which include his property.
- 3) Sharon Chiappetta, 2870 NE 22nd Court, Pompano Beach, FL, stated the project has been over built and over promoted.
- 4) Mario Alexander, 5248 NE 18th Avenue, Pompano Beach, FL, expressed his concerns about the proposed parking lot. He concluded that people will take a shortcut to get to the parking lot/garage.

Therefore, he wanted them to provide a solution that this potential problem would not interfere with his property. He could have at least a chance to rent the place, which otherwise he would not be able to rent.

Mr. Penn provided his rebuttal comments. The document that Mr. Klarsfeld presented earlier of a photograph mistakenly taken of his property from his CPTED (Crime Prevention Through Environmental Design) Consultant. He confirmed that they are not proposing to demolish someone else's property. They have 2 existing structures on Federal Highway and they are going to demolish those as part of the development. Also, he clarified that it is a violation of Florida Statutes to cross Mr. Klarsfeld's lot to access 2 streets. They believe there will be no issue, and if there is, it is something that can be flushed out at the time of site planning, leasing, etc. with conditions. He then presented to the Commission why Mr. Klarsfeld's assumptions are senseless. He said there is nothing in the application that is changing or intensifying this development. Those access points in the garage on Federal Highway are the same that were approved through this PD, and through the major site planning twice, and have been reviewed by Kimley Horn, who is the City's outside traffic consultant. All these things have been reviewed since the initial approval, and goes with the other comments about 24th Avenue. All they are doing is reducing the intensity of the development, reducing the impact on 16th Street, and reducing the impact on 23rd Avenue. This is all documented in their materials analyzed by the City's outside consultant as well.

Comr. McGee indicated that 24th Avenue is already a cut through and perhaps the City could look at the different traffic calming, considering the added density to the area. Perhaps the owner from 1440 and the other neighbor would be open to the idea of also discussing this matter with the City to see how anything to alleviate the cut through could be minimized presently or in the future.

Mayor Hardin mentioned that he has also been considering 24th Avenue, considering the issues already outlined. Perhaps the City should get out there and do some kind of counts now so there will be some kind of baseline before, as there is an issue now and potentially a bigger issue later.

Comr. Eaton suggested that Mr. Klarsfeld may want to look at getting speedbumps placed in his parking lot. She also inquired if the 1470 property and the adjacent property are connected, and how much room is between the 2 properties.

Mr. Penn responded that there is a small setback of a couple feet maximum. They are not connected but they are very close. So, it would be significantly farther away when the new garage is built at 20 feet.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Quasi-Judicial/ Ordinance be APPROVED FIRST READING. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
Perkins
Hardin

No: McMahan

END OF QUASI-JUDICIAL PROCEEDING

14. [22-216](#) A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO PIGGYBACK OFF THE BOARD OF SUMTER COUNTY COMMISSIONERS' AGREEMENT FOR PAVEMENT MAINTENANCE AND REHABILITATION CONTINUING SERVICES, AND EXECUTE AN AGREEMENT FOR THE PAVING OF BLOUNT ROAD (NO. 1405) BETWEEN THE CITY OF POMPANO BEACH AND ASPHALT PAVING SYSTEMS, INC.; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$789,636.70)

(**Staff Contact:** Robert McCaughan/Tammy Good)

Tammy Good, CIP Manager, presented the item and stated that the project encompasses a full reconstruction of Blount Road, from the MLK Jr. Boulevard traversing north to Copans Road. They will be utilizing the FDR process to reconstruct the roadway. She explained how the process works and that it will cost less than the traditional pavement reconstruction process. It will take approximately 3 weeks to complete, so traffic will be minimized. The contractor was the sole bidder on the piggyback contract with Sumpter County. Staff recommends utilizing the piggyback contract to perform these services.

Vicente Thrower, 1890 NW 6th Avenue, Pompano Beach, FL, stated that he understands the piggyback process, which is good. However, when there are good people like David Asphalt who lives in the neighborhood and contributes to the tax base of the City, who are unable to acquire these City jobs due to the piggybacking process, which may not always be a good way of doing business. He suggested that the City should ensure that not too many piggybacks are utilized to carry out jobs that need to be done around the City.

Comr. McGee mentioned that the Commission brought up the aesthetically displeasing roads that the City is trying to get done quicker. Therefore, she wondered if possible, staff could be asked to keep an eye out for some possible piggyback options, other companies in Pompano Beach, and any other type of service, technology or company that could speed up addressing the aesthetic ones that could be done sooner than the 8 year plan.

After some discussion, Ms. Good mentioned that this is not new because the City has used them before on NW 3rd and the results were great and it last just as long as the traditional method. There are other companies that utilize the same process, however, this company is the only one who has the equipment to do it locally in

the State of Florida. In sum, this process is a proven method known to last long, costs less and has a quicker turnaround time of completion.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Resolution be ADOPTED. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

Enactment No: RES. No. 2022-98

15. [22-185](#) **P.H. 2022-36: (PUBLIC HEARING 2ND READING)**
AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, AMENDING CHAPTER 115, "MISCELLANEOUS BUSINESSES," BY CREATING SECTION 115.31, "MOTORIZED SCOOTER RENTALS," TO PROHIBIT THE RENTAL OF MOTORIZED SCOOTERS IN THE CITY FOR USE ON CITY STREETS; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

FIRST READING: FEBRUARY 22, 2022

(Staff Contact: Earl Bosworth)

Earl Bosworth, Assistant City Manager, presented the item and stated that there were no changes to the item since First Reading.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be ADOPTED. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

Enactment No: ORD. No. 2022-3216. [22-192](#) **P.H. 2022-37: (PUBLIC HEARING 2ND READING)**

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, BY AMENDING CHAPTER 72, "BICYCLES," BY CREATING SECTION 72.03, "MOTORIZED SCOOTERS AND MICRO MOBILITY DEVICES," BY AMENDING CHAPTER 98, "PARKS AND PLAYGROUNDS," BY AMENDING SECTION 98.01, "DEFINITIONS," AND SECTION 98.02, "PROHIBITED ACTS," BY AMENDING CHAPTER 100, "STREETS AND SIDEWALKS," BY AMENDING SECTION 100.35, "BUILDING OR OBSTRUCTION ON PUBLIC STREETS, SIDEWALKS, AND RIGHT-OF-WAY SWALE AREAS; PEDESTRIAN MEDIAN SAFETY," AND BY AMENDING CHAPTER 131, "OFFENSES AGAINST PERSONS AND PROPERTY," BY AMENDING SECTION 131.21, "OPERATION OF MOTORIZED SCOOTERS," TO MODIFY REQUIREMENTS FOR MOTORIZED SCOOTERS AND TO AMEND THE DEFINITION OF MOTORIZED SCOOTERS TO CONFORM TO STATE STATUTE; PROVIDING FOR CONFLICTS; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

FIRST READING: FEBRUARY 22, 2022

(Staff Contact: Earl Bosworth)

Earl Bosworth, Assistant City Manager, presented the item and stated that there were no changes to the item since First Reading.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be ADOPTED. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

Enactment No: ORD. No. 2022-3317. [22-241](#) **P.H. 2022-45: (PUBLIC HEARING 2ND READING)**

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A FIFTH AMENDMENT TO THE AGREEMENT FOR POLICE SERVICES BETWEEN THE CITY OF POMPANO BEACH AND THE

SHERIFF OF BROWARD COUNTY, FLORIDA; PROVIDING FOR SEVERABILITY;
PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: \$107,403)

FIRST READING: MARCH 22, 2022

(Staff Contact: Brian Donovan/Major Wayne Adkins)

Brian Donovan, Assistant City Manager, presented the item and stated that this is an Amendment for the City's police services agreement to add an additional homeless outreach deputy. This deputy will be assigned to the outreach team dedicated towards addressing homeless activities, which include actions such as enforcement and outreach. He mentioned that the advertising deadline passed for the agenda item, but given the need and importance for the item, staff recommended holding the Second Reading for this meeting, and First Reading for the next Commission meeting on March 22, 2022.

Vice Mayor Perkins inquired about the ARPA funds.

Mr. Donovan responded it is the American Rescue Plan Act (ARPA) funds the City received last fiscal year. Several months ago staff divided the funding into separate buckets and one was for homeless activities.

Vice Mayor Perkins stated she is aware that the City needs a lot of help with homelessness, however, she is unsure Broward Sheriff's Office (BSO) is the agency they need to be placed under. There are so many things in place for BSO and it does not appear to be helping, especially in the northwest community. There is a quarantine in place, there are the real time cameras in place, the tag readers are in place, the bicycles, and everything else, but nothing appears to be working with BSO. She will support resolving the problems and situation with the homeless, however, she cannot agree with this person to be under the wing of BSO.

Comr. McGee stated she is excited that the City is putting more effort into trying to help the homeless, and understands that this person will be dedicated to trying to get help if they need it and connect them with the proper resources. She knows that around the beach, the east village shops, Publix, and McNab there is a definite need for "more boots on the ground" to try to help these people and at the same time keep the residents safe to enjoy the parks, walk down the sidewalk and not be attacked. She cited an incident that happened while someone was walking across the bridge a shoe was thrown at them.

Continuing, Comr. McGee mentioned this is a great step and the City might need to do more, but it is a step in the right direction.

Comr. McMahon reported that a few weeks ago he did a ride along with the homeless outreach folks and he learned quite a bit. There is a homeless encampment in the City of Pompano Beach that is terrible and the County is working on fixing it. He learned that there is a true need for additional resources to handle the overwhelming tasks of controlling and policing the homeless situation in the City. He is happy to see this item and the City working with them and provided a few incidents where the officers working with the homeless appear understanding and compassionate and get these folks to a point where they will accept assistance offered to them, where at first they would refuse. They do get people off the streets and therefore he would

support this effort.

Comr. Eaton thinks this is a good idea and mentioned that this is a growing City, and safe streets are important to the residents of the City. She thinks the City should focus moving forward on expanding the police force. Cameras, and more officers on the street are all needed, therefore she supports this item.

Mayor Hardin mentioned that he supports the item. However, he is concerned about the City of Pompano Beach in regards to the homeless population and the road the City is on. If it was just policing to take care of the homeless situation, then there would not be a homeless problem, which would include this City, and other cities such as Fort Lauderdale, Los Angeles and communities all across the country that are plagued with homelessness and the impacts therefrom. Furthermore, he is unsure this is the best road to take to deal with these issues, and so far, what is being done is not working, even though the City is trying by utilizing the deputies. He is also unsure that the City has enough money in the budget to get this problem resolved by hiring homeless deputies. Perhaps the City may want to expand its horizons and think about some other type of services to help with the homeless, such as qualified social workers.

In sum, more needs to be done and he does not want to see Pompano Beach go down the road and follow what is happening in other growing communities in South Florida. Mayor Hardin indicated that he has spoken with City Manager Harrison about this problem and he understands the situation, and there are no easy answers to it. Just hiring homeless deputies may be effective on one hand, but on the other, there are other ways that the City would want to check into to figure out the overall problems that homelessness create.

Comr. McMahan agreed with Mayor Hardin's comments and believes there are other tools in the toolbox that need to be used to solve these problems. He mentioned that recently he visited the shelter on Blount Road and he thinks that jails and prisons are more attractive inside than the City's current homeless shelter. The social service issue is a County issue due to how the Charter is written. The County has an \$11 million budget for these things, and the facility needs repairs and upgrades. Perhaps the City could enter into partnership to get the facility operating with basic needs such as lighting in the rooms. In sum, a lot more resources are needed to make the facility what it should be.

Greg Harrison, City Manager, mentioned that the City has had an approved slot in the budget for a homeless coordinator and have had a hard time filling the position, because of wanting to find someone who is truly experienced and had a good record of accomplishments. It so happens that this position will be filled and will start this week. He then indicated how this position will work with the various agencies involved in the homeless issue, as well as come up with the relevant contacts and resources to help in this effort. Over the next few months a difference is expected to be seen. He then explained the issues that most cities are battling in South Florida as more people are enticed to come to Florida to get rid of their drug problems and some of the domino effects this is having on the community at large and contributing to the homeless population.

Comr. McMahan requested that Captain Torres explain the program that he recently explained to him about people in a rehabilitation facility and how the process works.

Captain Efrain Torres mentioned a few months ago he had approached Major Adkins, Police Chief, about the numerous overdose cases in the City, as well as the increase in the homeless population. Consequently, they

came up with an initiative, which he provided details on how it works. He indicated that the shelter does not provide any assistance for this program. He mentioned that they have a peer specialist who within 30 minutes shows up when they are called, and in the last 2 months they have kept approximately 60 people from overdosing. Actually, this program has exceeded their expectations, and no other firm in Broward County has this peer specialist program in place.

Comr. Eaton mentioned that she has a resident in Cresthaven that manages some sober homes and has interfaced with BSO to talk about this program, and suggests alternatives for a better lifestyle. The sober home is a profit motivated business more than a recovery business.

Captain Torres indicated that they now know what a certified sober home is like.

Comr. McGee is pleased to see a staff person involved and the various possibilities of activities that can now be put in place, from organizing workshops to coordinating with businesses who are interested to assist and to try and come up with other excellent ideas for this issue. The problem is huge, and no 1 person has the answer, but there is the possibilities of getting the private sector involved, as well as getting members of the community involved who could offer their assistance in regard to volunteering their time and skills to assist with performing various activities such as electrical work, contractors, painters and things of that nature to maintain the shelter facility and providing pertinent information to those who need to know to work together as a City to get a handle on the various issues with homelessness.

Mayor Hardin thanked Mr. Harrison for the announcement of getting a staff member on board to handle these issues.

Vice Mayor Perkins inquired about the vote that the Commission will be doing for the item, and would that be for the outreach deputy to work with BSO or a separate entity.

Mayor Hardin reiterated that he is not against the item, but more needs to be done and he is encouraged that a staff member is coming on board.

Vice Mayor Perkins mentioned that the City pays BSO \$53 million per year, and majority of the residents who attend the Commission meetings complain about speeding in the neighborhoods, and that cannot even get resolved. She wondered why BSO could not come up with funding for their own homeless area. Money is being thrown at them, but there is no prevention being planned as she sees it, because the crime and homelessness is still rampant in the northwest area and nothing seems to be working to alleviate these problems.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be ADOPTED. The motion carried by the following vote:

Yes: Eaton
McGee
McMahon
Hardin

No: Perkins

Absent: Floyd

Enactment No: ORD. No. 2022-34

18. [22-206](#) **P.H. 2022-43: (PUBLIC HEARING 1ST READING)**
AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, AMENDING CHAPTER 154, "PLANNING," BY AMENDING SECTION 154.02, "DEFINITIONS," TO REMOVE DEFINITIONS; BY AMENDING SECTION 154.60, "DEFINITIONS," TO ADD DEFINITIONS; BY AMENDING SECTION 154.61, "REDEVELOPMENT AND FLEXIBILITY UNITS," TO MODIFY APPLICATION REVIEW STANDARDS, TO REMOVE DEFINITIONS, AND TO PROVIDE REQUIREMENTS FOR DECONCENTRATION OF POVERTY THROUGH ALLOCATION OF FLEXIBILITY AND REDEVELOPMENT UNITS; BY AMENDING SECTION 154.80, "PROVISION OF REQUIRED AFFORDABLE HOUSING," TO MODIFY REQUIREMENTS FOR PROVISION OF REQUIRED AFFORDABLE HOUSING; AND AMENDING CHAPTER 155, "ZONING CODE," OF THE POMPANO BEACH CODE OF ORDINANCES, BY AMENDING SECTION 155.3302., "LIMITED BUSINESS (B-1)," SECTION 155.3303., "COMMUNITY BUSINESS (B-2)," AND SECTION 155.3304., "GENERAL BUSINESS (B-3)," TO PROVIDE ADDITIONAL OPTIONS FOR ALLOCATION OF RESIDENTIAL UNITS IN A COMMERCIAL LAND USE DESIGNATION; BY AMENDING SECTION 155.4202., "RESIDENTIAL: HOUSEHOLD LIVING USES," TO PROVIDE ADDITIONAL STANDARDS FOR IMPLEMENTATION OF BROWARD COUNTY'S AFFORDABLE HOUSING POLICIES AND THE CITY'S POLICIES FOR REDEVELOPMENT AND FLEXIBILITY UNITS; BY AMENDING SECTION 155.5602., "COMMERCIAL, INSTITUTIONAL, AND MIXED-USE DESIGN STANDARDS," AND SECTION 155.5603., "INDUSTRIAL DESIGN STANDARDS," TO PROVIDE ADDITIONAL REQUIREMENTS FOR COMPLIANCE WITH STANDARDS FOR EACH SECTION; BY AMENDING SECTION 155.5605., "PARKING DECK OR GARAGE DESIGN STANDARDS," TO PROVIDE ADDITIONAL DESIGN STANDARDS; BY AMENDING SECTION 155.9401., "MEASUREMENT," TO PROVIDE MEASUREMENT STANDARDS AND OPTIONS FOR MEASUREMENT OF REQUIRED DISTANCES BETWEEN PROPERTIES AND USES; AND BY AMENDING ARTICLE 9, PART 5, "TERMS AND USES DEFINED," BY PROVIDING DEFINITIONS FOR INCOME-RESTRICTED AND NON-INCOME RESTRICTED UNITS; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Jean Dolan/Max Wemyss)

Meeting went into Recess

Meeting Reconvened

Max Wemyss, Sustainability Coordinator, Development Services Department, presented the item and stated that this is a Text Amendment that creates the opportunity to redevelop along select corridors within the City, mixed use and mixed income developments. He provided a timeline of activities on how the City arrived at this point. Next, he provided context of opportunities and various policies, resulting in the recommended Text Amendment to the City's Code of Ordinances to incentivize well designed mixed use and mixed-use developments. He presented a map demonstrating the local implementation of the County's policy for the Zoning Text Amendment. He then provided details on income restricted development in the County. He explained the assembly of the Dixie Highway Task Force and the subsequent meetings they had, with the intention to advance thoughtful regulations that are responsive to the relevant planning efforts.

Continuing, Mr. Wemyss summarized the proposed regulations, commencing with a Broward County Policy established residential entitlements along specific corridors and Land Use categories. Included would be specific standards for mixed income housing following the City's housing policy and creating design guidelines to supplement the mixed-use mixed income style being sought. Next, they applied the same approach to applications for flex units to remain consistent in all the applications. The proposed text includes references to the policy for residential entitlements in the City's Commercial zoning categories. Incentives such as reductions in pervious area, increases in lot coverage and parking reductions. Requirements for abutting residential compatibility and other design requirements that are typical for mixed-use development within the City. They are setting a standard for design along these corridors that all development must maintain, including light industrial uses such as warehouse, which are permitted in a B-4 zoning category. Lastly, they are adding a screening requirement for visible parking garage facades. One minor change to the proposed Text has been identified as necessary for clarification, but does not alter the result of the proposed regulations or change the title of the Ordinance, which will be made prior to Second Reading.

Mayor Hardin recognized Fred Stacer who shared in the Planning and Zoning Board and thanked him for his efforts and allowed him to add his comments. He also thanked the entire Board for their hard and long hours put into the most technical Board of the City.

Fred Stacer, Chair of Planning and Zoning Board provided his comments on how it started out and believes the results will make a better piece of legislation, one of which was the Task Force that was not initially anticipated. There were approximately 19 people involved as listed, to include City Attorney Mark Berman and CRA Attorney Claudia McKenna. This legislation will be the cutting edge for the County. He thanked the Development Services Department staff, City Manager Harrison and his Executive Staff, Chairman and Vice Chairman of the Northwest CRA, and CRA Director Nguyen Tran. Additionally, he worked long hours with the staff at John Knox Village, specifically President and C.E.O. Gerry Stryker, as well as the staff and their

development team. He also thanked Chris Metzger, Industrial Property Broker and Vice President of Cushman & Wakefield, as well as Economic Development Council (EDC) member. He thanked Tom DiGorgio who spearheaded the efforts with Broward County. He mentioned that Mayor Ganz, of the City of Deerfield Beach and their development services director and economic development director attended the EDC meeting where the final product was presented, indicating the possibility of Dixie Highway integration between the two cities.

Comr. McMahon echoed Mayor Hardin's sentiments on the incredible number of hours that Mr. Stacer puts into making the City as beautiful as possible. He thanked Mr. Stacer and the rest of the Board that has worked tirelessly on the Planning and Zoning Board for getting such a big project together in a timely manner.

Comr. McGee echoed similar sentiments by both Mayor Hardin and Comr. McMahon, and thanked Mr. Stacer and the Planning and Zoning Board, the EDC and the Task Force for putting their expertise, brain power, as well as their heart and love for the City in this effort.

Comr. Eaton echoed the prior sentiments and thanked everyone who participated. The Planning and Zoning Board, which are all volunteer positions.

Mayor Hardin mentioned that this will set the stage for years to come, and will help guide development in the future for many many years. He then thanked everyone for bringing this product to completion.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be APPROVED FIRST READING. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

19. [22-220](#) **P.H. 2022-42: (PUBLIC HEARING 1ST READING)**
AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A THIRD AMENDMENT TO THE CONSTRUCTION MANAGER-AT-RISK CONTRACT BETWEEN THE CITY OF POMPANO BEACH AND BURKHARDT CONSTRUCTION, INC., FOR THE SR A1A STREETScape IMPROVEMENTS; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.
(Fiscal Impact: \$3,282,404.39)

(Staff Contact: Horacio Danovich)

Horacio Danovich, G.O. Bond and Innovation District Director, presented the item and stated that this is seeking City Commission's approval to execute a GMP (Guaranteed Maximum Price) contract with Burkhardt Construction Inc. who has done a lot of work in the City. The firm will oversee construction and assist staff with work to be done on State Road A1A, from Sunset Lane to Atlantic Boulevard, which is a Phase III of a 4-phase project. Phase I was the undergrounding of the overhead utilities from Sunset Lane to Atlantic Boulevard. Recently, the City approved the undergrounding from Atlantic Boulevard to Hillsboro Inlet, which was Phase II. So, this is the streetscape part of the work from Sunset Lane to Atlantic Boulevard. In a few months from now he will return to ask the City Commission's approval for the other part, which will be the last Phase.

Mr. Danovich pointed out that in this particular contract, in 2018, when he sat with Burkhardt Construction to work on the project to get projections, they projected the exact value \$3.3 million for this work. It is about 2% -3% within the range, which is incredible considering the economic impacts over the past 3 years. He mentioned that the results of the medians was a partnership and hard work with Florida Department of Transportation (FDOT) making sure when these are in place the City does not nullify the existing properties that are there and the ability to get in and out.

In response to Mayor Hardin's question on the location of Sunset Lane, Mr. Danovich stated it is a few blocks south of Terra Mar Drive, which is borderline to Lauderdale-By-The-Sea.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be APPROVED FIRST READING. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

20. [22-230](#) **P.H. 2022-44: (PUBLIC HEARING 1ST READING)**

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, APPROVING AND AUTHORIZING THE PROPER CITY OFFICIALS TO EXECUTE A FIRST AMENDMENT EXTENDING AND MODIFYING THE EMPLOYMENT AGREEMENT BETWEEN THE CITY OF POMPANO BEACH AND GREGORY P. HARRISON; PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

(Fiscal Impact: N/A)

(Staff Contact: Ed Beecher)

Ed Beecher, Director, Human Resources Department, presented the item and stated that it is the First Reading of an Ordinance providing for the First Amendment to the Employment Agreement for City Manager, Greg Harrison, extending and modifying stated provisions.

Neil Whitman, 811 SE 2nd Avenue, Pompano Beach, FL, spoke in support of the item. He indicated that he is the Union President for the Pompano Beach Firefighters, and has sat on the Executive Board since 2006. He has been working for the City for 20 years. He has worked under at least 4 City Managers and 6 Union Presidents and he has never had a more harmonious relationship with City Hall. With regards to labor and management, things are going smoothly. He urged the Commission to approve the item because it would mean a lot to them. From a personal standpoint, as a resident of the City, he loves living in the City, and it has never looked better in 20 years. He likes the direction that the City is going and he appreciates all the hard work.

Comr. McGee echoed the speaker's comments, and stated Mr. Harrison has always been available even when he was extremely post-op, at times he is always there to listen. In disagreement he remains professional and harmonious at the same time. She enjoys working with him and looks forward to continuing to do so.

Comr. McMahan stated that in the backup is the list of accomplishments are 3 pages that he does not think there is another City Manager in Broward County with that extent of background. Also, working with businesses, developments and things of that nature through COVID-19, Pompano Beach stayed opened. Many of the neighboring Cities did not have the technical abilities that the City has when it relates to planning. Permits still got processed, inspections were still carried out, and many things continued through the City because of Mr. Harrison's leadership, and protecting the City's employees from COVID-19 and providing all the safety measures that were necessary during this very challenging time. The City is lucky to have Mr. Harrison as its City Manager, and he is looking forward to working with him in the future.

Comr. Eaton stated that there are so many good things to say about Mr. Harrison. She indicated that her significant other is a governmental consultant and a lobbyist for governments in Tallahassee, and has done so for over 30 years and has been in government for 50 years and worked with dozens of City Managers over the years and in his words, "You are one of the best he has ever seen, if not the best." She welcomes and is thankful for Mr. Harrison's vision. In sum, Pompano is where it is today due to his leadership. She is glad that he is back and thankful that he will stick around.

Comr. Floyd thanked Mr. Harrison for continuing to always be there and answering her questions that she may have, and making himself available at all times of the day.

Comr. McMahan added that Mr. Harrison is available 24/7. He has called him at the oddest of times and he takes the phone call no matter what and gets the job done. He handles any type of complaint or issue, which is dealt with rather quickly and swiftly. Recently, he did a ride along with Mr. Harrison and his office provided a spreadsheet of where each project was, what was done how fast it was done and it was done in a record-breaking time to get things up to standard. He expressed his thanks to Mr. Harrison for all his efforts.

Mayor Hardin indicated that the Commission made the right decision 5 years ago and look forward to at least another 5 years.

Vice Mayor Perkins asked for a clarification of the modifications to Mr. Harrison's employment.

Mr. Beecher explained that the agreement calls for another 5-year agreement and there is a termination provision as well.

Vice Mayor Perkins asked if the City ever had a termination of this sort prior.

Mr. Beecher responded not in Mr. Harrison's contract, but in previous contracts the City has had that. Staff has found when surveying other cities it is standard language, and what the State Statute provides.

Vice Mayor Perkins indicated that the commissioners have all had their experiences with the City Manager. She has had a different experience. Notwithstanding, she would like to hear from the public, and that a survey be done through a third party to find out from the residents how they feel about the City Manager and his effectiveness, especially during the pandemic, and how the staff is communicating with the residents as well. This will provide more input because the Commissioners all have a one on one with him. In addition, she would like to hear publicly from the residents about the City Manager in the way the City is going.

Continuing, Vice Mayor Perkins mentioned that she would like to see a 1-year term for the City Manager's contract, as a lot of things do happen within 5 years. So, she will not agree to the 5 years but has no problem with a 1-year term basis.

Mayor Hardin mentioned that the City has been doing surveys every so often not necessarily for the City Manager. He is not sure there is much public contact with the City Manager. He recalled one of the survey results were overwhelmingly positive for the City of Pompano Beach. An independent polling agency that did the surveys. The results have gone up over the years that they have been doing these surveys.

Mr. Harrison mentioned that a survey was due to be done during the start of the COVID-19 pandemic, so now that things are starting to slow down, the plan is to do a survey at the beginning of the year 2023.

Mayor Hardin requested that City Manager Harrison get his staff to pull the surveys for the past few times they were done, and send them to the Commission. It starts out with the City services that get delivered.

Comr. Floyd asked for an explanation of the termination provision in the agreement.

Mr. Beecher responded that it is consistent to what the State Statute provides. It is a severance provision, in the event of a termination.

In response to Vice Mayor Perkins' question regarding the City Manager being terminated, Mr. Harrison explained that he does not feel he will be terminated. However, when the old contract was drafted, there was a statement about severance but it was only good for the first 6 months for the 5-year contract. So, this new

contract will put a paragraph in about termination and severance, which is consistent with a number of City Managers in the area in Florida.

A motion was made by Vice Mayor Perkins, seconded by Commissioner McGee, that the Regular Agenda/ Ordinance be APPROVED FIRST READING. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Hardin

No: Perkins

21. [22-232](#) Discussion and consideration item for the annual performance evaluation for Mr. Deusdedit C. Kiyemba, Internal Auditor.
(Fiscal Impact: To be determined by the City Commission)

(**Staff Contact:** Ed Beecher)

Ed Beecher, Director, Human Resources Department, presented the item and stated that at the City Commission's direction, each Charter Officer reporting directly to the City Commission is evaluated annually on an established review anniversary date. Also, at the City Commission's request, Human Resources (HR) prepared for the Commission a suggested performance evaluation for use as an evaluation tool, if so desired. The annual performance evaluation of the Internal Auditor is up for review at this time. He attached the annual performance data for review and consideration. The information is consistent with the non-bargaining and General Employees, which shows a performance merit for up to 3%. A survey was conducted by HR of the area cities that they have used in the past for benchmarking, based on the City's size and population. The survey reveals that the position of Internal Auditor is at the 75 percentiles range.

Comr. McGee stated that all her interactions with Mr. Kiyemba has been extremely professional and he does a great job keeping the City on its toes.

Comr. Eaton commented, "Excellent."

Mayor Hardin stated that DC has done a tremendous job and he just does his job keeping an eye on the City, which is what is needed from an Internal Auditor. He then thanked Mr. Kiyemba for his efforts. Therefore, he recommended a merit increase of 3%, which is warranted.

MOTION: A motion was made by Mayor Hardin, seconded by Comr. McGee, to award a merit increase of 3% to Mr. Kiyemba.

A motion was made by Mayor Hardin, seconded by Commissioner McGee, that the Item for Consideration/Discussion be APPROVED to award a 3% Merit Increase to Deusdedit C. Kiyemba, Internal Auditor. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

22. [22-233](#) Discussion and consideration item for the annual performance evaluation for Mrs. Asceleta Hammond, City Clerk.
(Fiscal Impact: To be determined by the City Commission)

(**Staff Contact:** Ed Beecher)

Ed Beecher, Director, Human Resources Department, presented the item and stated that at the City Commission's direction, each Charter Officer reporting directly to the City Commission is evaluated annually on an established review anniversary date. Also, at the City Commission's request, Human Resources (HR) prepared for the Commission a suggested performance evaluation for use as an evaluation tool, if so desired. The annual performance evaluation of the City Clerk is up for review. He attached the annual performance data for review and consideration. The information is consistent with the non-bargaining and General Employees, which shows a performance merit of up to 3%. A survey was conducted by HR of the area cities that they have used in the past for benchmarking, based on the City's size and population. The survey reveals that the position of City Clerk is at the 67 percentile range.

Comr. Eaton commented, "Excellent."

Comr. McGee echoed Comr. Eaton's comments. Asceleta and her entire staff are a pleasure to work with whenever there is anything needed or questions to be answered they are quick and available.

Mayor Hardin stated he agreed with the prior speakers and added that there has been some new innovation for the election process, which will be conducted electronically. He thanked Ms. Hammond for instituting this process.

Vice Mayor Perkins commended Ms. Hammond for doing a great job, and that she has no complaints. This is a great department and they are always answering questions and getting back with the Commission in a timely manner. Everybody on staff is friendly and informative. She encouraged Ms. Hammond to keep up the good work.

Comr. Floyd stated that she would sum it up in one word, “Phenomenal.”

Comr. McMahon echoed everyone’s comments regarding doing an excellent job. Accessibility is always available to reach them when the I-Pads are not working, and he needs a backup or if something’s missing. They are very graceful and helpful. He thinks it is time to put a neat TV in her office. He does make fun of the big glass TV in the corner of her office. He thanked Ms. Hammond for all the hard work done by her and her staff.

Mayor Hardin stated that the City Commission does not have to deal with many employees, and only handles the 4. The City Manager, City Attorney, City Auditor and City Clerk. Under the Commission’s charge they do have some great employees. He thanked Ms. Hammond for her efforts.

MOTION: A motion was made by Mayor Hardin, seconded by Comr. Floyd, to award a merit increase of 3% to Ms. Hammond.

A motion was made by Mayor Hardin, seconded by Commissioner McGee, that the Item for Consideration/Discussion be APPROVED to award a 3% Merit Increase to Asceleta Hammond, City Clerk. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Perkins
Hardin

23. [22-234](#) Discussion and consideration item for the annual performance evaluation for Mr. Gregory P. Harrison, City Manager.
(Fiscal Impact: To be determined by the City Commission)

(Staff Contact: Ed Beecher)

Ed Beecher, Director, Human Resources Department, presented the item and stated that at the City Commission’s direction, each Charter Officer reporting directly to the City Commission is evaluated annually on an established review anniversary date. Also, at the City Commission’s request, Human Resources (HR) prepared for the Commission a suggested performance evaluation for use as an evaluation tool, if so desired. The annual performance evaluation of the City Clerk is up for review. He attached the annual performance evaluation data for review and consideration. The information is consistent with the non-bargaining and General Employees, which shows a performance merit of up to 3%. A survey was conducted by HR of the area cities that they have used in the past for benchmarking, based on the City’s size and population. The survey reveals that the position of City Clerk is at the 85-percentile range.

Comr. Eaton in brief stated, excellent.

Vice Mayor Perkins asked if the 3% is a combination of the Community Redevelopment Agency (CRA) Executive Director position as well.

Mr. Beecher responded that Mr. Harrison receives one salary from the City. So, yes, it is combined. The total salary for the City Manager is approximately \$310,000 to include both the CRA and the City.

Vice Mayor Perkins mentioned that as she stated earlier, there are differences as to how the City Manager treats the Commission. Whenever, residents from her community requests anything, she would normally go to the City Manager to ask for it, however, he does have the tendency to choose and pick whether he wants to do it or not. It depends on what he likes of whatever projects he finds fitting that he does not find a fault with, and this has been her experience with the City Manager. Notwithstanding, there are some issues that they work well together on and she compliment him for that. However, she thinks as it relates to District 4 a lot better and more could be done. She mentioned that both Districts 4 and 5 lack the most.

Comr. Floyd indicated that since she has been sitting on the dais she has asked for a few things, and have not always received yes's, but some things will be a no. She thinks that if her constituents are pressing her to get things moved forward, perhaps there could be a better way of trying to get things pushed through that the people need. Sometimes things are great and Mr. Harrison is always there if she calls on him on a 24/7 basis. There need to be a better system in getting some of the issues she has in District 5 with some of the residents to get some of those issues resolved.

Continuing, Comr. Floyd wanted it noted that if there are any meetings or anything that happens regarding her district, as soon as Mr. Harrison is made aware that he makes her aware as well. This will allow her to be in the "loop of things." She cited the incident with the opening of the Isle Casino for reference purposes to make her point clear of desiring to be notified of all happenings in her District at the earliest possible time.

Mayor Hardin stated that his experience with the City Manager has been "pretty good." He has had on occasion have run-ins with the City Manager when they disagree, but this is normal. From time to time he has had frank conversations with the City Manager and they have disagreed to agree. However, in his estimation, Mr. Harrison has done a remarkable job leading the City through multiple issues. Overall the evidence is apparent where a lot of good things have been happening in the City of Pompano Beach. Things are going in the right direction. Nevertheless, everything is not rosy, but that is a reason for the people needing City Commission and Management. There is always more to do by Mr. Harrison and his staff. In his experience when he calls the City Manager to make something happen, it is not always yes, we can do it, but it is always we will look into it and see if a way could be figured out. Sometime there is not a way to accomplish everybody's desire or request. Overall, the City is in great shape, and he thinks the City is moving in the right direction. So, he thanked Mr. Harrison for that.

MOTION: A motion was made by Mayor Hardin, seconded by Comr. McGee, to award a merit increase of 3% to Mr. Harrison.

Comr. McGee echoed Mayor Hardin's sentiments. It is the same thing and what makes it work so well, all members of the Commission has different life and experiences to draw from, as well as different opinions on

things. Mr. Harrison does an amazing job in balancing all 6 members and looking into the different priorities to try and figure it all out as what can or cannot be done.

Mayor Hardin indicated he would not want to be a City Manager to deal with 6 bosses, which often times is pulling in different directions that is all for the good of the City. Those finite resources that are available in the City have to get pulled from somewhere, and it becomes a question of allocation of resources and he has to deal with this every time a Commissioner has a request and it cannot always be accommodated.

A motion was made by Mayor Hardin, seconded by Commissioner McGee, that the Item for Consideration/Discussion be APPROVED to award a 3% Merit Increase to Gregory Harrison, City Manager. The motion carried by the following vote:

Yes: Eaton
Floyd
McGee
McMahon
Hardin

No: Perkins

F. NEXT SCHEDULED MEETING

March 22, 2022 at 6:00 p.m. - Regular City Commission Meeting

G. REPORTS

CITY MANAGER GREGORY HARRISON - Employment Contract and Evaluation - Mr. Harrison thanked the City Commission for the First Reading of his contract and evaluation. He mentioned that he would like to get with Vice Mayor Perkins to re-review the 3-4 pages of spreadsheets that they have been going over monthly on all the projects and progress. If there is anything on the sheets that is concerning to her, he suggested that she give him a call and let him know.

Comr. Floyd's Comments on Events in District 5 - Mr. Harrison addressed Comr. Floyd's comments about the Isle Casino and reiterated that it was not the City's invitation, it came from the Isle.

Comr. Floyd suggested if the City Manager receives any kind of invitation for her district, and he did not see her name on the distribution list, she would appreciate if he could notify her as soon as possible.

Mr. Harrison wanted to make it clear that the invitation from the Isle Casino was not the City's party. Nevertheless, he can work on those things as time goes on.

Finance Director Resignation - Mr. Harrison reported that the City is losing the services of Finance Director, Andrew Jean-Pierre who will be joining the City of North Miami Beach to be the Finance Director.

He does live in the area and has been commuting for 14 years, so he is a bit worn out, and this will make his personal life a lot better, He wished Andrew well and thanked him for his 14 years with the City of Pompano Beach. He will be missed.

Mayor Hardin stated that he will be sorry to see Mr. Jean-Pierre go, but he understands completely.

Horacio Danovich Resignation as City Employee - Mr. Harrison announced that Horacio Danovich, has decided to become a professional service contract consultant with the City. Consequently, he will not be on the City's payroll full time. The City will work with him on completion of the G.O. Bond projects, and other projects he has been working on. He will not have his email with the extension @copbfl on it, rather it will be his new company, which he named after his grandchildren. He thanked Mr. Danovich for his years with the City as an employee.

Mayor Hardin indicated that it is interesting that Horacio Danovich started out with the City as a contractor and then joined the City, and is now going back to being a contractor. He thanked Mr. Danovich for his years of service to the City.

CITY ATTORNEY MARK BERMAN - No Report.

Best Wishes - Mr. Berman wished Mr. Jean-Pierre all the best.

CITY CLERK ASCELETA HAMMOND - No Report

Evaluation Recognition - Ms. Hammond thanked the City Commission for the confidence placed in her and her team in the Clerk's Office, as well as their kind words expressed. She said she is aware that she has an A-1 team, which she has work at keeping it together. Her goal is to please, and if there is anything that the City Commission requires, just let her know.

COMMISSIONER RHONDA EATON - Comr. Eaton stated she received an email from Assistant City Manager, Suzette Sibble showing the amount of money spent in each district. Overall, District 2, her district, received the least amount of money in the last 5 years. Therefore, she requested some "Please do not litter" signs for 33rd Street. They have done a beautiful job with the Street through the G.O. Bond, but it is a shame people do litter the street. Perhaps a couple of signs would help.

Cresthaven Civic Association Meeting - Comr. Eaton announced that the Cresthaven Civic Association is meeting Thursday, March 10th, which is the second Thursday of every month, at the Burrie Center at 7:00 p.m.

Fences Ordinance Regulation to be Repealed - Comr. Eaton mentioned that she would like to get an item on the agenda and wondered if she needed to make a motion, if nothing else but for discussion purposes. It is a zoning regulation that staff would have to review. It is about fences, especially on corner lots, which she recalls it being enacted in 2004. She provided a brief history of the regulation prior to that area's annexation to the City. The County's Code allowed for a 6' fence on the property line. However, if a survey is done prior to annexation in the year 2000, and the property has not changed hands 5 or 6 times, a fence cannot be rebuilt on

that lot line. The rule has changed to soften the look of the fence, and it is now required that a 6' fence on a corner lot must move back to the interior of the property by 4'. If a person wants a 4' fence they can put it right on their property line. In fact, if you need a 6' fence you will need to make it 4', which she feels it is "a taking" and explained what had happened to put this legislation in place, which was for aesthetic purpose only.

In sum, Comr. Eaton mentioned that she would like to get this Ordinance back on the agenda to be repealed. To deprive people the use of their property, especially when they want to replace an existing fence that has been in place for over 25 years, and the law is not allowing the replacement without losing the use of part of the property for fencing, is not right. This appears to be an ill-conceived regulation and it is having the opposite effect, because it is not improving the look of the community. She mentioned that she would like to get this on the agenda and get a motion for staff to do what needs to be done for the sake of discussion.

Comr. McGee agreed to second the motion. However, no vote was taken for the suggestion of the motion.

COMMISSIONER CYNDY FLOYD - Clarification of Invitation from Isle Casino - Comr. Floyd thanked Mr. Harrison for clearing up the confusion on the email invitation from the Isle Casino. She believes she can remedy this by sending an email introducing herself to them.

McNair Park Project meetings - Comr. Floyd stated that if there are any meetings regarding the McNair Park project, she would like to be informed of all of those future meetings.

Barbecue Throw Down Event - Comr. Floyd thanked all those who came out to the Barbecue Throw Down. It was a great success. They had a wonderful time, and the barbecue was great.

COMMISSIONER ANDREA MCGEE - Beach Re-nourishment - Comr. McGee reported that she has received updates from Broward County Vice Mayor Fisher about the City's beach re-nourishment, and currently, they are continuing north of 16th Street to Marine Drive. It has been going a little slower because of the amount of sand that the beach lost, and they are laying and putting down sand, as well as the water has been rough. In sum, it is progressing, and they are trying to get as much done as possible. It has delayed a little bit of the continuation of the dune system, which they were trying to time it to hold the sand that is being put in place. She spoke with the Audubon Society and they are planning on working around the re-nourishment, and soon a lot of the beach will be reclaimed, sandy, usable and beautiful for all.

COMMISSIONER TOM MCMAHON - Atlantic Boulevard and Dixie Highway Project - Comr. McMahon thinks the process the City went through with the intersection of Atlantic Boulevard and Dixie Highway is interesting. The Commission hears a lot of voices, and they hear people say that we "are not listening to majority of the residents." He does not know if this is true. There are 120,000 residents, and since the project started, he has received approximately 80 emails in reference to the project. So, he thinks the City is doing a good job, which he must keep in perspective because there are unhappy residents. At the end of the day the Commission is not satisfied with the current plan, and the optimized plan will actually reduce traffic to a speed better than what is currently there, and better than it was a couple years ago. The plan is there and in place. Some of it may have taken out of context, and there is misinformation out there. At Untapped on Friday, the CRA had a tent with the banner showing the layouts. It is more than just Atlantic Boulevard and Dixie

Highway, this is craving a downtown, and connecting the west with the east. Also, it is more than just a streetscape. The beach tells the success story of persevering through the pros and cons of renovation. The bottom line is to get more information out, as well as going with the Residence to show them some of the obstacles that the Commission has to deal with. If they have the property and it is zoned for this they are allowed to build it.

Pompano Beach Historical Fund Raiser Event - Comr. McMahon stated that the Pompano Beach Historical Society Fund Raiser will take place on March 26, 2022, which will be held at the historical Ali Building. They are a non-profit organization, and have not had a fund raiser event for the past 2 years due to COVID. The event is always a fun night, and even though he is not a gambler, folks can get chips and have a fun night, plus the community gets to gather together. Tickets can be purchased at Pompanohistory.com

VICE MAYOR BEVERLY PERKINS - Celebration at Ali Building - Vice Mayor Perkins reported that they had a wonderful Celebration time Friday night at the Ali Building, and more of that needs to be done at the Ali Building.

Peace Up Guns Down March - Vice Mayor Perkins thanked the Mayor and Commissioner Floyd for attending the Peace up Guns Down march. This was for one of the young ladies in District 4, Jazzmine Brayboy who was killed. It was a nice turn out. One of the family members will be contacting the City Manager for something to be done in the City of Pompano Beach pertaining to gun violence, perhaps have an annual event in the City to talk about gun violence in the area.

Mobile Unit - Vice Mayor Perkins stated she received a call from Congresswoman Sheila McCormick who is interested in putting a mobile unit in the City of Pompano Beach. It was suggested to her that the E. Pat Larkins parking lot would be an ideal place. If possible, the City Manager could look into this to make it happen. Greg Harrison, City Manager stated that he spoke with Congresswoman McCormick's Regional Aide and she was told any where they wanted to put the mobile unit is good, they just need to inform the City when and where they want to put it.

MAYOR REX HARDIN - Pioneers' Ball at the Ali Center - Mayor Hardin piggyback on what Vice Mayor Perkins mentioned earlier, and stated the Pioneers' Ball at the Ali Center was one of the many Black History events that took place within the City this year, and he was very proud of how the City in regards to the number and variety of events held surrounding the Black History Month. Kudos to the City for putting together such a great show for Black History Month. The Pioneers' Ball was very nice, honoring educators. In attendance were School Board member, Nora Rupert, and the new School Board Superintendent, Ms. Cartwright. Also in attendance were Vice Mayor Perkins, Comr. Floyd, plus he was there.

Peace Up Guns Down Event - Mayor Hardin stated at the event for Peace Up Guns Down it was well attended, and there was some dialogue at the end of the meeting about some possible future ideas and steps the City could take to try and address the violence in the community. One of the ideas was a gun buyback and he would like to see the City pursuing that, which would be a gun buyback event for the City of Pompano Beach. The City can coordinate and partner with the Broward Sheriff's Office (BSO). This will not be "a be all to end all" to end gun violence. However, if it got one gun off the street that might be used wrongly, then it would be a step in the right direction. Consequently, Mayor Hardin directed the City Manager to move forward with coordinating with BSO some sort of gun buyback for the City. This is not to take guns from anyone, but if people want to get rid of their guns the City would assist them in this effort.

Comr. Floyd mentioned that on March 25th a safety day is being planned and they were looking into the idea

of doing a gun buyback. So, she would be getting more information on this and providing the information to the City Manager.

Ukraine War - Mayor Hardin asked everyone to keep the people in Ukraine in their prayers.

H. ADJOURNMENT

The meeting adjourned at 5:18 p.m.

Rex Hardin, Mayor

Asceleta Hammond, City Clerk

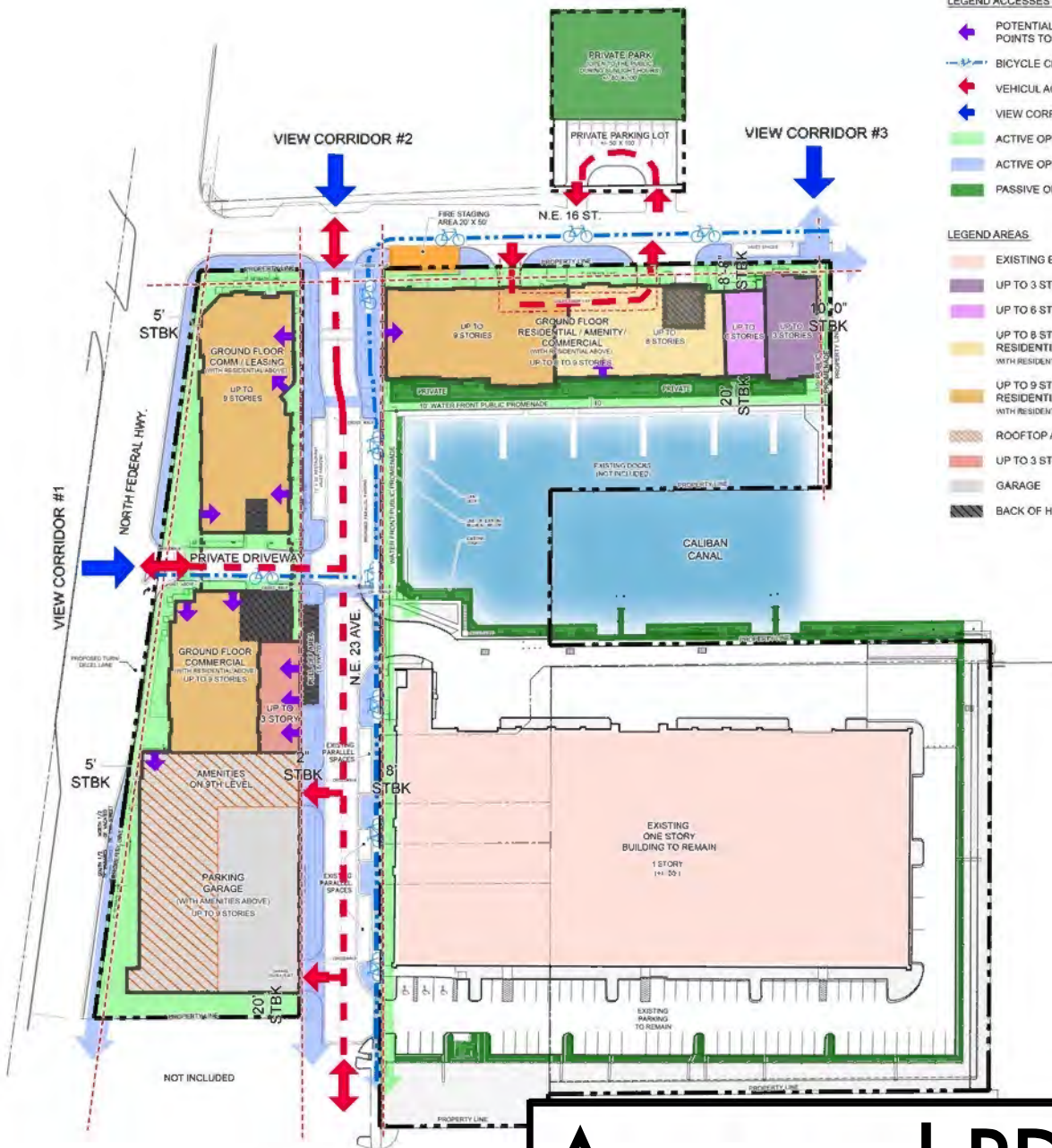


Hidden Harbour PD – 2021 Changes

Scope of Approved PD Development



**Maximum Residential
Development: 323 Units**



- LEGEND ACCESSES**
- POTENTIAL PEDESTRIAN ACCESS POINTS TO BUILDINGS
 - BICYCLE CIRCULATION
 - VEHICULAR ACCESS TO SITE & GARAGE
 - VIEW CORRIDORS
 - ACTIVE OPEN SPACE (PRIVATE)
 - ACTIVE OPEN SPACE (PUBLIC)
 - PASSIVE OPEN SPACE (PRIVATE)
- LEGEND AREAS**
- EXISTING BUILDING (BOAT STORAGE FACILITY)
 - UP TO 3 STORIES - ALL RESIDENTIAL
 - UP TO 6 STORIES - ALL RESIDENTIAL
 - UP TO 8 STORIES - GROUND FLOOR RESIDENTIAL/AMENITY & COMMERCIAL WITH RESIDENTIAL ABOVE
 - UP TO 9 STORIES - GROUND FLOOR RESIDENTIAL/COMMERCIAL / LEASING WITH RESIDENTIAL ABOVE
 - ROOFTOP AMENITIES ON 9TH LEVEL
 - UP TO 3 STORY - GROUND FLOOR COMMERCIAL
 - GARAGE
 - BACK OF HOUSE / MEP/ SERVICE AREAS

Approved PD Plan

PD I MASTER PLAN
SCALE: 1"=40'

CONSOLIDATED USE TABLE				
Use Category	Use Type	Permitted	Use-Specific Standards	
Household Living Uses	Dwelling, low-density	P	155.4202.A	
	Dwelling, multifamily	P	155.4202.C	
	Dwelling, mixed-use	P	155.4202.G	
Communication Uses	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	155.4204.C 155.4204.D	
	Child Care Facility	PIA	155.4206.B	
	Medical office	P	155.4209.A	
Health Care Uses	Specialty medical facility	P	155.4209.B	
	Ligient care facility 24 hours	P	155.4209.C	
Open Space Uses	Park or plaza	PIA	155.4210.D	
	Animal grooming	P	155.4214.A	
Animal Care Uses	Pet shop	P	155.4214.E	
	Boat dry storage facility	PIA	155.4215.B	
Boat and Marine Sales and Service Uses	Boat or marine parts sales without installation	PIA	155.4215.C	
	Boat or marine parts sales with installation	PIA	155.4215.D	
	Boat or marine repair and servicing	PIA	155.4215.E	
	Boat sales or rental	PIA	155.4215.F	
	Boat towing service	PIA	155.4215.G	
	Docking facility, barge	PIA	155.4215.H	
	Docking facility, commercial fishing boat	PIA	155.4215.I	
	Docking facility, recreational boat	PIA	155.4215.J	
	Marine	PIA	155.4215.K	
	Yacht Club	P	155.4215.L	
	Other indoor commercial or membership recreation/entertainment use	PIA	155.4217.M	
	Eating and Drinking Establishments	Bar or lounge	PIA	155.4218.A
		Brewpub	PIA	155.4218.B
		Restaurant	PIA	155.4218.E
		Specialty eating or drinking establishment	PIA	155.4218.F
Office Uses	Professional office	P	155.4220.B	
Retail Sales and Service Uses - Personal Services	Bank or financial institution	P	155.4221.C	
	Personal services establishment	P	155.4221.K	
	Book or media shop	P	155.4222.D	
	Grocery or convenience store	PIA	155.4222.F	
	Drug store or pharmacy	P	155.4222.G	
	Farmer's market	P	155.4222.H	
	Beer or wine store	P	155.4222.M	
	Retail sales establishment, large	P	155.4222.P	
	Other retail sales establishment	P	155.4222.R	
	Visitor Accommodation Uses	Condo hotel	P	155.4225.A
Bed and breakfast inn		P	155.4225.B	
Hotel or motel		P	155.4225.C	
Typical Accessory Uses and Structures	Dock	A	155.4303.H	
	Drop-in child care	A	155.4303.J	
	Electric vehicle (EV) level 1, 2, or 3 charging station	A	155.4303.K	
	Fence or wall	A	155.4303.L	
	Green roof	A	155.4303.O	
	Home based business	A	155.4303.S	
	Outdoor display of merchandise	A	155.4303.U	
	Outdoor seating, including sidewalk cafes (as accessory to eating and drinking establishments)	A	155.4303.V	
	Parking or storage of motor vehicles, recreational vehicles, boats, trailers, or trailers	A	155.4303.X	
	Rainwater cistern or barrel	A	155.4303.Z	
	Retail sales (as accessory uses)	A	155.4303.BB	
	Small wind energy system	A	155.4303.DD	
	Solar energy collection system	A	155.4303.EE	
	Swimming pool or spa or hot tub	A	155.4303.GG	
	Mechanical Equipment and installations	A	155.4303.JJ	
	Uncovered porches, decks, patios, terraces, or walkways	A	155.4303.KK	
	Lighting fixtures, projecting or freestanding	A	155.4303.MM	
	Eating and drinking establishments (as an accessory use)	A	155.4303.PP	
	Farmer's market (as a temporary use)	T	155.4403.A	

HARBORSIDE AT
HIDDEN HARBOUR
LOCATED AT:
AMP IV-HIDDEN HARBOUR, LLC
POMPANO BEACH, FLORIDA

REARTR M. HENNINGZ
60094578

MSA ARCHITECTS
ARCHITECTURE & PLANNING

DRAWN: []
DATE: []
SCALE: AS SHOWN
JOB NO.: 1928
SHEET TITLE: MASTER SITE PLAN
SHEET NUMBER: EX - E1

Approval History

Planned Development Approval – January 2020 (Ordinance 2020-26)

Major Site Plan Approval / Airpark Obstruction Permit – July/August 2020

Revised Major Site Plan Approval – September 2021

Proposed PD Changes

No Changes to Marina

**New Land North of NE 16 Street to
Allow for Expanded Parking**

**Reductions in Maximum Height and
Density**

Additional Land

New Lot

NE 16 Street



Scope of Proposed Development



Parking

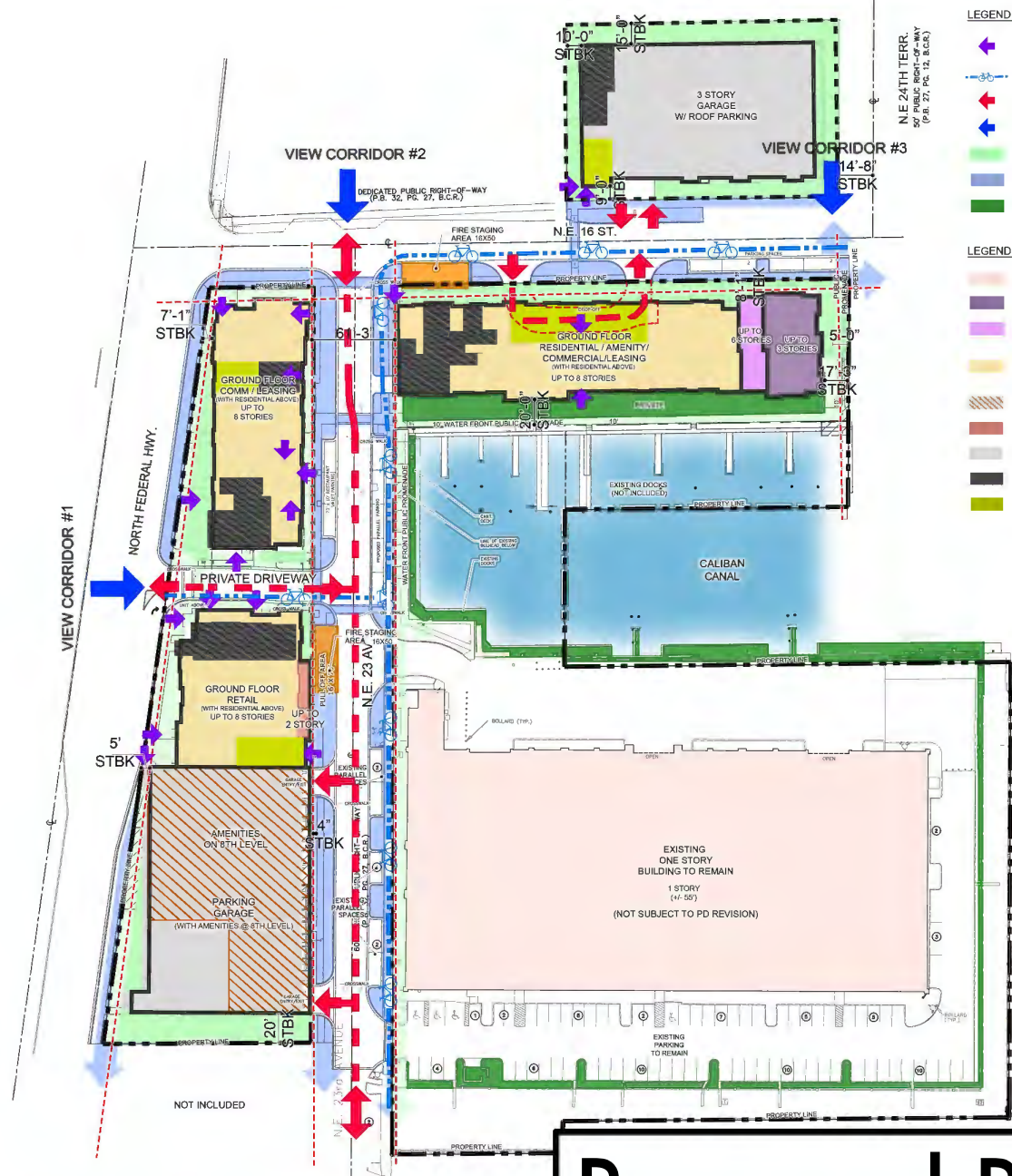
NE 16 Street

3-8 Story Mixed-Use

Maximum Residential Development: 300 Units

8 Story Mixed-Use

Marina Building



- LEGEND ACCESSES**
- ◀ POTENTIAL PEDESTRIAN ACCESS POINTS TO BUILDINGS
 - 🚲 BICYCLE CIRCULATION
 - 🚗 VEHICULAR ACCESS TO SITE & GARAGE
 - ➡ VIEW CORRIDORS
 - 🌿 ACTIVE OPEN SPACE (PRIVATE)
 - 🏘️ ACTIVE OPEN SPACE (PUBLIC)
 - 🌳 PASSIVE OPEN SPACE (PRIVATE)
- LEGEND AREAS**
- 🏠 EXISTING BUILDING (BOAT STORAGE FACILITY)
 - 🏠 UP TO 3 STORIES - ALL RESIDENTIAL
 - 🏠 UP TO 6 STORIES - ALL RESIDENTIAL
 - 🏠 UP TO 8 STORIES - GROUND FLOOR RESIDENTIAL/AMENITY / COMMERCIAL & RETAIL WITH RESIDENTIAL ABOVE
 - 🏠 ROOFTOP AMENITIES ON 8TH LEVEL
 - 🏠 UP TO 2 STORY - GROUND FLOOR RETAIL
 - 🏠 GARAGE
 - 🏠 BACK OF HOUSE / MEP/ SERVICE AREAS
 - 🏠 LOBBY

Proposed PD Plan

CONSOLIDATED USE TABLE			
Use Category	Use Type	Permitted	Use-Specific Standards
Household Living Uses	Dwelling, live/work	P	155.4202.A
	Dwelling, multifamily	P	155.4202.C
	Dwelling, mixed-use	P	155.4202.G
Communication Uses	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	155.4204.C 155.4204.D
	Child Care Facility	PIA	155.4206.B
Health Care Uses	Medical office	P	155.4209.A
	Specialty medical facility	P	155.4209.B
	Urgent care facility 24 hours	P	155.4209.C
Open Space Uses	Park or plaza	PIA	155.4210.D
	Pet shop	P	155.4214.E
Animal Care Uses	Animal grooming	P	155.4214.A
	Pet store	P	155.4214.F
Boat and Marine Sales and Service Uses	Boat dry storage facility	PIA	155.4215.B
	Boat or marine parts sales without installation	PIA	155.4215.C
	Boat or marine parts sales with installation	PIA	155.4215.D
	Boat or marine repair and servicing	PIA	155.4215.E
	Boat sales or rental	PIA	155.4215.F
	Boat towing service	PIA	155.4215.G
	Docking facility, barge	PIA	155.4215.H
	Docking facility, commercial fishing boat	PIA	155.4215.I
	Docking facility, recreational boat	PIA	155.4215.J
	Marina	PIA	155.4215.K
	Yacht Club	P	155.4215.L
	Other indoor commercial or membership recreation/entertainment use	PIA	155.4217.M
	Commercial or Membership Recreation/Entertainment Uses	Bar or lounge	PIA
Brewpub		PIA	155.4218.B
Restaurant		PIA	155.4218.E
Specialty eating or drinking establishment		PIA	155.4218.F
Office Uses	Professional office	P	155.4220.B
Retail Sales and Service Uses - Personal Services	Bank or financial institution	P	155.4221.C
	Personal services establishment	P	155.4221.K
	Book or media shop	P	155.4222.D
	Grocery or convenience store	PIA	155.4222.F
	Drug store or pharmacy	P	155.4222.G
	Farmer's market	P	155.4222.H
	Beer or wine store	P	155.4222.M
	Retail sales establishment, large	P	155.4222.P
	Other retail sales establishment	P	155.4222.R
	Visitor Accommodation Uses	Condo hotel	P
Bed and breakfast inn		P	155.4225.B
Hotel or motel		P	155.4225.C
Typical Accessory Uses and Structures	Dock	A	155.4303.H
	Drop-in child care	A	155.4303.J
	Electric vehicle (EV) level 1, 2, or 3 charging station	A	155.4303.K / 155.4303.L
	Fence or wall	A	155.4303.O
	Green roof	A	155.4303.R
	Home based business	A	155.4303.S
	Outdoor display or merchandise	A	155.4303.U
	Outdoor seating, including sidewalk cafes (as accessory to eating and drinking establishments)	A	155.4303.V
	Parking or storage of motor vehicles, recreational vehicles, boats, airboats, or trailers	A	155.4303.X
	Rainwater cistern or barrel	A	155.4303.Z
	Retail sales (as accessory uses)	A	155.4303.BE
	Small wind energy system	A	155.4303.DD
	Solar energy collection system	A	155.4303.EE
	Swimming pool or spa or hot tub	A	155.4303.GG
	Mechanics Equipment and similar features	A	155.4303.JJ
	Uncovered porches, decks, patios, terraces, or walkways	A	155.4303.KK
	Lighting fixtures, projecting or freestanding	A	155.4303.MM
Eating and drinking establishments (as an accessory use)	A	155.4303.PP	
Farmer's market (as a temporary use)	T	155.4403.A	

ARCHITECTS' BUILDING CODE STATUTE TO THE BEST OF THE ARCHITECTS' KNOWLEDGE, THE PHOTO AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE (WITH CERTAIN LOCALS) AND THE APPLICABLE STATE, FEDERAL, COUNTY AND CITY ORDINANCES. THE LOCAL, COUNTY, AND STATE BUILDING CODES.

DRAWN: [blank] DATE: [blank] SCALE: AS SHOWN JOB NO. [blank] SHEET TITLE: MASTER PLAN SHEET NUMBER: [blank] EX: E1

MSA ARCHITECTS, INC. ARCHITECTS, IN. 1900 SW 74th COURT MIAMI, FLORIDA 33156 (305) 270-9911

HARBORSIDE AT HIDDEN HARBOUR FOR: AMP IV - HIDDEN HARBOUR, LLC LOCATED AT: POMPANO BEACH, FLORIDA BEATRIZ M. HERNANDEZ ARCH044576

P&Z PZ21-13000606 1/26/2022

Benefits of Changes

Reduced Visual Impacts

No More Service Vehicles on NE 16 Street

**Increased Ground Level Activation on
Federal Highway**

**Significant Reductions in Traffic at
Intersection of NE 16 Street and NE 23
Avenue**



Approved Plan



2021 Plan



VIEW OF GARAGE HEADING NORTH

Approved Plan

155.5605(C)(1) Parking Deck or Garage Design Standards

1. All levels of the parking deck or garage structure shall comply with the standards below:

- a. All building facades of the parking deck or garage that are facing a street; within 100 feet of a street or an open space; or are visible from a street shall be harmonious and complement the principal structure and contain all of the following architectural treatments.
 - i. Facade articulation (i.e. wall offsets); and
Wall offsets differentiate from 4', 1'-4", and 2' in various locations of the garage
 - ii. Horizontal and vertical projections; and
Stucco bands, frames and awnings are incorporated to articulate horizontal and vertical projections.
 - iii. Material and color variation; and
Stucco, scored lines and various colors were chosen to enhance material variation.
 - iv. Varied proportions of openings.
Varied proportions of openings have been incorporated all around garage.

The garage is designed with the same elements as the residential building. Introducing the same aluminum frames (without glass) in the proportion of windows, balcony articulation at the corners of the garage, awnings and consistent architectural language as the residential building.

- b. No vehicles parked within or on the roof of the deck or garage shall be visible from the street. All openings shall be treated with decorative screening or in a manner that creates the appearance of an active use area and conceals all internal elements such as plumbing pipes, fans, ducts and lighting, and;

All openings are 42" from the floor and screened to not allow visibility to the interior of the garage. Blocking all internal elements.

- c. No deck or garage ramp areas shall be visible from the street and shall be internal to the building.

Garage was designed to eliminate any visible ramps.

- d. The exposed top level of a parking structure shall be covered a minimum of 60% with a shade producing structure such as, but not limited to, a vined pergola or retractable canvas shade structure.

As per the PD we are required a minimum of 15% coverage of a shade producing structure and are providing 40%. (Refer to pool plan)

- 2. Openings off any street shall not exceed two lanes in width or 30' maximum per entrance/exit. Entrances/exits on alleys/service roads are exempt from this requirement.

Entrances located on 23rd AVE. are a width of 24'

GARAGE RENDERING

SCALE: N.T.S.

MAJOR SITE PLAN RESUBMITTAL # 11/12/2021		BY
HARBORSIDE AT HIDDEN HARBOUR FOR: AMP IV-HIDDEN HARBOUR, LLC LOCATED AT: POMPANO BEACH, FLORIDA		
MSA ARCHITECTS, INC. A4000895 8902 SW 7th COURT MIAMI FLORIDA 33156 (305) 775-9911		BEATRIZ M. RODRIGUEZ ARCHITECT
MSA ARCHITECTS ARCHITECTURE & PLANNING		THE LEGAL INVENTORSHIP OF AND ALL RIGHTS ARE RESERVED BY THE ARCHITECT.
DRAWN: --- DATE: --- SCALE: AS SHOWN JOB NO. 1822 SHEET TITLE: GARAGE RENDERING SHEET NUMBER: A-3.7		



VIEW OF GARAGE HEADING N

2021 Plan

155.5605(C)(1) Parking Deck or Garage Design Standards

1. All levels of the parking deck or garage structure shall comply with the standards below:

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Entrances located on 23rd AVE. are a width of 24'

GARAGE RENDERING

SCALE: N.T.S.

DRC RESUBMITTAL 07/22/2021

<p>MAJOR SITE PLAN RESUBMITTAL # 11/12/2021</p>	BY
<p>HARBORSIDE AT HIDDEN HARBOUR FOR: AMP IV-HIDDEN HARBOUR, LLC LOCATED AT: POMPANO BEACH, FLORIDA</p>	
<p>BEATRIZ M. HERNANDEZ ARCHITECTS</p>	
<p>M&A ARCHITECTS, INC. A4000895 8902 SW 7th COURT MIAMI, FLORIDA 33156 (305) 775-9911</p>	
<p>M&A ARCHITECTS ARCHITECTURE & PLANNING</p>	
<p>ARCHITECTS, BUILDING CODE ENFORCEMENT, TO THE BEST OF THE ARCHITECTS' KNOWLEDGE, THE PLANES AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE, STATE BUILDING CODE, CITY BUILDING CODE AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 553, FLORIDA STATUTES. SPECIFIC PLAN REVISIONS: CORRECTED FOR CONSTRUCTION, FOR RETENTION OF ARCHITECTED, LIBRARY ARCHITECTURE, IN PARTIAL TO THE ARCHITECTURE, CORRECT AND THE LEGAL LIABILITY OF AND ALL RIGHTS ARE RESERVED BY THE ARCHITECT.</p>	
<p>DRAWN: --- DATE: --- SCALE: AS SHOWN JOB NO. 1822 SHEET TITLE: GARAGE RENDERING SHEET NUMBER: A-3.7</p>	

View East on NE 16 Street

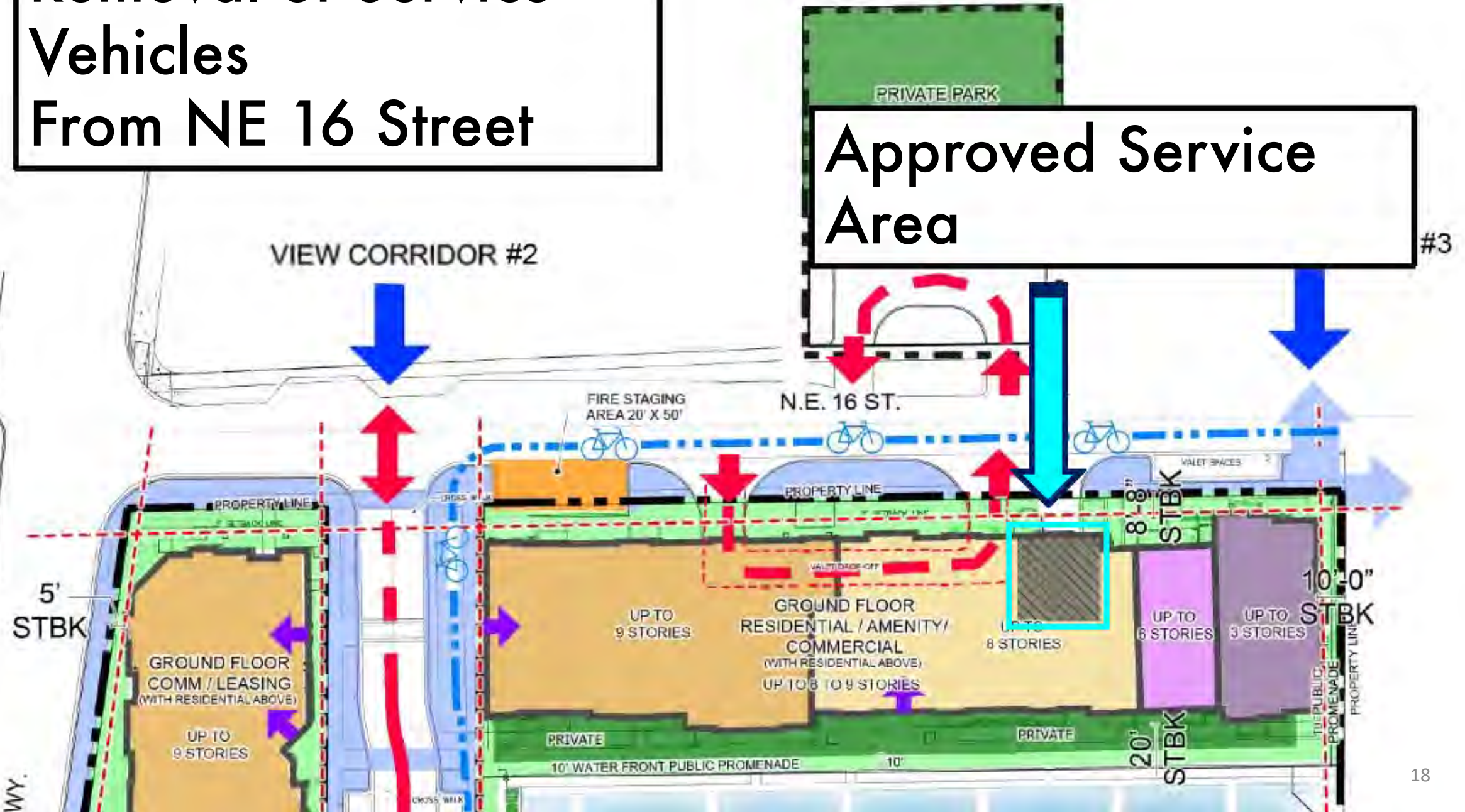


View NW on NE 16 Street from Villa Rio



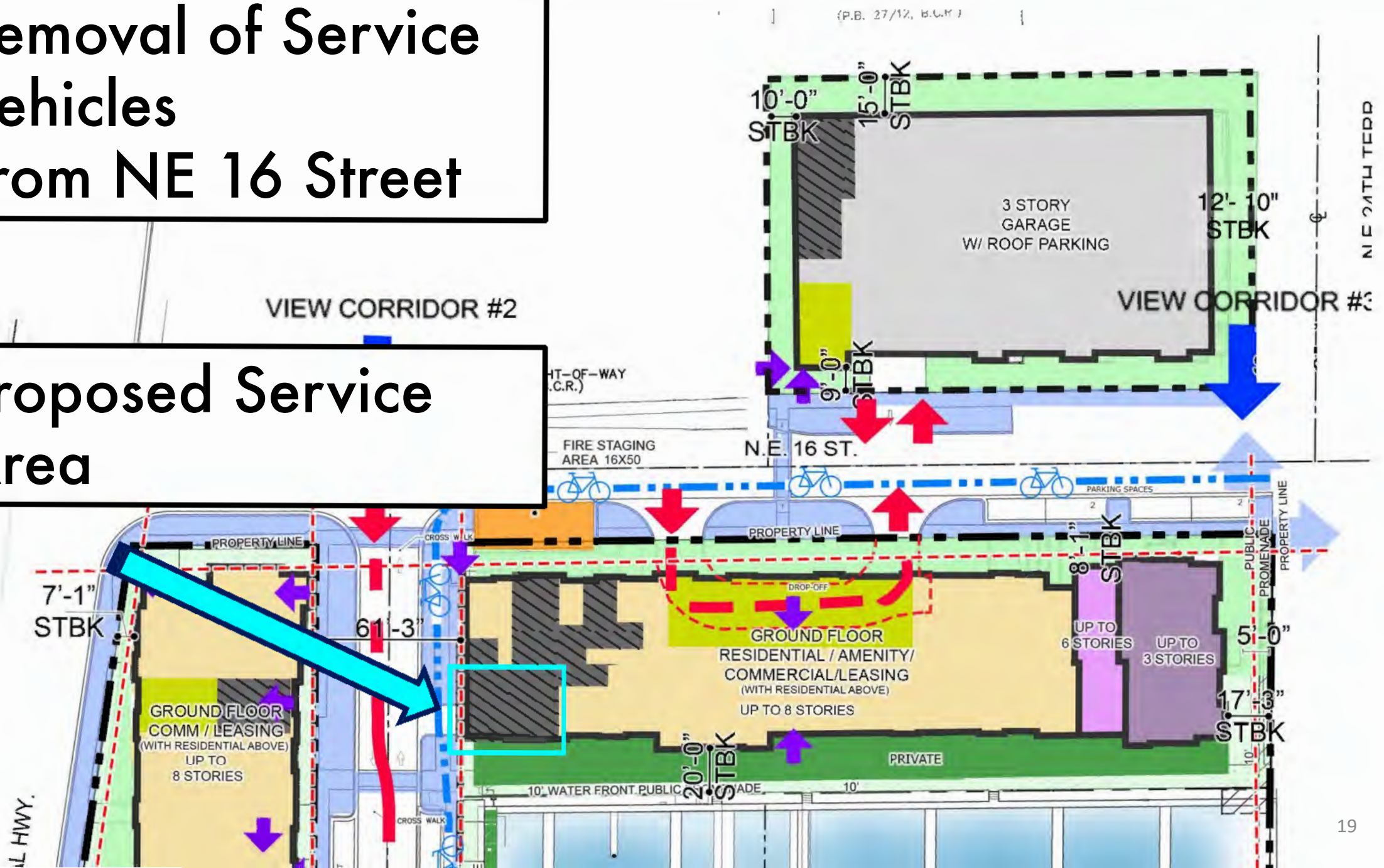
Removal of Service Vehicles From NE 16 Street

Approved Service Area

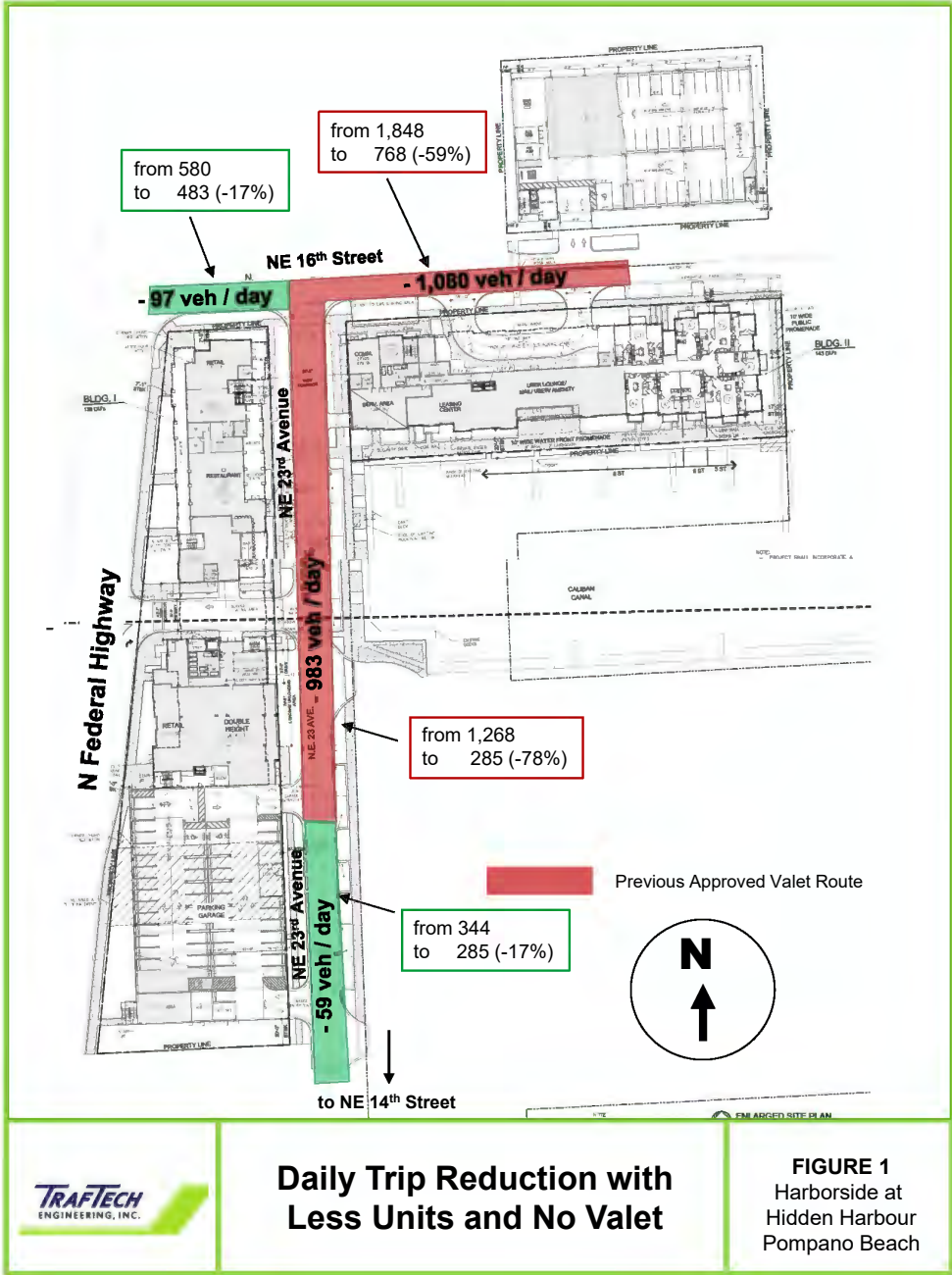


Removal of Service Vehicles From NE 16 Street

Proposed Service Area



1,080 Vehicle Trips Removed from Intersection of NE 16 Street and NE 23 Avenue



**Daily Trip Reduction with
Less Units and No Valet**

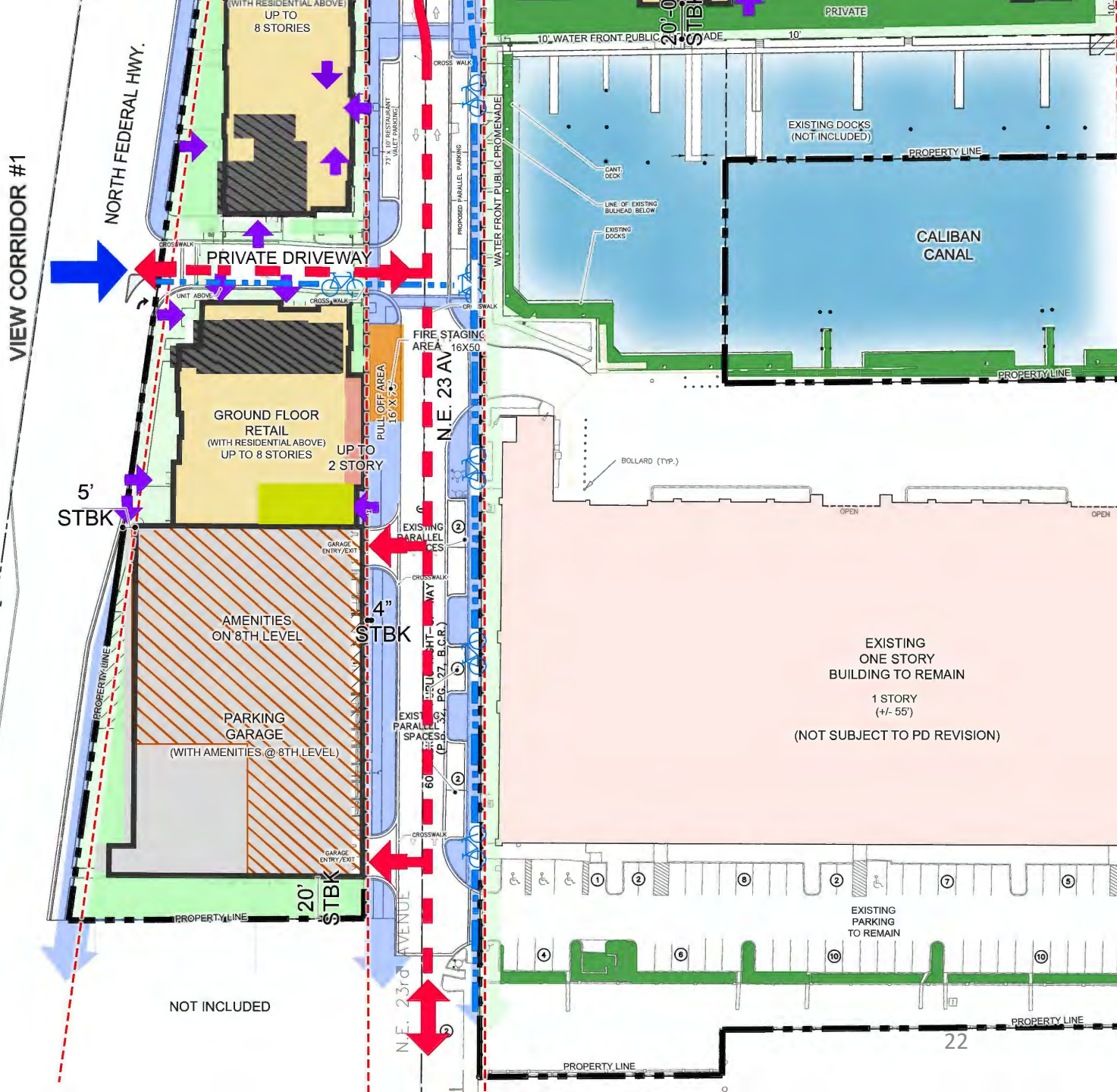
FIGURE 1
Harborside at
Hidden Harbour
Pompano Beach

Outreach:

- 1. Neighbor Meeting Invited All Property Owners Along NE 16 Street.**
- 2. Immediate Neighbor – Concerns About Cross Traffic and Construction**



1. No Deep Piles for Development
2. Neighbor Site Not Attractive Option for Residents



Summary of Revisions

Maximum Density: Reduced from 323 to 300 Units

Maximum Height: Reduced from 9 to 8 Stories

No Service Activity on NE 16 Street

Removal of Mandatory Valet for NE 16 Street



Hidden Harbour PD – 2021 Changes

Proposed Correction - Garage Vehicle Stacking:

Min. 30 FT. stacking
distance ~~for 500 or more
off-street spaces~~ (as
measured from ROW
line)

MODIFICATIONS / DEVIATIONS

The following table depicts areas that deviate from the proposed PD-I District and applicable standards.

TABLE V
Deviations/ Modifications

Type	Code Section	Description	Modification	Justification
Building Base Planting Standards	155.5203.e.3.a	Required shrubs shall be planted within three feet of the base of the building. If a street sidewalk is located between the base of the building and the street, required shrubs may be planted up to 15 feet from the base of the building.	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.
Access circulation, parking & loading Driving Aisle	155.5102.11	Required Aisle Width Dimensions 23'	22 FT.	To accommodate proposed site design and more efficient traffic circulation in garage.
Vehicle stacking	155.5101.G.8.B	Parking lot Entrance driveways	Min. 30 FT. stacking distance for 500 or more off-street spaces (as measured from ROW line)	To accommodate proposed site design for vehicular access.
Dwelling, Multi-Family Parking	155.5102.D.1	For Units on 2 nd floor or higher of a building with non-residential use located on ground level: 1 space per Dwelling Unit (du) 1-2 BD 1.5 Space All other MF 3 BD 2 Spaces	None 1 BD 1 Space 2-3 BD 2 Spaces Guest: 10% of Provided Parking	Due to Urban Mixed-Use Settings parking demand shall be less.
Landscape between Vehicular Use Areas and Buildings	155.5203.D.5.A	Minimum landscaped area shall be eight feet for each story in the abutting building façade, up to 24 feet	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.

P&Z

PZ21-13000006
2/26/2022



N.E. 24TH AVE

N.E 16TH STREET

GARAGE FLOOR PLAN
SCALE: 3/32"=1'-0"

<p>MSA ARCHITECTS ARCHITECTURE & PLANNING</p> <p>MSA ARCHITECTS, INC. A/CORPORATE 8900 SW 74th COURT MIAMI, FLORIDA 33156 (305) 775-9911</p> <p>FOR: HARBORSIDE AT HIDDEN HARBOUR AMP IV-HIDDEN HARBOUR, LLC LOCATED AT: POMPANO BEACH, FLORIDA</p>		<p>BEATRIZ M. MORALES ARCHITECT</p>
<p>DRAWN: / / /</p> <p>DATE: AT 10:00AM</p> <p>SCALE: 3/32"=1'-0"</p> <p>SHEET NO.: 1428</p>	<p>SHEET TITLE: PLAN</p>	<p>SHEET NUMBER: GA-3.2</p>
<p>BY</p>		<p>14</p>



1 16TH ST ELEVATION
SOUTH



3 NORTH ELEVATION
NORTH



KEYPLAN
SCALE: N.T.S.



2 24TH AVE ELEVATION
EAST



4 WEST ELEVATION
WEST

BUILDING ELEVATIONS
SCALE: 3/32"=1'-0"

ARCHITECT'S BUILDING CODE, STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SOUTH EDITION (2017), AND THE APPLICABLE CITY, COUNTY, AND STATE STATUTES.

MSA ARCHITECTS, INC.
A.A.C.000085
8600 SW 24th COURT
SUITE 101 BOCA RATON, FL 3349
(561) 272-9611
(561) 272-9611

HARBORSIDE AT
HIDDEN HARBOUR
LOCATED AT:
POMPANO BEACH, FLORIDA

BEATRIZ M. HERNANDEZ
A2024576

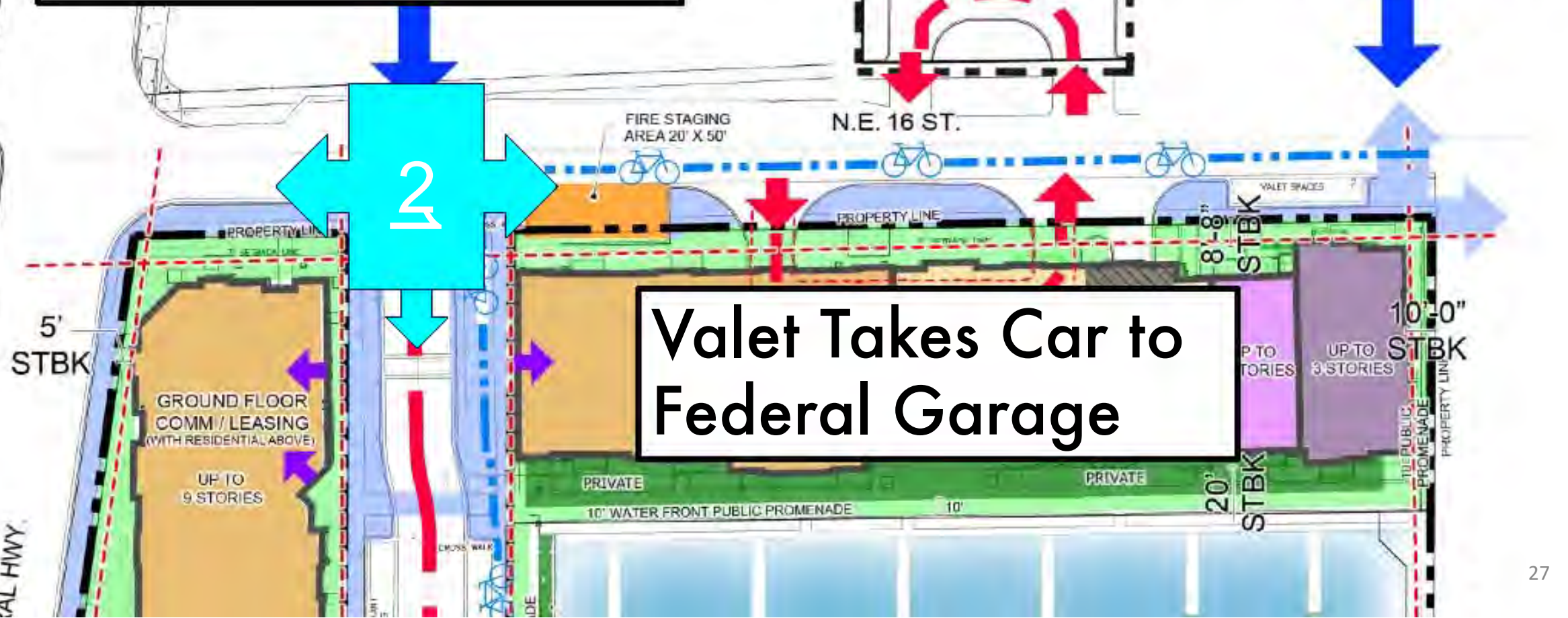
MSA ARCHITECTS
ARCHITECTURE & PLANNING

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DRAWN	
DATE	11-17
SCALE	AS SHOWN
JOB NO.	1821
SHEET TITLE:	ELEVATIONS
SHEET NUMBER:	GA-3.1

BY

Approved Plan: Mandatory Valet for NE 16 Street Arrival



Approved Plan: Mandatory Valet for NE 16 Street Departure



VIEW CORRIDOR #3



FIRE STAGING AREA 20' X 50'

N.E. 16 ST.



5' STBK

GROUND FLOOR COMM / LEASING (WITH RESIDENTIAL ABOVE)
UP TO 9 STORIES

Valet Returns Car from Federal Garage

8'-0" STBK

UP TO 6 STORIES

20' STBK

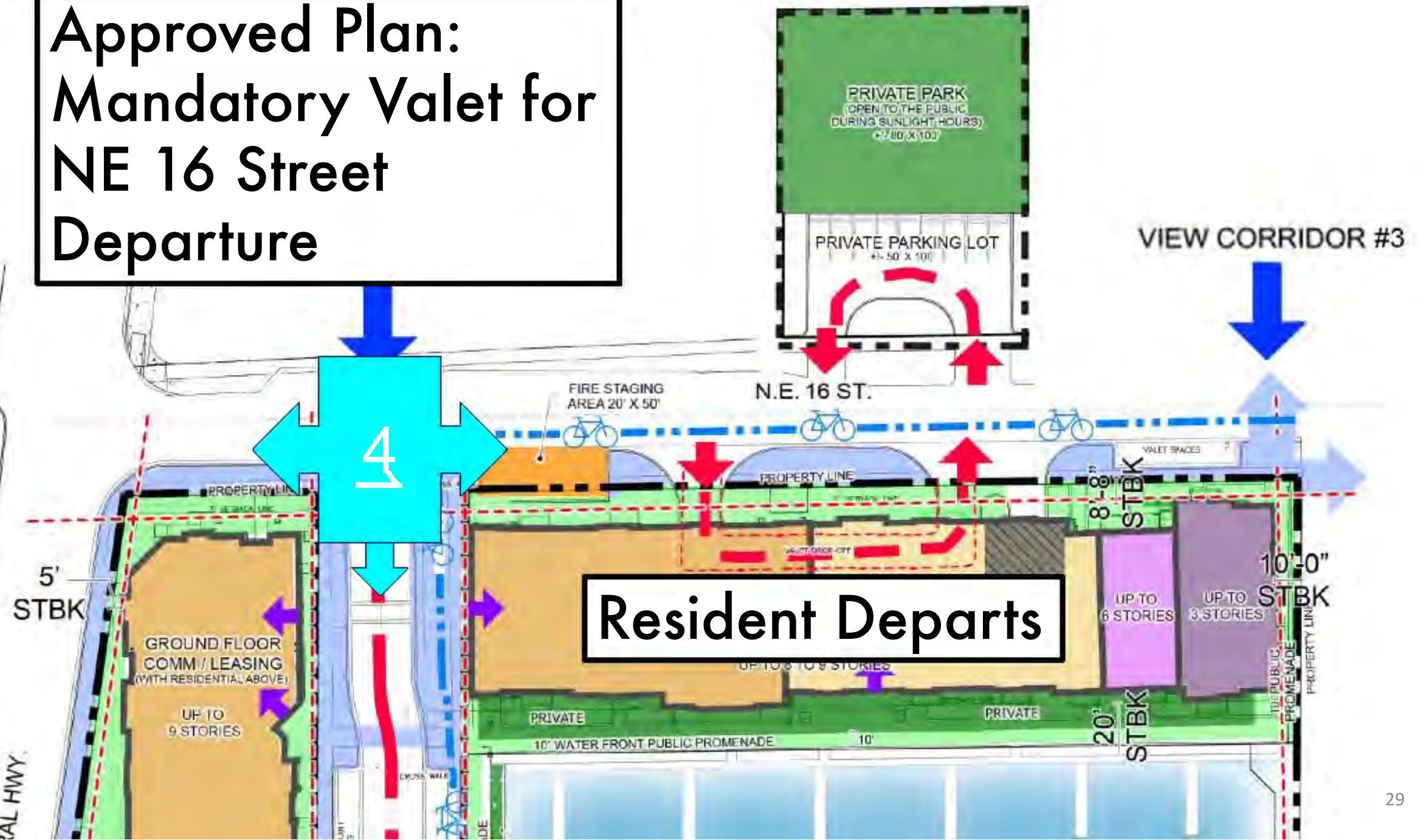
10'-0" STBK

UP TO 3 STORIES

TO PUBLIC PROMENADE

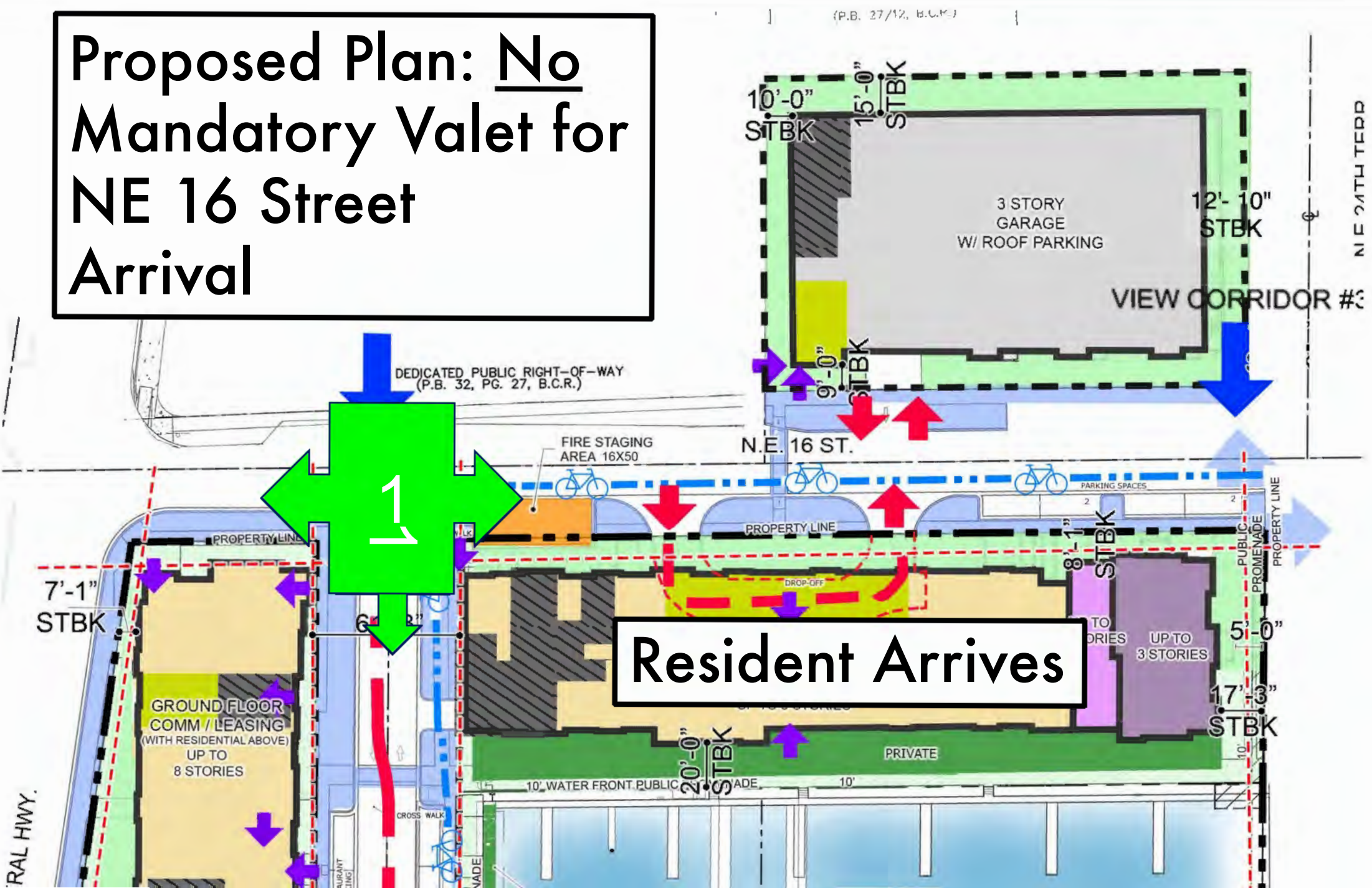
RAL HWY.

Approved Plan: Mandatory Valet for NE 16 Street Departure



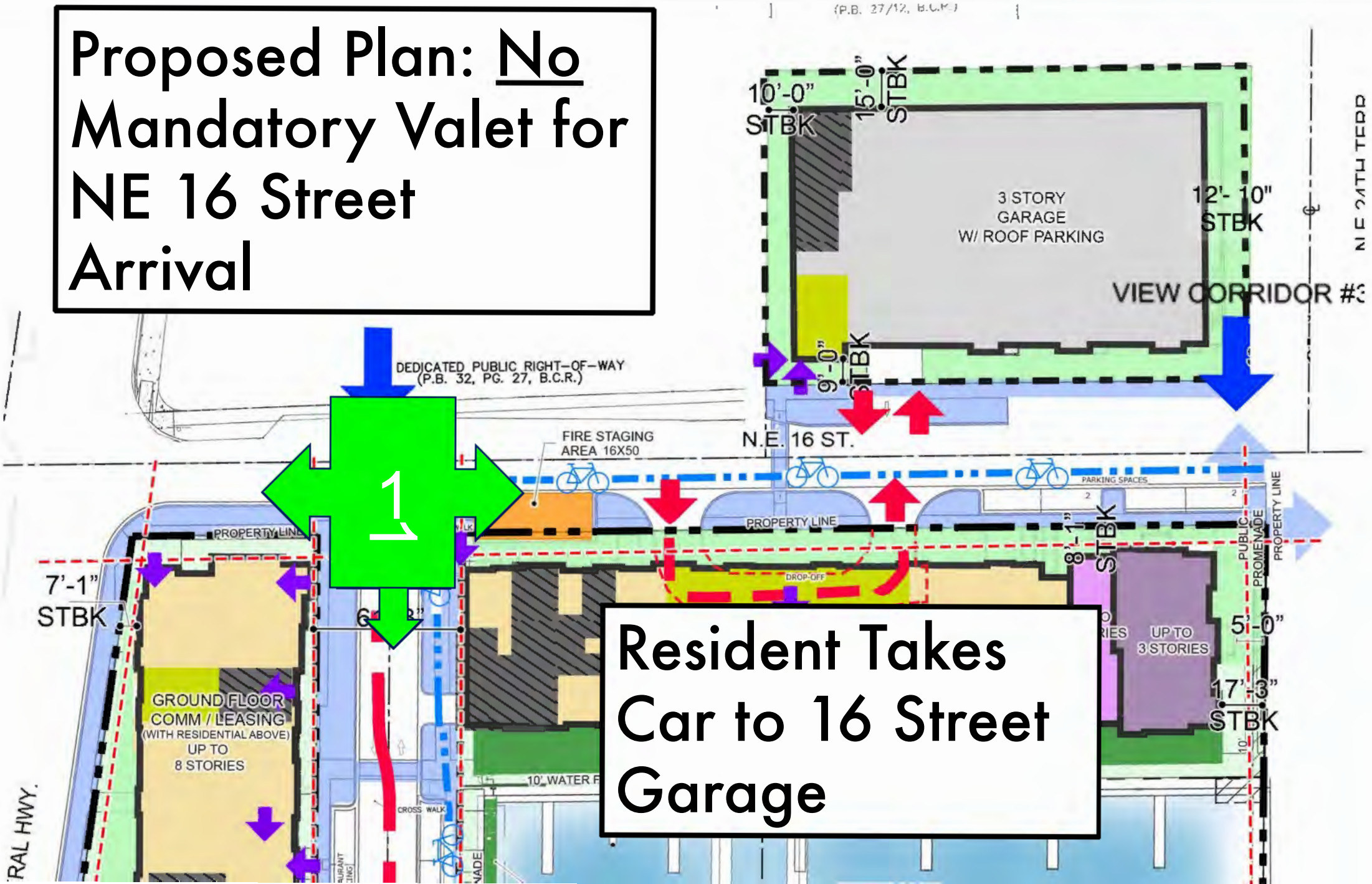
Resident Departs

Proposed Plan: No Mandatory Valet for NE 16 Street Arrival



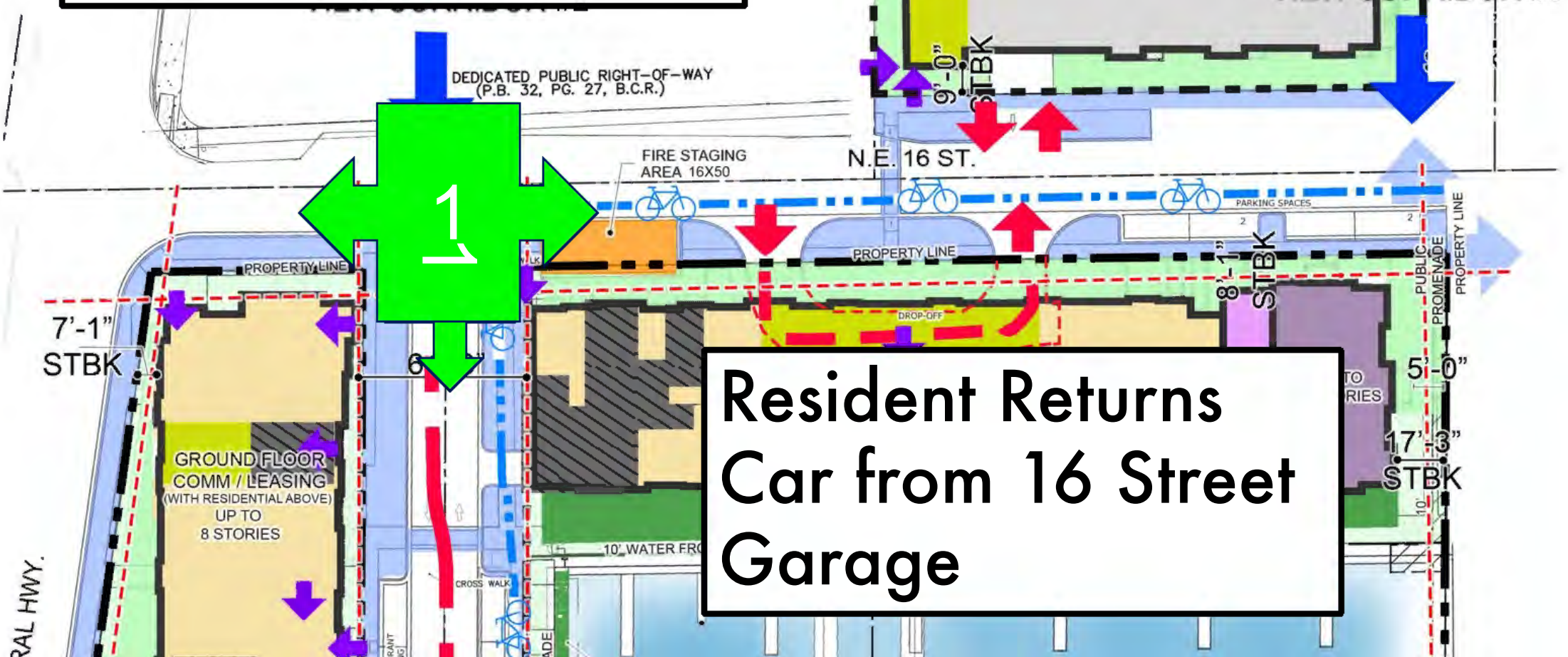
Resident Arrives

Proposed Plan: No Mandatory Valet for NE 16 Street Arrival



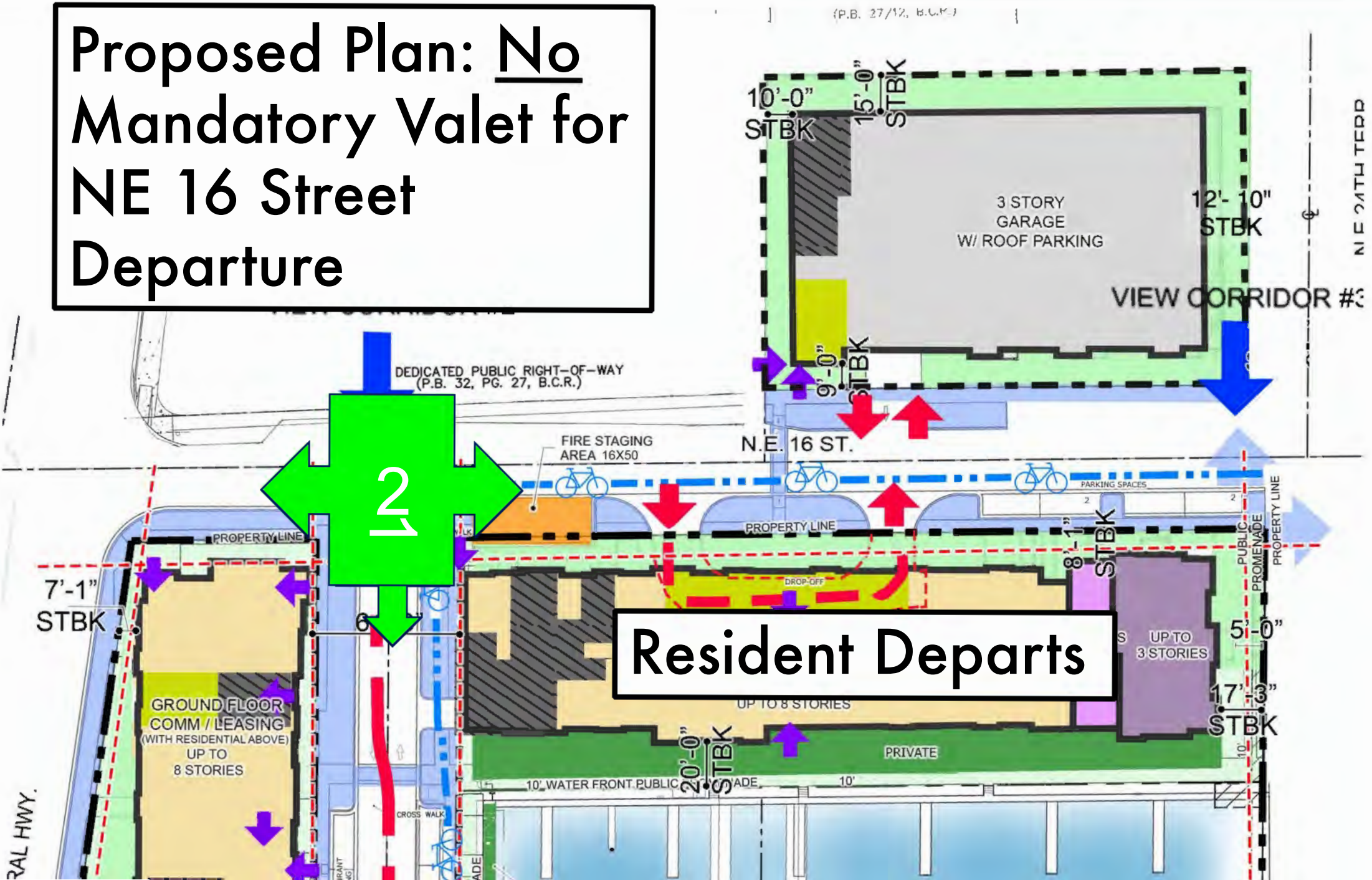
Resident Takes Car to 16 Street Garage

Proposed Plan: No Mandatory Valet for NE 16 Street Departure



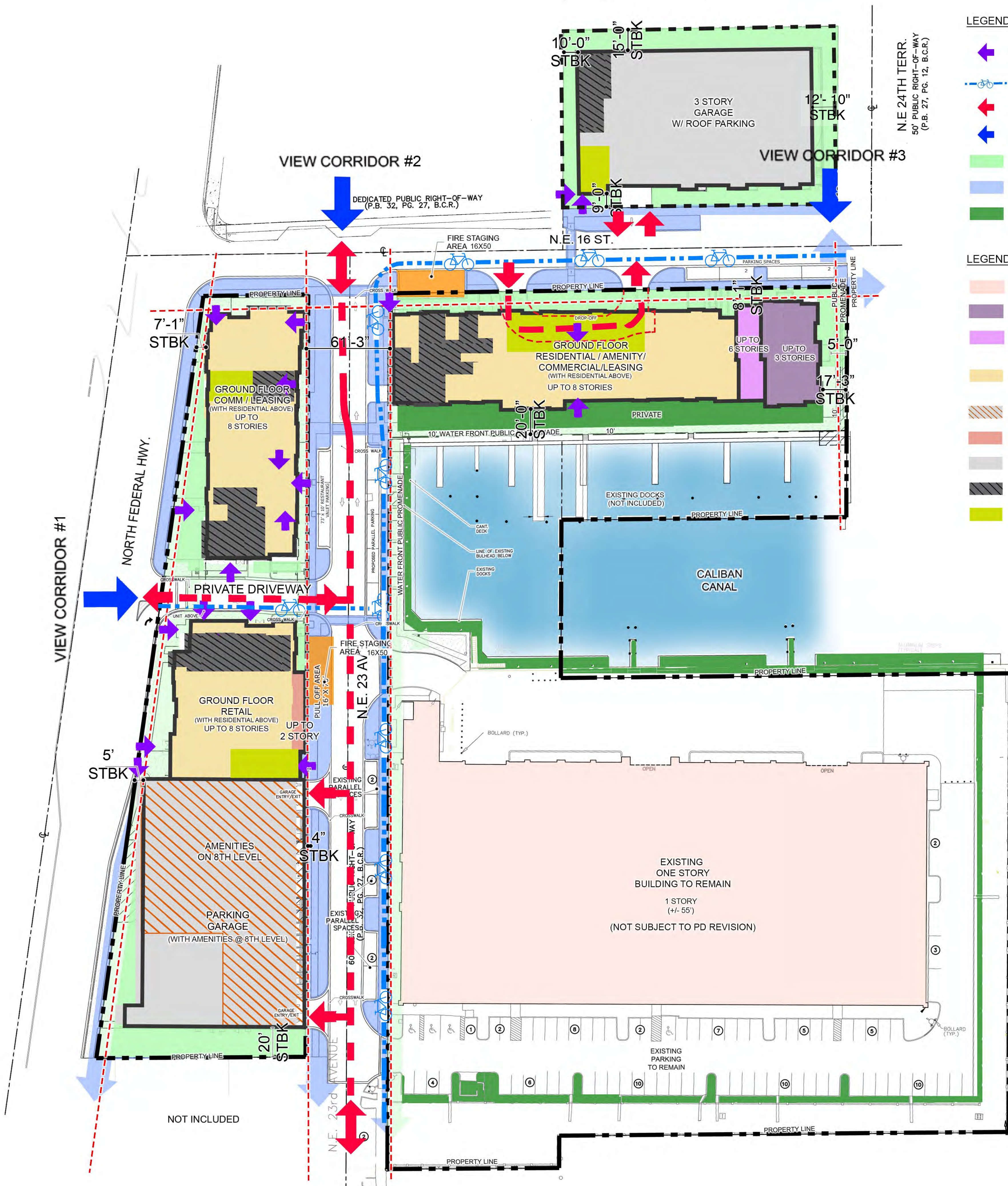
Resident Returns Car from 16 Street Garage

Proposed Plan: No Mandatory Valet for NE 16 Street Departure



Resident Departs

(P.B. 27/12, B.C.R.)



N.E. 24TH TERR.
50' PUBLIC RIGHT-OF-WAY
(P.B. 27, PG. 12, B.C.R.)

- LEGEND ACCESSES**
- POTENTIAL PEDESTRIAN ACCESS POINTS TO BUILDINGS
 - BICYCLE CIRCULATION
 - VEHICULAR ACCESS TO SITE & GARAGE
 - VIEW CORRIDORS
 - ACTIVE OPEN SPACE (PRIVATE)
 - ACTIVE OPEN SPACE (PUBLIC)
 - PASSIVE OPEN SPACE (PRIVATE)

- LEGEND AREAS**
- EXISTING BUILDING (BOAT STORAGE FACILITY)
 - UP TO 3 STORIES - ALL RESIDENTIAL
 - UP TO 6 STORIES - ALL RESIDENTIAL
 - UP TO 8 STORIES - GROUND FLOOR RESIDENTIAL/ AMENITY / COMMERCIAL & RETAIL WITH RESIDENTIAL ABOVE
 - ROOFTOP AMENITIES ON 8TH LEVEL
 - UP TO 2 STORY - GROUND FLOOR RETAIL
 - GARAGE
 - BACK OF HOUSE / MEP/ SERVICE AREAS
 - LOBBY

TABLE III

CONSOLIDATED USE TABLE

P = PERMITTED PRINCIPAL USE
S = USE ALLOWED AS A SPECIAL EXCEPTION
A = PERMITTED ACCESSORY USE
T = PERMITTED TEMPORARY USE

Use Category	Use Type	Permitted	Use-Specific Standards
Household Living Uses	Dwelling, live/work	P	155.4202.A
	Dwelling, multifamily	P	155.4202.C
	Dwelling, mixed-use	P	155.4202.G
Communication Uses	Telecommunications facility, collocated on existing structure other than telecommunications tower	P	155.4204.C 155.4204.D
Day Care Uses	Child Care Facility	P/A	155.4206.B
Health Care Uses	Medical office	P	155.4209.A
	Specialty medical facility	P	155.4209.B
	Urgent care facility 24 hours	P	155.4209.C
Open Space Uses	Park or plaza	P/A	155.4210.D
Animal Care Uses	Animal grooming	P	155.4214.A
	Pet shop	P	155.4214.E
Boat and Marine Sales and Service Uses	Boat dry storage facility	P/A	155.4215.B
	Boat or marine parts sales without installation	P/A	155.4215.C
	Boat or marine parts sales with installation	P/A	155.4215.D
	Boat or marine repair and servicing	P/A	155.4215.E
	Boat sales or rental	P/A	155.4215.F
	Boat towing service	P/A	155.4215.G
	Docking facility, barge	P/A	155.4215.H
	Docking facility, commercial fishing boat	P/A	155.4215.I
	Docking facility, recreational boat	P/A	155.4215.J
	Marina	P/A	155.4215.K
Yacht Club	P	155.4215.L	
Commercial or Membership Recreation/ Entertainment Uses	Other indoor commercial or membership recreation/ entertainment use	P/A	155.4217.M
Eating and Drinking Establishments	Bar or lounge	P/A	155.4218.A
	Brewpub	P/A	155.4218.B
	Restaurant	P/A	155.4218.E
	Specialty eating or drinking establishment	P/A	155.4218.F
Office Uses	Professional office	P	155.4220.B
Retail Sales and Service Uses - Personal Services	Bank or financial institution	P	155.4221.C
	Personal services establishment	P	155.4221.K
	Book or media shop	P	155.4222.D
	Grocery or convenience store	P/A	155.4222.F
	Drug store or pharmacy	P	155.4222.G
	Farmers' market	P	155.4222.H
	Beer or wine store	P	155.4222.M
	Retail sales establishment, large	P	155.4222.P
	Other retail sales establishment	P	155.4222.R
Visitor Accommodation Uses	Condo hotel	P	155.4225.A
	Bed and breakfast inn	P	155.4225.B
	Hotel or motel	P	155.4225.C
Typical Accessory Uses and Structures	Dock	A	155.4303.H
	Drop-in child care	A	155.4303.J
	Electric vehicle (EV) level 1, 2, or 3 charging station	A	155.4303.K / 155.4303.L
	Fence or wall	A	155.4303.O
	Green roof	A	155.4303.R
	Home based business	A	155.4303.S
	Outdoor display of merchandise	A	155.4303.U
	Outdoor seating, including sidewalk cafes (as accessory to eating and drinking establishments)	A	155.4303.V
	Parking or storage of motor vehicles, recreational vehicles, boats, airboats, or trailers	A	155.4303.X
	Rainwater cistern or barrel	A	155.4303.Z
	Retail sales (as accessory uses)	A	155.4303.BB
	Small wind energy system	A	155.4303.DD
	Solar energy collection system	A	155.4303.EE
	Swimming pool or spa or hot tub	A	155.4303.GG
	Mechanical Equipment and similar features	A	155.4303.JJ
Uncovered porches, decks, patios, terraces, or walkways	A	155.4303.KK	
Lighting fixtures, projecting or freestanding	A	155.4303.MM	
Eating and drinking establishments (as an accessory use)	A	155.4303.PP	
Farmer's market (as a temporary use)	T	155.4403.A	

PD | MASTER PLAN
SCALE: 1" = 40'

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

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MSA ARCHITECTS, INC.
 AAC000895
 8850 SW 74th COURT
 MIAMI, FLORIDA 33156
 (305) 273-9911

HARBORSIDE AT HIDDEN HARBOUR
 FOR: AMP IV-HIDDEN HARBOUR, LLC
 LOCATED AT: POMPANO BEACH, FLORIDA

BEATRIZ M. HERNANDEZ
 AR0094576

MSA ARCHITECTS ARCHITECTURE & PLANNING

DRAWN: -/-/
 DATE: -/-/
 SCALE: AS SHOWN
 JOB NO.: 1828
 SHEET TITLE: MASTER SITE PLAN
 SHEET NUMBER: P&Z
 EX: E1

P&Z

PZ21-13000006
1/26/2022

TABLE I LAND USE PLAN LIMITS	
Area 1	Marina Use (including boat storage, boat repair, and slips): 75,000 square feet and 15 wet slips
Area 2	Private Park (Open to Public) / Parking
Area 3	Multi-Family Residential: 300 units Commercial Development (including, but not limited to, boat sales, offices, showrooms, and related uses): 510,000 square feet

TABLE II Type and Mix of Uses	
Residential	Up to 300 Units Max.
Commercial	Minimum of 65,000 square feet, including a minimum of 10,000 square feet of commercial uses vertically integrated in a mixed-use building fronting on Federal Highway
Total Floor Area	Maximum of 650,000 square feet

TABLE IV Intensity and Dimensional Standards		
i. Land area (acres)		
Gross Acres (to CL of ROW - to calc. for density)	9.96 Acres	
Gross Acres (Including basin for park)	6.90 Acres	
Estimated Net Acres (upland area that excludes basin)	6.5 Acres	
ii. Type and mix of land uses*		
Multi-Family Residential	300 Units max.	
Commercial Development (Including but not limited to: Boat sale, showrooms and related uses)	10,000 to 510,000 SQ.FT.	
Marine Use (Including: Boat storage, boat repair and slips)	10,000 to 75,000 SQ. FT./ 15 Slips	
*Refer to table III for list of additional approved Type of Uses		
iii. Maximum number of residential units/ Unit Square Footage Size (SF)		
	300 du's max	
	min	max
1 Bedroom (multi-family)	580 SQFT	800 SF
2 Bedroom (multi-family)	850 SQFT	1175 SF
3 Bedroom (multi-family)	1,180 SQFT	1,350 SF
iv. Maximum Commercial -Nonresidential floor area* (Exclusive of Garage)		
Maximum Marina	75,000 SQ. FT., 15 Slips	
Minority/ Marina Use	Min. of 10% of total floor area	
*Min. 10,000 SQ. FT. of Commercial Use to be vertically integrated into mixed use building		
v. Minimum Lot Area	10,000 SQ. FT.	
vi. Minimum Lot Width	100 FT. FRONTAGE	
vii. Minimum Pervious (Calc. based on Net Acres)	20% (1.27 Acres)	
viii. Maximum Impervious area (Calc. based on Net Acres)	80% (5.23 Acres)	
ix.. Max. Building height	100 ft to 150 ft. Not to Exceed Airport Air Space Max. Height (See Exhibit K)	
x. Max. Individual building size		
Fronting Federal Highway (West of NE 23 rd Ave)	8 Stories Not to Exceed Airport Air Space Max. Height Limits (See Exhibit K)	
Fronting NE 16 th ST (East of NE 23 rd Ave)	3 Stories (35'-0") within first 50'-0" and no less than 10' of east property line / Adjacent to residential.	
	6 Stories no less than 50'-0" of East Property Line / Adjacent to residential.	
	8 Stories no less than 75'-0" of East Property Line / Adjacent to residential.	
Fronting NE 23 rd Ave (South of Caliban Canal)	Existing 1 Story Dry Boat Storage Facility to remain	

TABLE IV Intensity and Dimensional Standards			
ix. Setbacks	Min.	Max.	
North – Along North Property Lines			
Along NE 16th St.	7'-0"	63'-0"	
To 3 Story Garage	15'-0"	20'-0"	
East– Along East Property Lines			
To existing Dry Boat Storage facility	59'-0"	61'-0"	
Up to 3 Stories Residential	10'-0"	15'-0"	
Up to 6 Stories Residential	50'-0"	None	
Up to 8 Stories Residential	75'-0"	None	
Along 24th Terr to 3 Story Garage	12'-0"	20'-0"	
West– Along West Property Lines			
Along Federal Highway			
To 3 story Garage	5'-0"	30'-0"	
To 3 story Garage	10'-0"	20'-0"	
South Along South Property Lines			
To existing Dry Boat Storage Facility	91'-0"	95'-0"	
To 8 story Parking Garage	20'-0"	20'-0"	
Residential building to Face of bulkhead nose (Caliban Canal)	20'-0"	31'-0"	
Face of bulkhead nose to Property line	20'-0"	57'-0"	
To 3 story Garage	9'-0"	20'-0"	
East & West of N.E. 23Rd Ave	0'-0"	10'-0"	
Note: All Buildings' porches, stoops and balconies can project up to 7'-0" into setback or up to ROW Line whichever is less			
Additional Development Standards			
Access and Circulation	As provided in Article 5: Development Standards as provided in Deviations/ Modifications Table V		
Off-Street parking & loading	As provided in Master Parking Table VI		
Landscaping	As provided in Article 5: Development Standards as provided in Deviations/ Modifications Table V		
Tree Preservation			
Screening			
Fences and Walls			
Exterior Lighting	As provided in Article 5: Development Standards		
Commercial and mixed-use design	As provided in Section II.A.10 of PD-I Application		
Sustainable Design	As provided in Chapter 156. Sign Code		
Signage	As provided in Chapter 156. Sign Code		

Table VI Master Parking Plan		
Type	Required	
Dwelling, Multi-Family	1 BD	1 Space/ du
	2 BD	2 Spaces/ du
	3 BD	2 Spaces/ du
Guest parking	10% of provided parking	
Handicap Parking	As provided in Article 5-ADA: 2% of total parking	
Restaurant	1 sp/ 4 seats	
Marine Showroom	1 sp / 500 sf	
Marine Retail	1 sp/ 300 sf	
All other Uses as provided by in Table 155.5102.D.I. Minimum Number of Off-Street Parking spaces		
On street parallel parking stall size: 10'x26'		

TABLE V Deviations/ Modifications				
Type	Code Section	Description	Modification	Justification
Building Base Planting Standards	155.5203.e.3.a	Required shrubs shall be planted within three feet of the base of the building. If a street sidewalk is located between the base of the building and the street, required shrubs may be planted up to 15 feet from the base of the building.	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.
Access, circulation, parking & loading Driving Aisle	155.5102.1.1	Required Aisle Width Dimensions 23'	22 FT.	To accommodate proposed site design and more efficient traffic circulation in garage.
Vehicle stacking	155.5101.G.8.B	Parking lot Entrance driveways	Min. 30 FT. stacking distance for 500 or more off-street spaces (as measured from ROW line)	To accommodate proposed site design for vehicular access.
Dwelling, Multi-Family Parking	155.5102.D.I	For Units on 2 nd floor or higher of a building with non-residential use located on ground level: 1 space per Dwelling Unit (du) 1-2 BD 1.5 Space All other MF 3 BD 2 Spaces	1 BD 1 Space	Due to Urban Mixed-Use Settings parking demand shall be less. Guest: 10% of Provided Parking
			2-3 BD 2 Spaces	
Landscape between Vehicular Use Areas and Buildings	155.5203.D.5.A	Minimum landscaped area shall be eight feet for each story in the abutting building façade, up to 24 feet	Except where conflict with pedestrian sidewalks exist.	To accommodate Sidewalks abutting building.
Required Buffer Types and Standards	155.5203.F3	Option 1: At Least 10' wide A wall or semi-opaque fence at least 6 feet high 1 Tree per 30 linear feet + a continuous hedge at least 4 feet high on the exterior side of the wall or fence 1 shrub per 10 linear feet on the interior side of the wall or fence	Option 1: At Least 10' wide A wall or semi-opaque fence at least 6 feet high A continuous hedge at least 4 feet high on the interior side of the wall or fence	To accommodate proposed setbacks per Table IV Intensity and Dimensional Standards
Parking deck or Garage Standards	155.5605.c.1.d	The exposed top level of a parking structure shall be covered a minimum of 60% with a shade producing structure such as, but not limited to, a vined pergola or retractable canvas shade structure.	15% Min.	No Building shall be high enough to see top of garage.
Parking deck or Garage Standards	155.5605.c.3	If the deck or garage is accessed from a street, there shall be only one point of access to the garage area from that street.	Two (2) Points of Access	More Efficient Traffic Circulation for Residents and Commercial use respectively.

ARCHITECT'S BUILDING CODE STATEMENT / TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

THE LEGAL PROPERTY OF AND ALL RIGHTS ARE RESERVED BY THE ARCHITECT.

**HARBORSIDE AT
HIDDEN HARBOUR**
FOR:
AMP IV-HIDDEN HARBOUR, LLC
LOCATED AT:
POMPANO BEACH, FLORIDA

MSA ARCHITECTS, INC.
AAC000895
8850 SW 74th COURT
MIAMI, FLORIDA 33156
(305) 273-9911

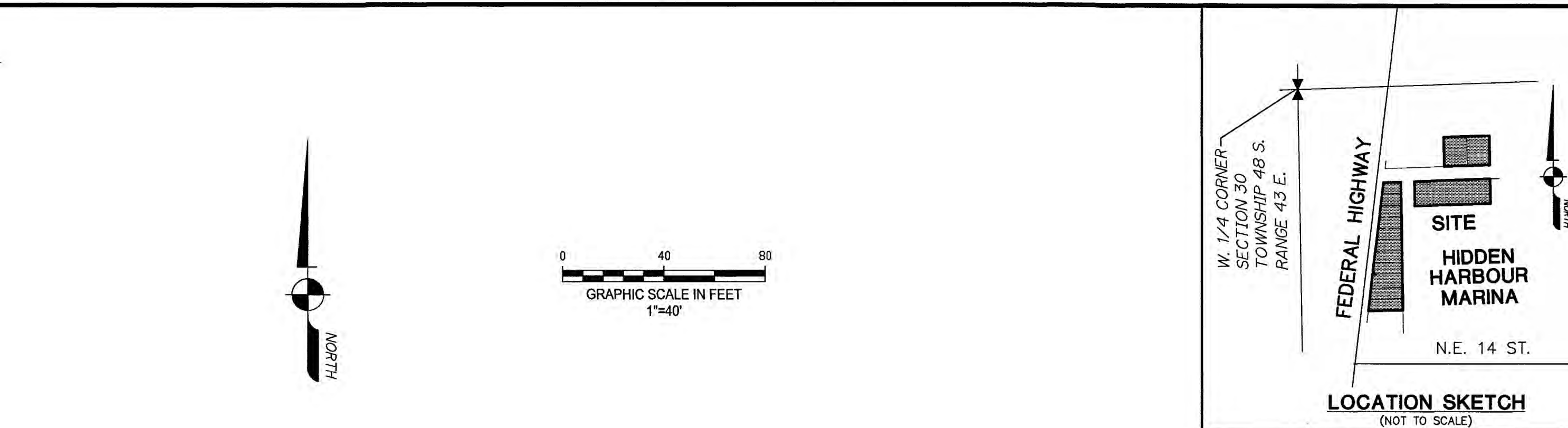
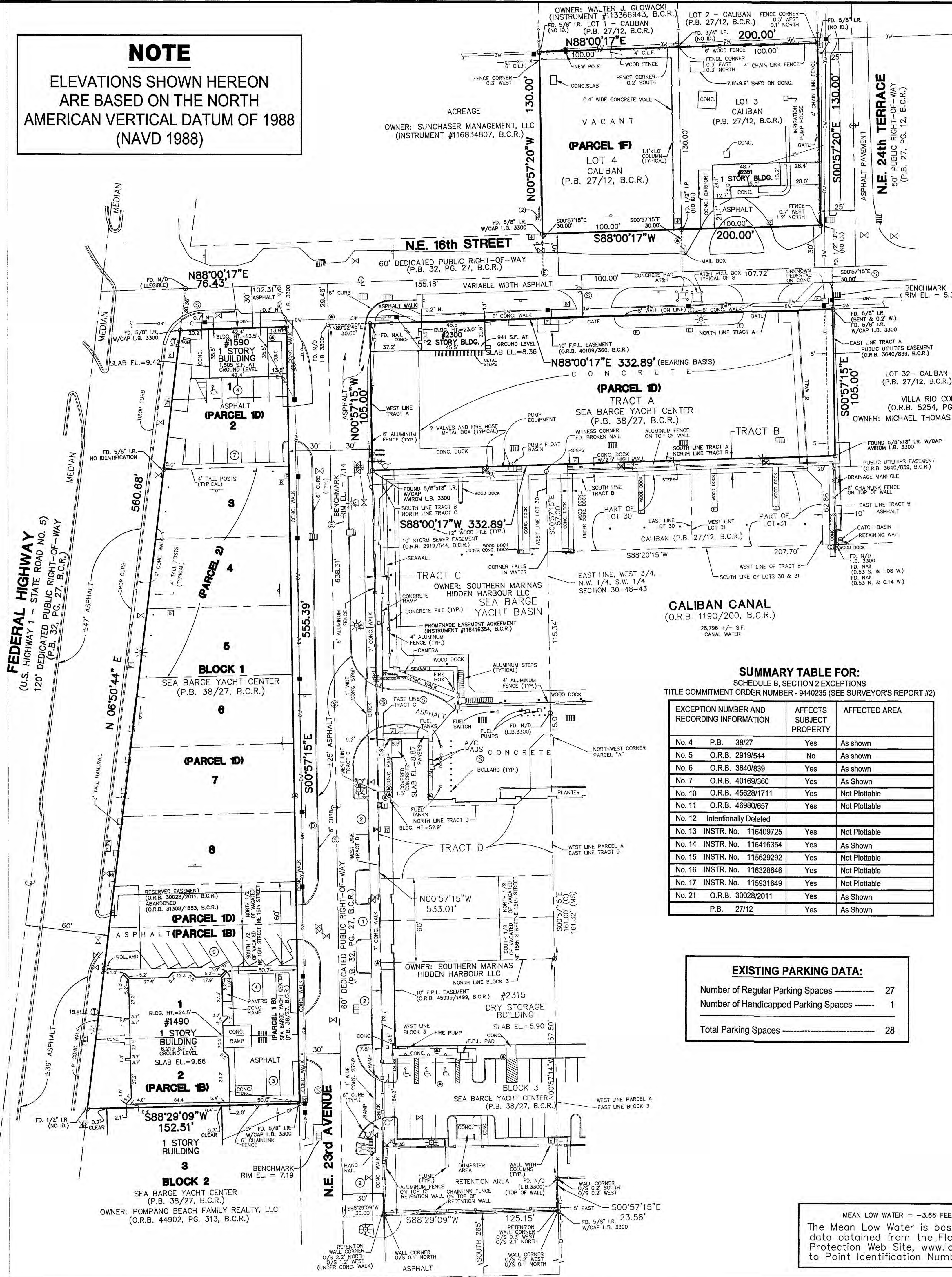
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DRAWN _____
DATE -/-/-
SCALE AS SHOWN
JOB NO. 1828
SHEET TITLE: MASTER SITE PLAN
SHEET NUMBER: EX-E2

PD I MASTER PLAN

P&Z
PZ21-13000006
1/26/2022

NOTE
ELEVATIONS SHOWN HEREON
ARE BASED ON THE NORTH
AMERICAN VERTICAL DATUM OF 1988
(NAVD 1988)



SURVEYOR'S REPORT:

1. Reproductions of this Sketch are not valid without the signature and the original seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
2. Lands shown hereon were not abstracted by Avrom & Associates, Inc. for easements, rights-of-way, ownership or other instruments of records. Instruments of record are per Title Commitment Order Number 9440235, issued by FIDELITY NATIONAL TITLE INSURANCE COMPANY, having an effective date of 04/22/2021, (Revision Number 2 on June 2, 2021). Property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment. Easements, where applicable are shown on the survey. (see SUMMARY TABLE)
3. The land description shown hereon was provided by the Client.
4. Bearings shown hereon are assumed based on the north line of Tract A - SEA BARGE YACHT CENTER having a bearing of N88°00'17"E.
5. Elevations shown hereon are based on the North American Vertical Datum of 1988.
6. Benchmark reference: National Geodetic Survey Benchmark, Designation 015, PID D02654, EL = 6.77 feet (NAVD 1988).
7. Symbols shown hereon and in the legend may have been enlarged for clarity. These symbols have been plotted at the center of the field location and may not represent the actual shape or size of the feature.
8. This map is intended to be displayed at a scale of 1:480 (1"=40').
9. Units of measurement are in U.S. Survey Feet and decimal parts thereof. Well identified features in this survey were field measured to a horizontal positional accuracy of 0.10'.
10. Adjacent property owner information shown hereon was obtained from the Broward County Property Appraiser's website.
11. The entire property described hereon lies within Flood Zone X, Community Panel No. 12011C0188H, dated 8/18/14.
12. Abbreviation Legend: B.C.R. = Broward County Records; C = Calculated; C = Centerline; C.B.S. = Concrete, Block & Stucco; C.L.F. = Chainlink Fence; C.M. = Concrete Monument; CONC. = Concrete; DIA. = Diameter; ESMT. = Easement; FD. = Found; F.P.L. = Florida Power & Light Company; ID. = Identification; INSTR. = Instrument; I.P. = Iron Pipe; I.R. = Iron Rod; L.B. = Licensed Business; MS = Measured; N/D = Nail & Disk; O.R.B. = Official Records Book; O/S = Offset; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; P.R.M. = Permanent Reference Monument; R/W = Right-of-Way; U.E. = Utility Easement; W/ = With; W/CAP. = With Surveyors Cap; BLDG. HT. = Building Height; TYP. = Typical; NAVD 88 = National American Vertical Datum of 1988; C.M.P. = Corrugated Metal Pipe; D.I.P. = Ductile Iron Pipe; EL. = Elevation; H.D.P.E. = High-density Polyethylene; INV. = Invert; P.V.C. = Polyvinyl Chloride; R.C.P. = Reinforced Concrete Pipe; UNK. = Unknown.

LEGEND

- BACK FLOW PREVENTOR VALVE
- CATCH BASIN
- CLEAN OUT
- CONCRETE LIGHT POLE
- CONCRETE UTILITY POLE
- CURB INLET
- DOUBLE DETECTOR CHECK VALVE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- FIRE HYDRANT
- ELECTRIC SERVICE BOX
- EXISTING ELEVATION
- GREASE TRAP
- GUY ANCHOR
- HANDICAP PARKING
- IRRIGATION CONTROL BOX
- LIGHT POLE
- MONITORING WELL
- NUMBER OF REGULAR PARKING
- OVERHEAD WIRES
- REUSE WATER METER
- SANITARY MANHOLE
- SIAMSE CONNECTION
- SIGN (UNLESS NOTED)
- TELEPHONE BOX
- TELEPHONE MANHOLE
- VALVE
- WATER METER
- WOOD UTILITY POLE
- DRAIN

SUMMARY TABLE FOR:
SCHEDULE B, SECTION 2 EXCEPTIONS
TITLE COMMITMENT ORDER NUMBER - 9440235 (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 4 P.B. 38/27	Yes	As shown
No. 5 O.R.B. 2919/544	No	As shown
No. 6 O.R.B. 3640/839	Yes	As shown
No. 7 O.R.B. 40169/360	Yes	As shown
No. 10 O.R.B. 45628/1711	Yes	Not Plottable
No. 11 O.R.B. 46980/657	Yes	Not Plottable
No. 12 Intentionally Deleted		
No. 13 INSTR. No. 116409725	Yes	Not Plottable
No. 14 INSTR. No. 116416354	Yes	As Shown
No. 15 INSTR. No. 115629292	Yes	Not Plottable
No. 16 INSTR. No. 116328646	Yes	Not Plottable
No. 17 INSTR. No. 115931649	Yes	Not Plottable
No. 21 O.R.B. 30028/2011	Yes	As Shown
P.B. 27/12	Yes	As Shown

EXISTING PARKING DATA:

Number of Regular Parking Spaces	27
Number of Handicapped Parking Spaces	1
Total Parking Spaces	28

ZONING INFORMATION:
NOT PROVIDED BY INSURER

LAND DESCRIPTION:

(Parcel 1B)
Lots 1 and 2, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida;

Together with the South 1/2 of the vacated N.E. 15th Street, lying North of Lot 1, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 35, Page 27 of the Public Records of Broward County, Florida, as vacated by Ordinance No. 2000-14 recorded November 18, 1999 in Official Records Book 30028, Page 2011, of said Public Records.

(Parcel 1D)
Lots 1, 2, 6, 7 and 8, in Block 1; and all of Tract "A" of SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida;

Together with the North 1/2 of the vacated N.E. 15th Street, lying South of Lot 8, Block 1 of SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 35, Page 27 of the Public Records of Broward County, Florida.

(Parcel 1F)
Lots 3 and 4 of CALIBAN, according to the Plat thereof as recorded in Plat Book 27, at Page 12 of the Public Records of Broward County, Florida.

(Parcel 2)
Lots 3, 4 and 5, Block 1, of SEA BARGE YACHT CENTER, according to the Plat thereof, as recorded in Plat Book 38, Page 27, of the public records of Broward County, Florida.

Said lands situate in the City of Pompano Beach, Broward County, Florida and containing 124,463 square feet (2.8573 acres) more or less.

CERTIFICATION:

I HEREBY CERTIFY that the attached Boundary Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I FURTHER CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.

Date: 7/29/21
DAVID ERIC BREAUX, Jr., P.L.S.
Digitally signed by DAVID ERIC BREAUX, Jr., P.L.S.
DN: cn=DAVID ERIC BREAUX, Jr., P.L.S., o=Avrom & Associates, Inc, ou, email=eric@avromsurvey.com, c=US
Date: 2021.07.29 13:40:20 -0400

MEAN LOW WATER = -3.66 FEET (NAVD 1988)
The Mean Low Water is based on established data obtained from the Florida Department of Environmental Protection Web Site, www.labins.org and referenced to Point Identification Number 89.

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
60 S.W. 2nd AVENUE, SUITE 102
BOCA RATON, FLORIDA 33432
(561) 392-2894 / www.AVIROMSURVEYING.COM
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BOUNDARY SURVEY
"HIDDEN HARBOUR MARINA"
A PORTION OF SEA BARGE YACHT CENTER (P.B. 38/27, B.C.R.)
LOTS 3 AND 4 - CALIBAN (P.B. 27/12, B.C.R.)
"RESIDENTIAL LAND"
CITY OF POMPAÑO BEACH
BROWARD COUNTY, FLORIDA

1" = 40'
JOB # 21-1200
DATE 7/29/21
BY J.S.
CHECKED: D.E.B.
DATE: 2021.07.29 13:40:20 -0400
F.B. 2071 PG. 57-67
SHEET: 1 OF 1

7184-34

TREE LEGEND

- AUSTRALIAN PINE
- GUMBO LIMBO
- OAK
- PALM
- UNKNOWN SPECIES
- DENOTES 12" DIAMETER TRUNK (TYPICAL)

NOTE: THE SPECIES OF TREES AS SHOWN HEREON WERE IDENTIFIED TO THE BEST OF KNOWLEDGE AND ABILITY OF THE SURVEYOR WITHOUT THE BENEFIT OF AN ARBORIST. IT IS THE RESPONSIBILITY OF THE END USER TO VERIFY THE IDENTITY OF THE SPECIES.

NOTE
ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988)

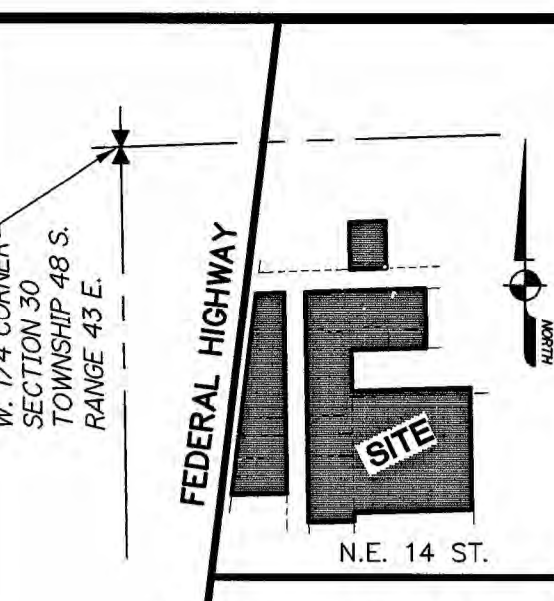
EXISTING PARKING DATA:

Number of Regular Parking Spaces	108
Number of Handicapped Parking Spaces	6
Total Parking Spaces	114

SUMMARY TABLE FOR: SCHEDULE B, SECTION 2 EXCEPTIONS
OWNER POLICY NUMBER - 7210609-7353598 (SEE SURVEYOR'S REPORT #2)

EXCEPTION NUMBER AND RECORDING INFORMATION	AFFECTS SUBJECT PROPERTY	AFFECTED AREA
No. 2 P.B. 3827	Yes	As shown
No. 3 O.R.B. 2919544	Yes	As shown
No. 4 O.R.B. 3640839	Yes	As shown
No. 5 O.R.B. 15158123	Yes	As shown
No. 6 P.B. 1462	Yes	As shown
O.R.B. 36171170	Yes	Not Plottable
O.R.B. 300282008	Abandoned	Removed from Drawing
O.R.B. 300282016	Abandoned	Removed from Drawing
No. 8 O.R.B. 3114498	Yes	Entire Property
No. 9 O.R.B. 40168060	Yes	As shown

LOCATION SKETCH (NOT TO SCALE)



SURVEYOR'S REPORT:

- Reproductions of this sketch are not valid without the signature and the original sealed seal of a Florida Licensed Surveyor and Mapper. Additions or deletions to this survey map or report by other than the signing party is prohibited without written consent of the signing party.
- Lands shown hereon were not abstracted by Avrom & Associates, Inc. for easements, rights-of-way, ownership or other instruments of records. Instruments of record are per Title Commitment Order Number 4064812, issued by CHICAGO TITLE INSURANCE COMPANY, having an effective date of September 6th, 2012 and per Owner Policy Number 7210609-7353598 issued by CHICAGO TITLE INSURANCE COMPANY, dated February 4th, 2008. Property shown hereon is subject to agreements, covenants, easements, restrictions and other matters contained in the Title Commitment. Easements, where applicable are shown on the survey. (see SUMMARY TABLE)
- The land description shown hereon is in accord with the Title Commitment.
- The underground utilities shown have been located from field survey information as flagged by others (Under Dog Utility Detection). The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Bearings shown hereon are assumed based on the north line of Tract A - SEA BARGE YACHT CENTER having a bearing of N88°00'17"E.
- Elevations shown hereon are based on the North American Vertical Datum of 1988.
- Benchmark references: National Geodetic Survey Benchmark, Designation: 015, PID D02654, EL. = 6.77 feet (NAVD 1988).
- The entire property described hereon lies within Flood Zone AE (EL. 6 NAVD 88) and Zone X, Community Panel No. 1201100118, dated 8/18/14.
- Abbreviation Legend: B.C.R. = Broward County Records; C = Calculated; C = Centerline; C.B.S. = Concrete, Block & Stucco; C.F. = Chainlink Fence; C.M. = Concrete Monument; CONC. = Concrete; DIA. = Diameter; ESMT. = Easement; FD. = Found; F.P.L. = Florida Power & Light Company; ID. = Identification; I.P. = Iron Pipe; I.R. = Iron Rod; L.B. = Licensed Business; MS = Measured; N/D = Not & Disk; O.R.B. = Official Records Book; O/S = Offset; OW = Overhead Wires; P.B. = Plat Book; PG. = Page; P.L.S. = Professional Land Surveyor; P.O.B. = Point of Beginning; P.O.C. = Point of Commencement; P.R.M. = Permanent Reference Monument; R/W = Right-of-Way; U.E. = Utility Easement; W/ = With; W/CAP. = With Curved Cap; BLDG. HT. = Building Height; TYP. = Typical; NAVD 88 = National American Vertical Datum of 1988. C.M.P. = Corrugated Metal Pipe; D.I.P. = Ductile Iron Pipe; EL. = Elevation; H.D.P.E. = High-density Polyethylene; INV. = Invert; P.V.C. = Polyvinyl Chloride; R.C.P. = Reinforced Concrete Pipe; UNK. = Unknown.

LAND DESCRIPTION:

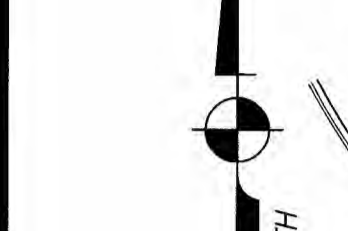
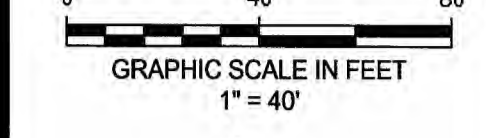
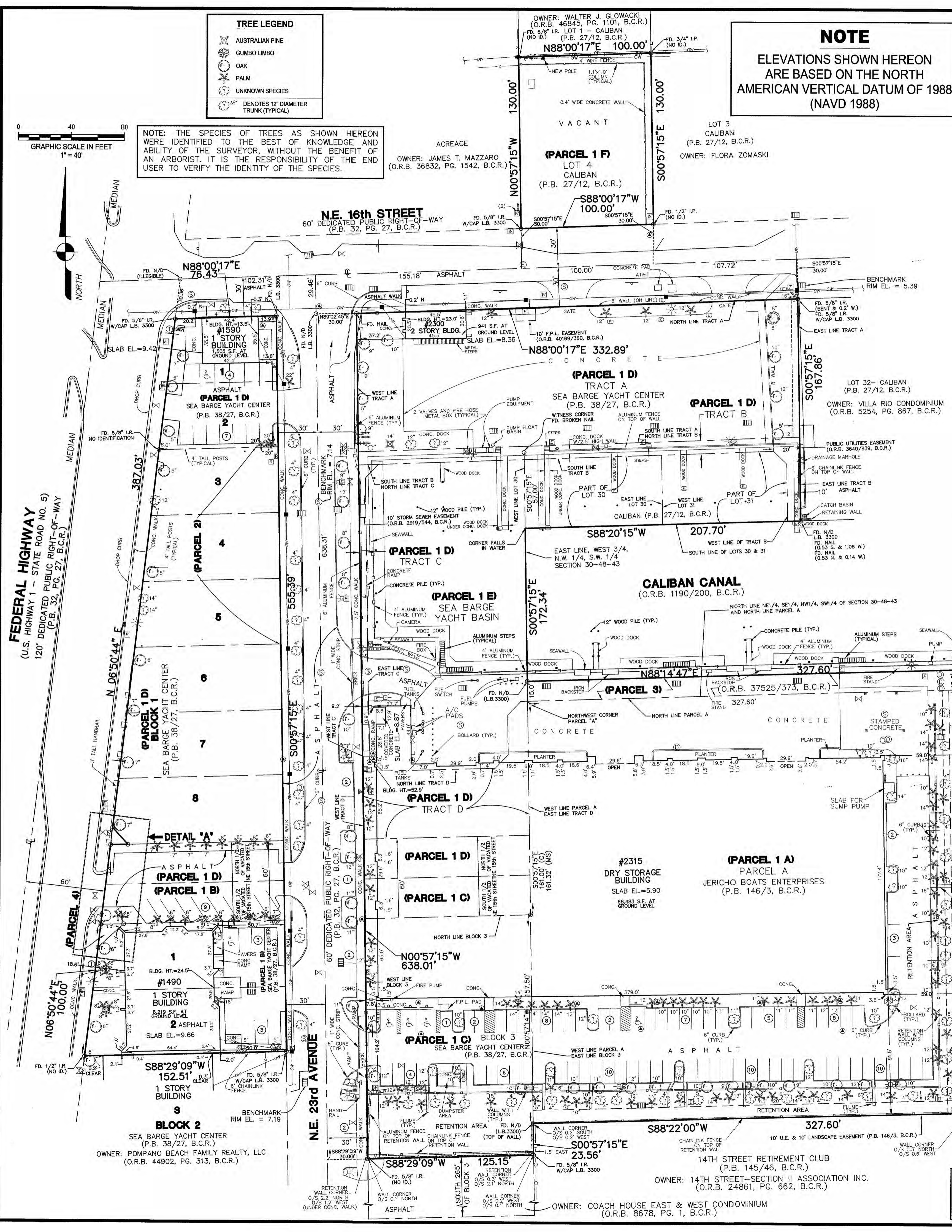
(PARCEL 1) - comprised of the following parcels designated as Parcels 1A-1F)
(PARCEL 1 A)
All of Parcel A of JERICO BOATS ENTERPRISES, according to the Plat thereof, recorded in Plat book 146, Page 3 of the Public Records of Broward County, Florida.
(PARCEL 1 B)
Lots 1 and 2, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida, LESS a portion of Lot 1, more particularly described as follows: BEGIN at the Northwest corner of said Lot 1; thence run North 88°29'09" East, along the north line of said Lot 1 for a distance of 17.28 feet; thence run South 47°39'21" West, for a distance of 26.15 feet; thence run North 06°49'35" East, along the west line of said Lot 1 for a distance of 17.28 feet to the Point of Beginning. PLUS the South 1/2 of the vacated N.E. 15th Street, lying north of Lot 1, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida.
(PARCEL 1 C)
All of Block 3, LESS the south 285.00 feet thereof, SEA BARGE YACHT CENTER, according to the Plat thereof as recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida. Plus the south 1/2 of the vacated N.E. 15th Street, lying north of Block 3, SEA BARGE YACHT CENTER, according to the Plat thereof as recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida.
(PARCEL 1 D)
Lots 1, 2, 6, 7 and 8, in Block 1 and all of Tracts "A", "B", "C" and "D" of SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida.
(PARCEL 1 E)
That portion of the SEA BARGE YACHT CENTER as shown on the Plat of SEA BARGE YACHT CENTER, as recorded in Plat Book 38, Page 27, of the Public Records of Broward County, Florida, described as follows:
That property lying west of the east line of the West Three Quarters (W 3/4) of the Northwest One-Quarter (NW 1/4) of the Southwest One-Quarter (SW 1/4) of Section 30, Township 48 South, Range 43 East and bounded on the south by the northerly boundary of Tract "D" of said SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida, bounded on the west by the easterly boundary of Tract "C" of said SEA BARGE YACHT CENTER and bounded on the north by the southerly boundary of Tract "B" of said SEA BARGE YACHT CENTER. Together with that portion of said Sea Barge Yacht Basin described as follows: That portion of Lots 30 and 31 of CALIBAN, according to the Plat thereof, recorded in Plat Book 27, Page 12 of the Public Records of Broward County, Florida, as bounded on the north by the southerly boundary of Tract "B", SEA BARGE YACHT CENTER, according to the Plat thereof, recorded in Plat Book 38, Page 27 of the Public Records of Broward County, Florida, bounded on the west by the east line of the West Three-Quarters (W 3/4) of the Northwest One-Quarter (NW 1/4) of the Southwest One-Quarter (SW 1/4) of said Section 30, bounded on the east by the line 10.00 feet west of and parallel to the east line of said Tract "B" of said SEA BARGE YACHT CENTER.
(PARCEL 1 F)
Lot 4 of CALIBAN, according to the Plat thereof as recorded in Plat Book 27, at Page 12 of the Public Records of Broward County, Florida.
(PARCEL 2)
Lots 3, 4 and 5, Block 1, of SEA BARGE YACHT CENTER, according to the Plat thereof, as recorded in Plat Book 38, Page 27, of the Public Records of Broward County, Florida.
(PARCEL 3)
A portion of the Caliban Yacht Basin, CALIBAN, according to the plat thereof as recorded in Plat Book 27, Page 12, of the Public Records of Broward County, Florida lying north of and adjacent to Parcel "A", JERICO BOATS ENTERPRISES, according to the plat thereof as recorded in Plat Book 146, Page 3, of the Public Records of Broward County, Florida and being more fully described as follows:
BEGINNING at the Northeast corner of said Parcel "A", JERICO BOATS ENTERPRISES; thence South 88°14'47" West on the North line of said Parcel "A" and also on the South line of Caliban Yacht Basin, a distance of 327.60 feet to the Northwest corner of said Parcel "A", JERICO BOATS ENTERPRISES; thence North 00°57'15" West, on the northerly extension of the west line of said Parcel "A", JERICO BOATS ENTERPRISES, a distance of 15.00 feet; thence North 88°14'47" West on a line 15.00 feet North of and parallel with the North line of said Parcel "A", JERICO BOATS ENTERPRISES, a distance of 327.60 feet; thence South 00°57'23" East, a distance of 15.00 feet to the POINT OF BEGINNING.
(PARCEL 4)
A portion of Lot 1, Block 2, SEA BARGE YACHT CENTER, according to the Plat thereof, as recorded in Plat Book 38, Page 27, of the Public Records of Broward County, Florida, being more particularly described as follows:
BEGIN at the Northwest corner of said Lot 1; thence run North 88°29'09" East, along the north line of said Lot 1 for a distance of 17.28 feet; thence run South 47°39'21" West, for a distance of 26.15 feet; thence run North 06°49'35" East, along the west line of said Lot 1 for a distance of 17.28 feet to the Point of Beginning.
Said lands situate in the City of Pompano Beach, Broward County, Florida and containing 300,444 square feet (6.90 acres) more or less.

CERTIFICATION:

To AMP IV - Hidden Harbour LLC; Stuart K. Hoffman, Esq., P.A.; Chicago Title Insurance Company; BankUnited, N.A., its successors and/or assigns.
 I HEREBY CERTIFY that the attached Boundary & Topographic Survey of the hereon described property is true and correct to the best of my knowledge and belief as surveyed in the field under my direction. I HEREBY CERTIFY that this Boundary Survey meets the Standards of Practice set forth in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472, Florida Statutes.
 Date: 5/1/19

DAVID ERIC BREAU, Jr., P.L.S.
 Digitally signed by DAVID ERIC BREAU, Jr., P.L.S. on 5/1/19 at 09:06:26-0400
 Email: david.eric@avrom.com

The MEAN LOW WATER is based on established data obtained from the Florida Department of Environmental Protection Web Site, www.flabins.org and referenced to Point Identification Number 89.



FEDERAL HIGHWAY 1 - STATE ROAD NO. 5
120' DEDICATED PUBLIC RIGHT-OF-WAY (P.B. 32, PG. 27, B.C.R.)

SEA BARGE YACHT CENTER (P.B. 38/27, B.C.R.)
 OWNER: POMPAÑO BEACH FAMILY REALTY, LLC (O.R.B. 44902, PG. 313, B.C.R.)

OWNER: JAMES T. MAZZARO (O.R.B. 36832, PG. 1542, B.C.R.)

OWNER: FLORA ZOMASKI (O.R.B. 27/12, B.C.R.)

OWNER: SUN HARBOR HOMEOWNERS ASSOCIATION, INC. (O.R.B. 16431, PG. 905, B.C.R.)

#2315 DRY STORAGE BUILDING
 SLAB EL.=5.90
 68,483 S.F. AT GROUND LEVEL

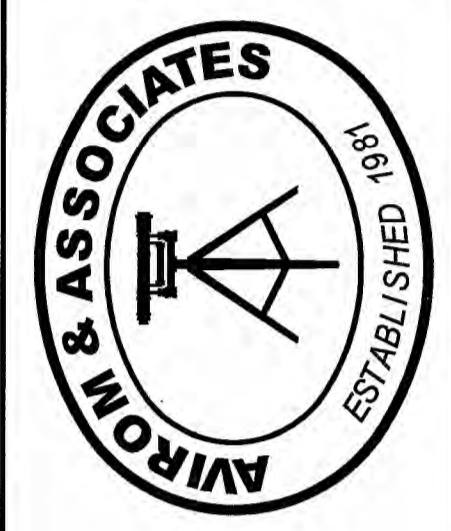
PARCEL A
 JERICO BOATS ENTERPRISES (P.B. 146/3, B.C.R.)

14TH STREET RETIREMENT CLUB (P.B. 145/46, B.C.R.)
 OWNER: 14TH STREET-SECTION II ASSOCIATION INC. (O.R.B. 24861, PG. 662, B.C.R.)

OWNER: COACH HOUSE EAST & WEST CONDOMINIUM (O.R.B. 8678, PG. 1, B.C.R.)

ZONING INFORMATION:
NOT PROVIDED BY INSURER

AVIROM & ASSOCIATES, INC.
SURVEYING & MAPPING
 50 S.W. 2ND AVENUE, SUITE 102
 BOCA RATON, FLORIDA 33492
 TEL: (561) 392-2894
 WWW.AVIROM-SURVEY.COM

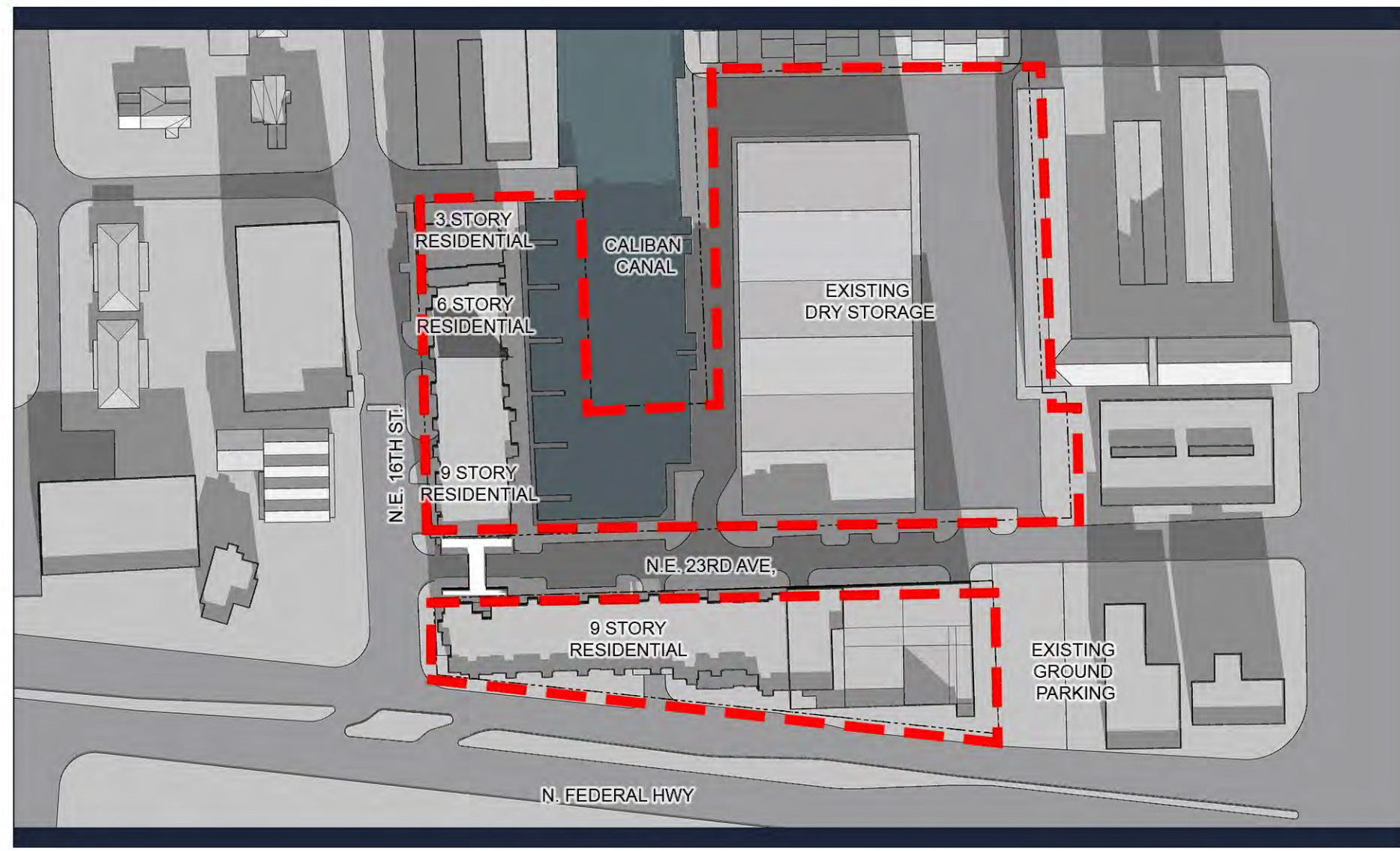


REVISIONS

DATE	F.B./PG.	BY	CKD
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.
09/17/2019	1077/51	J.B.	D.E.R.

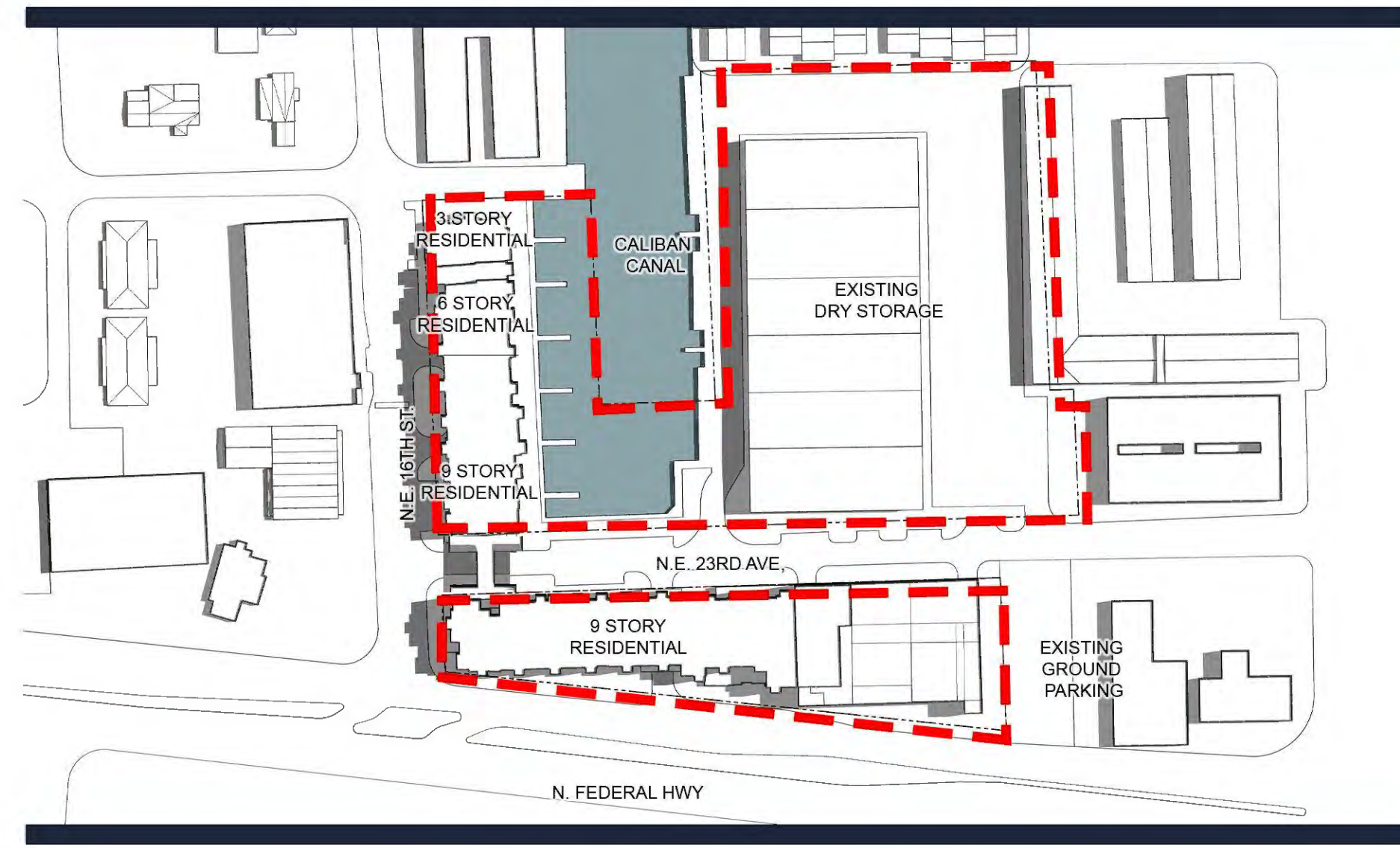
BOUNDARY & TOPOGRAPHIC SURVEY
"HIDDEN HARBOUR MARINA"
 A PORTION OF SEA BARGE YACHT CENTER (P.B. 38/27, B.C.R.)
 LOT 4 - CALIBAN (P.B. 27/12, B.C.R.)
 PARCEL A - JERICO BOATS ENTERPRISES (P.B. 146/3, B.C.R.)
 CITY OF POMPAÑO BEACH
 BROWARD COUNTY, FLORIDA.

SHEET	1	OF	1
DATE	10/16/2009		
DRAWN BY	M.M.		
CHECKED BY	J.P.D.		
F.B.	1071	PG.	1-41
SHEET	1	OF	1

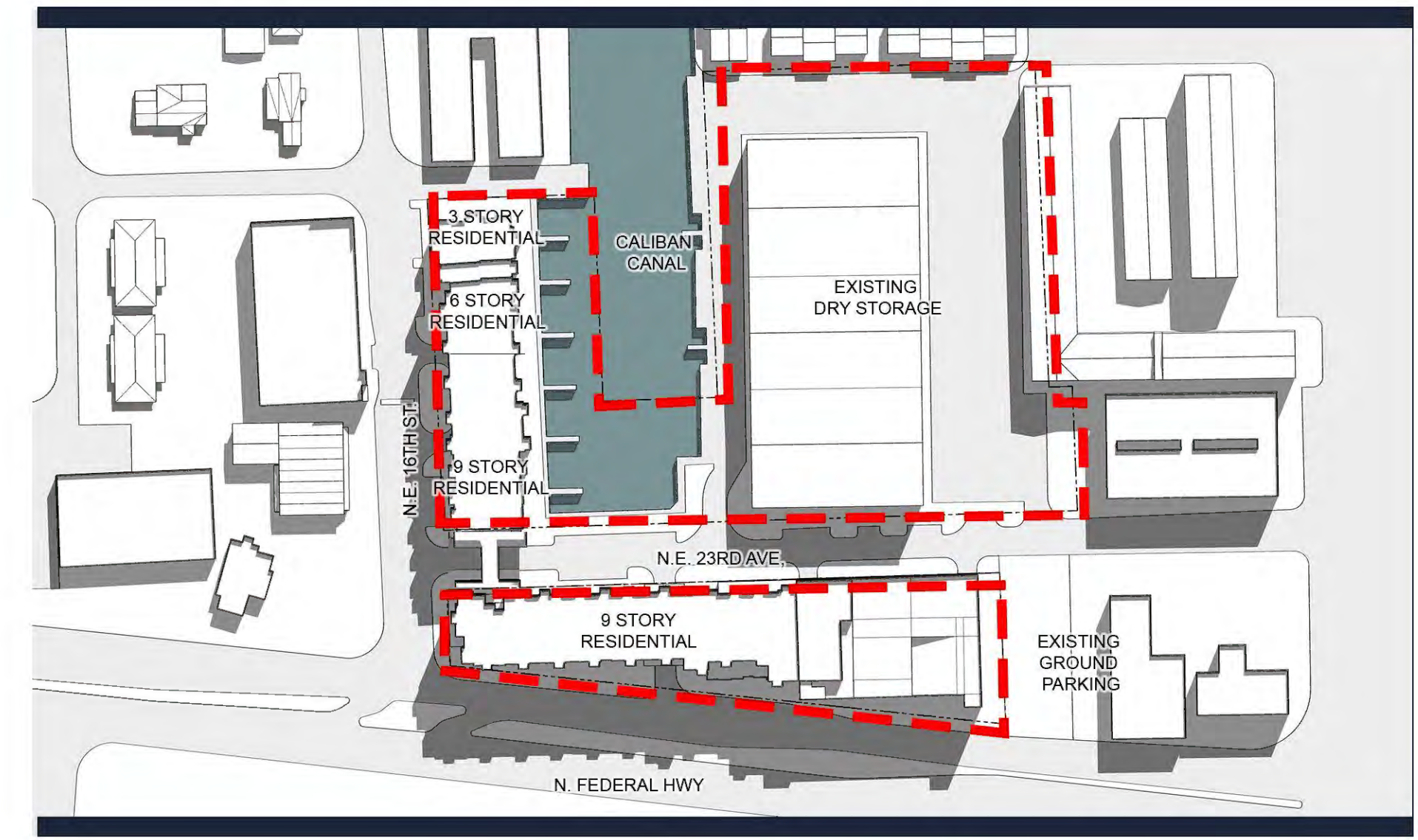


FALL EQUINOX

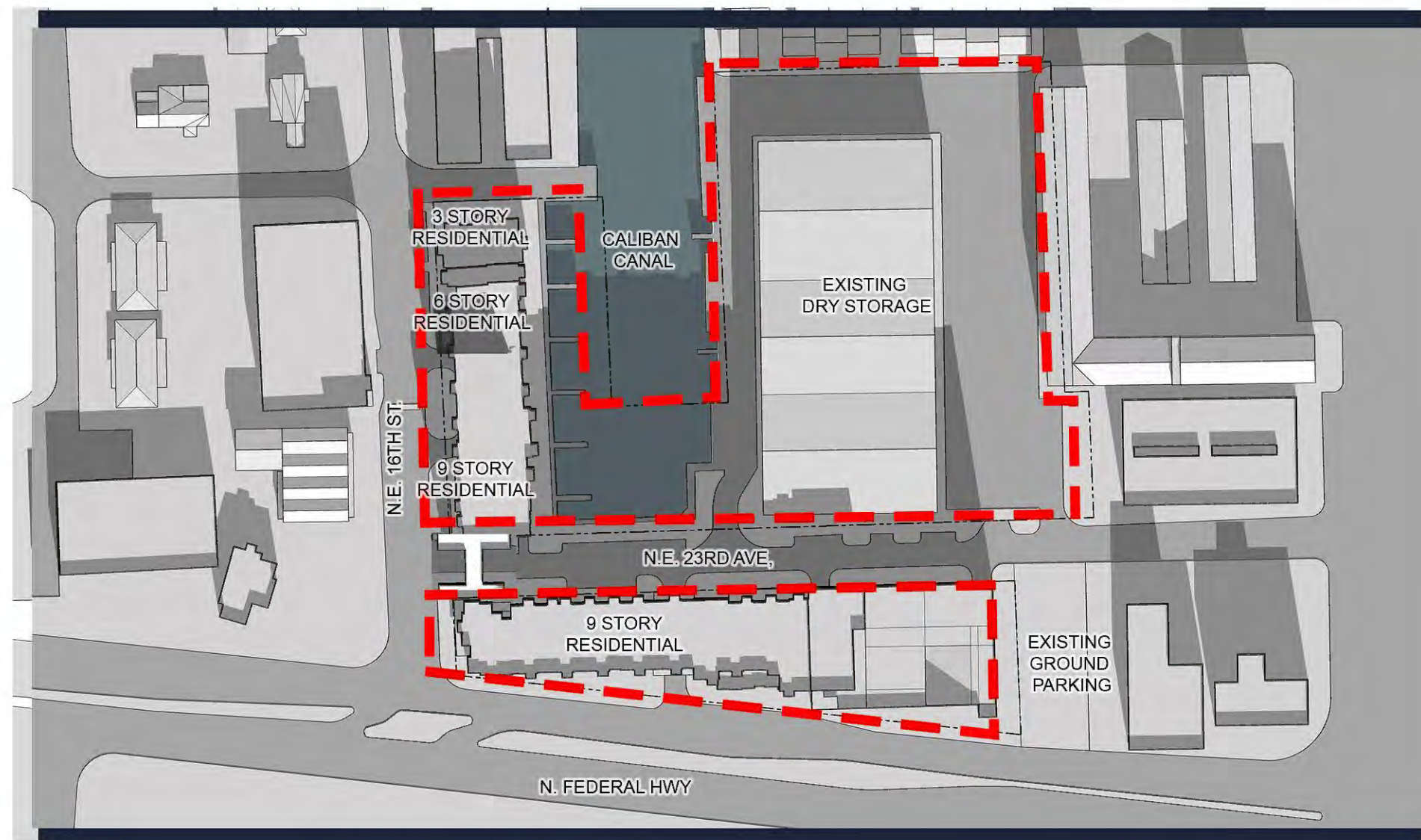
TWO HRS. BEFORE SUNSET



NOON

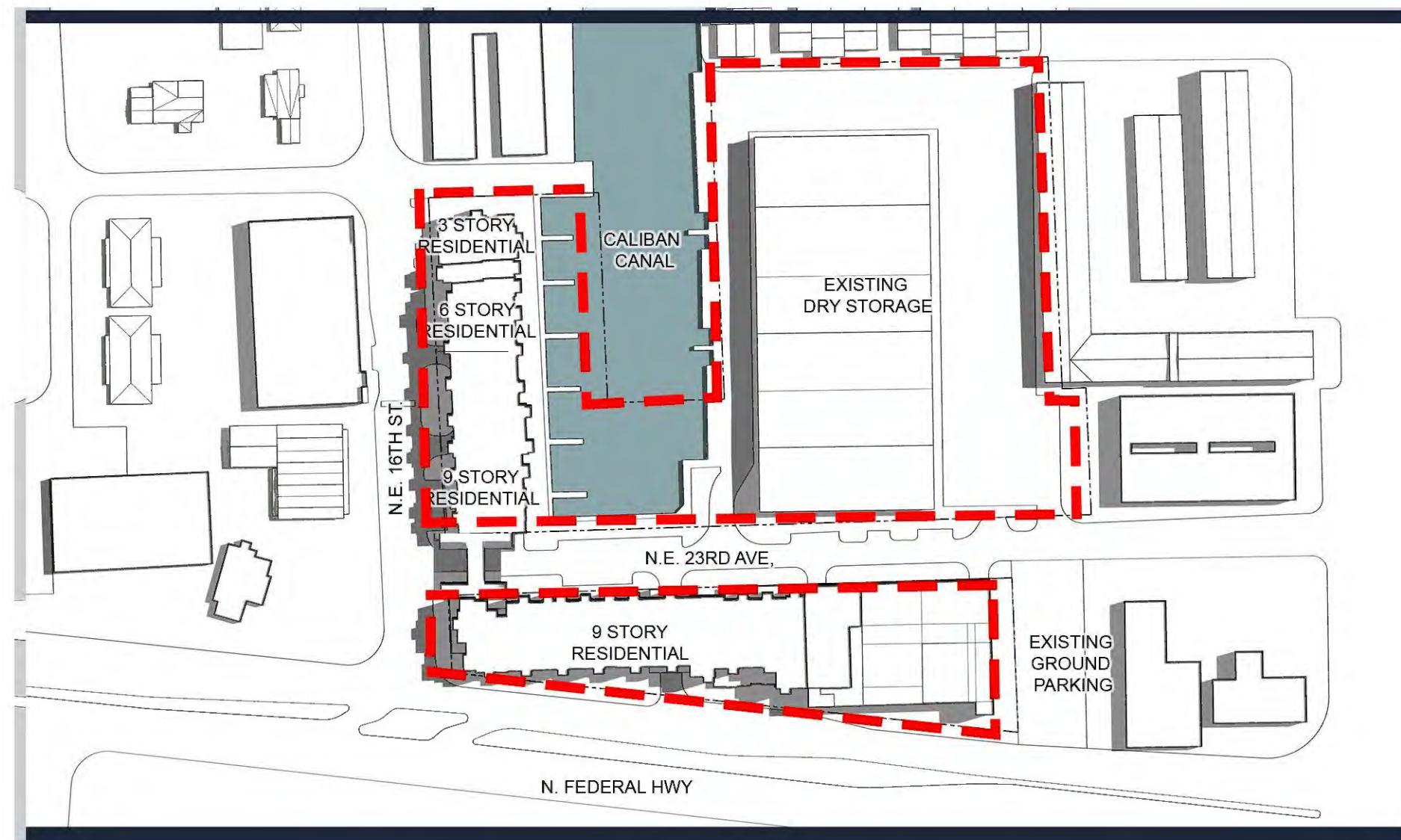


TWO HRS AFTER SUNRISE

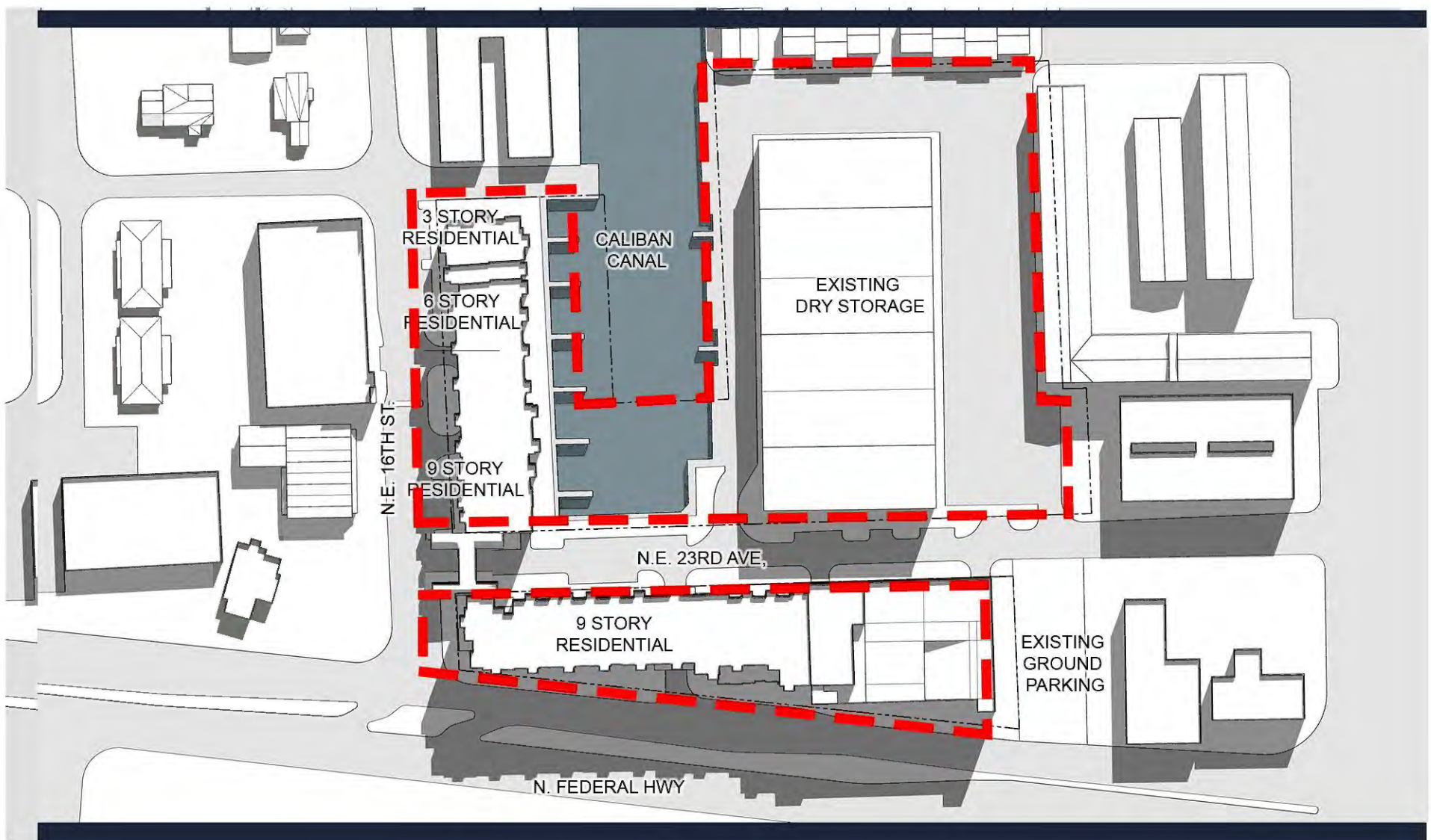


SPRING EQUINOX

TWO HRS. BEFORE SUNSET



NOON



TWO HRS AFTER SUNRISE



HIDDEN HARBOUR
FOR:
LOCATED AT:
POMPANO BEACH, FLORIDA

Beatriz M. Hernandez
de
ARCHITECTS, INC.
8950 SW 74th Court
Miami, Florida 33156
(305) 273-9911
AAC000895
AR0094576

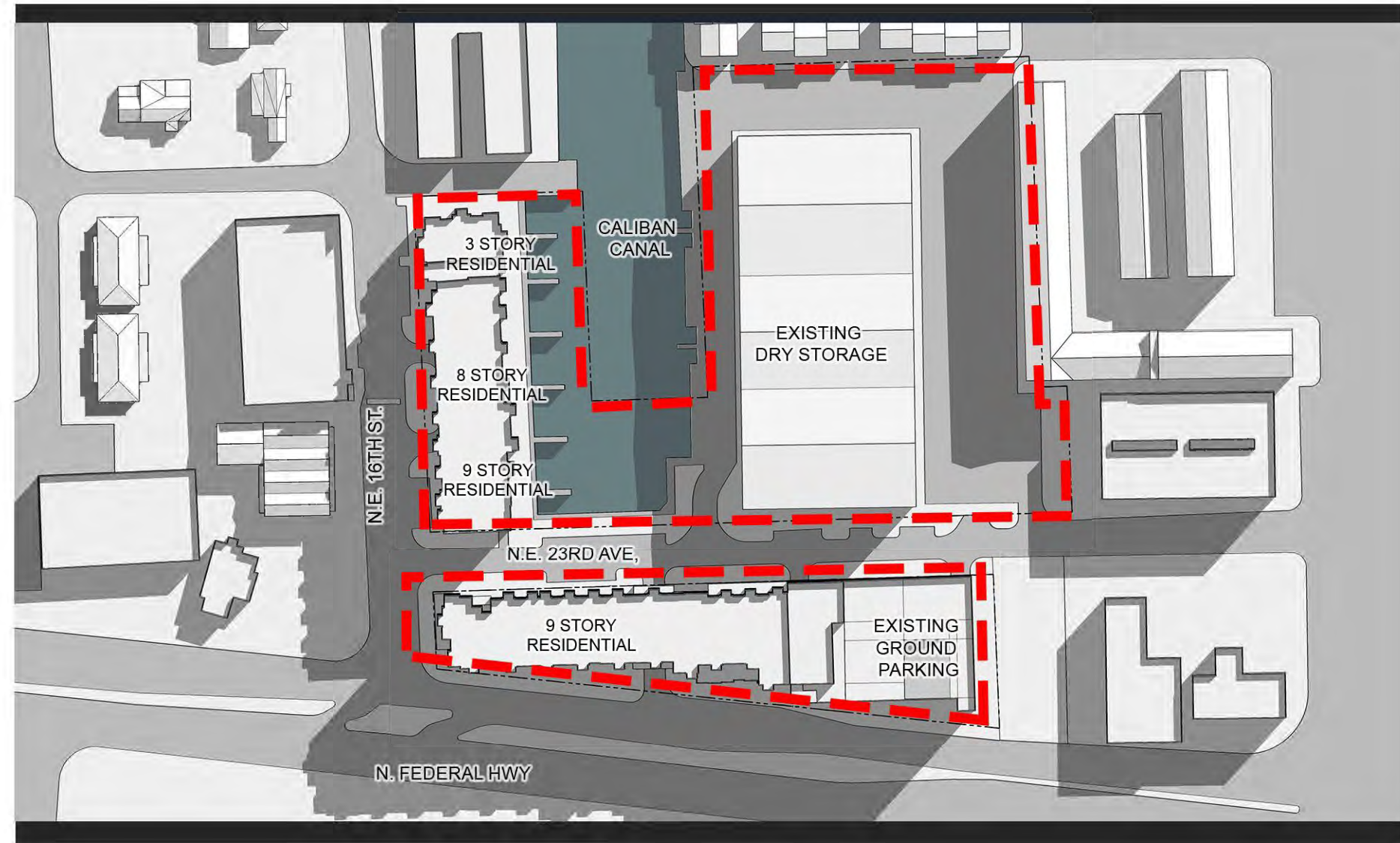
MSA ARCHITECTS, INC.
ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.

DRAWN: -/-/
DATE: -/-/
SCALE: AS SHOWN
JOB NO.: 1828
SHEET TITLE: SHADOW STUDY
SHEET NUMBER: EX-E3.1

P&Z
PZ21-1300006
1/26/2022

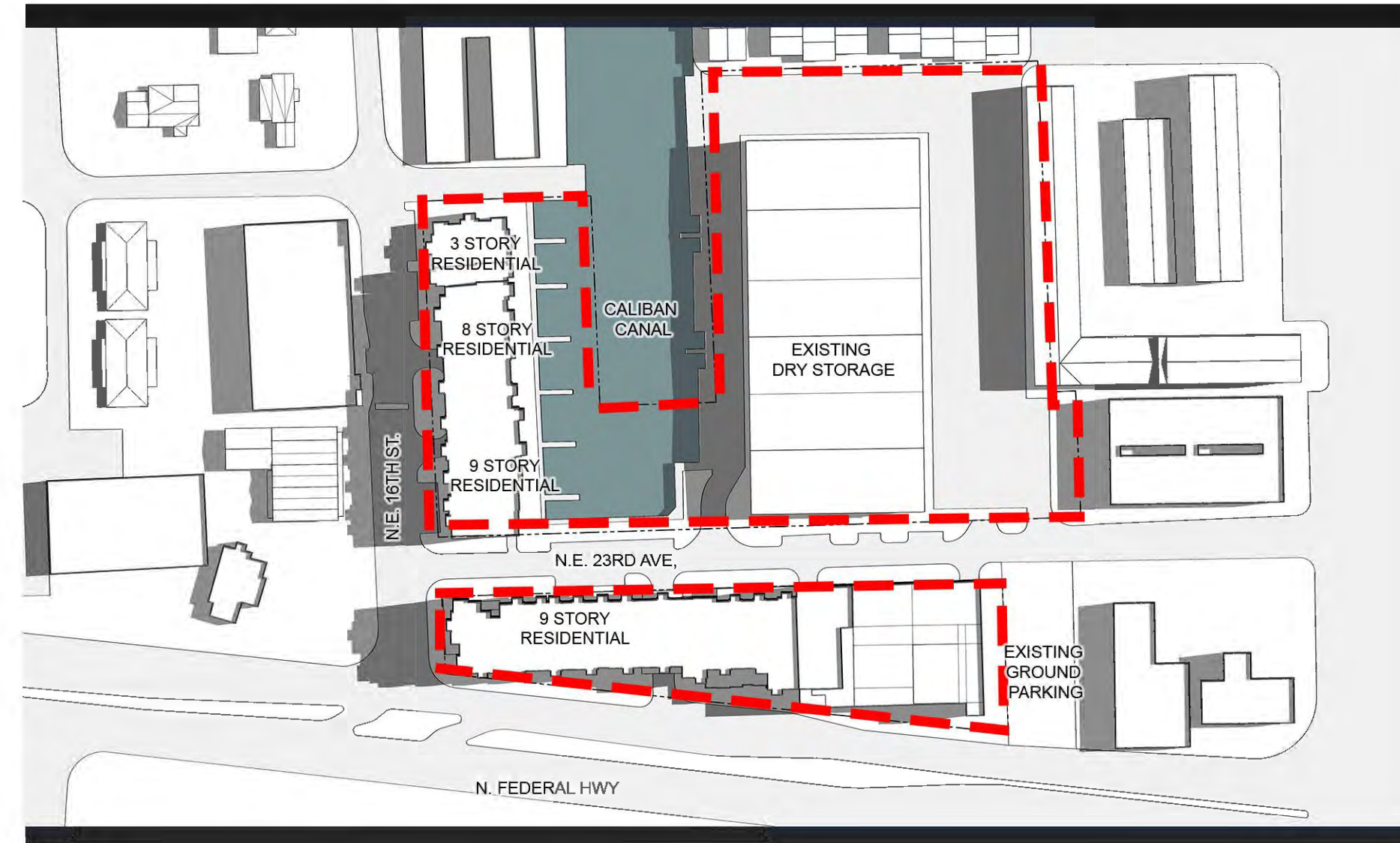
BY



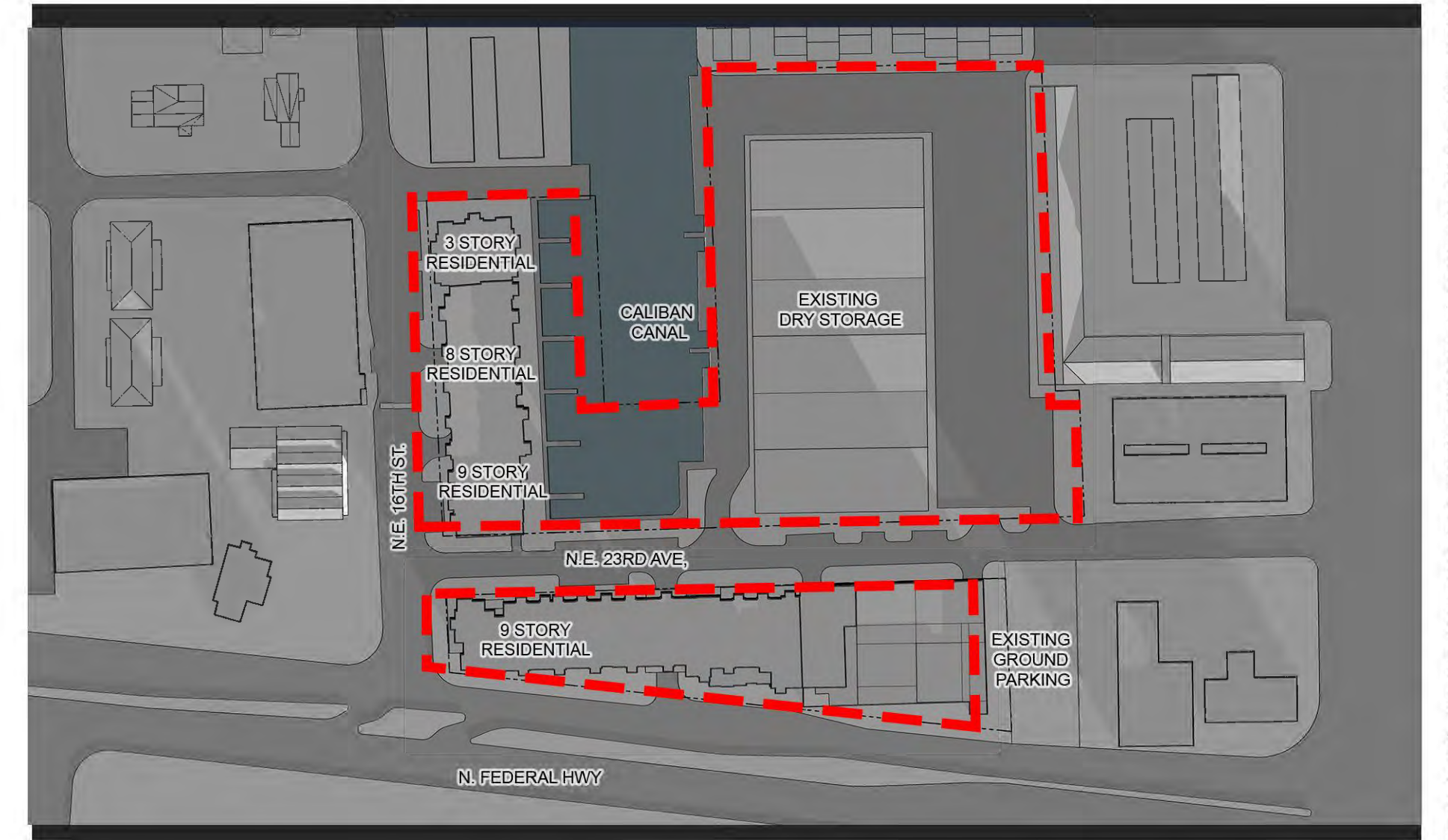
TWO HRS. BEFORE SUNSET



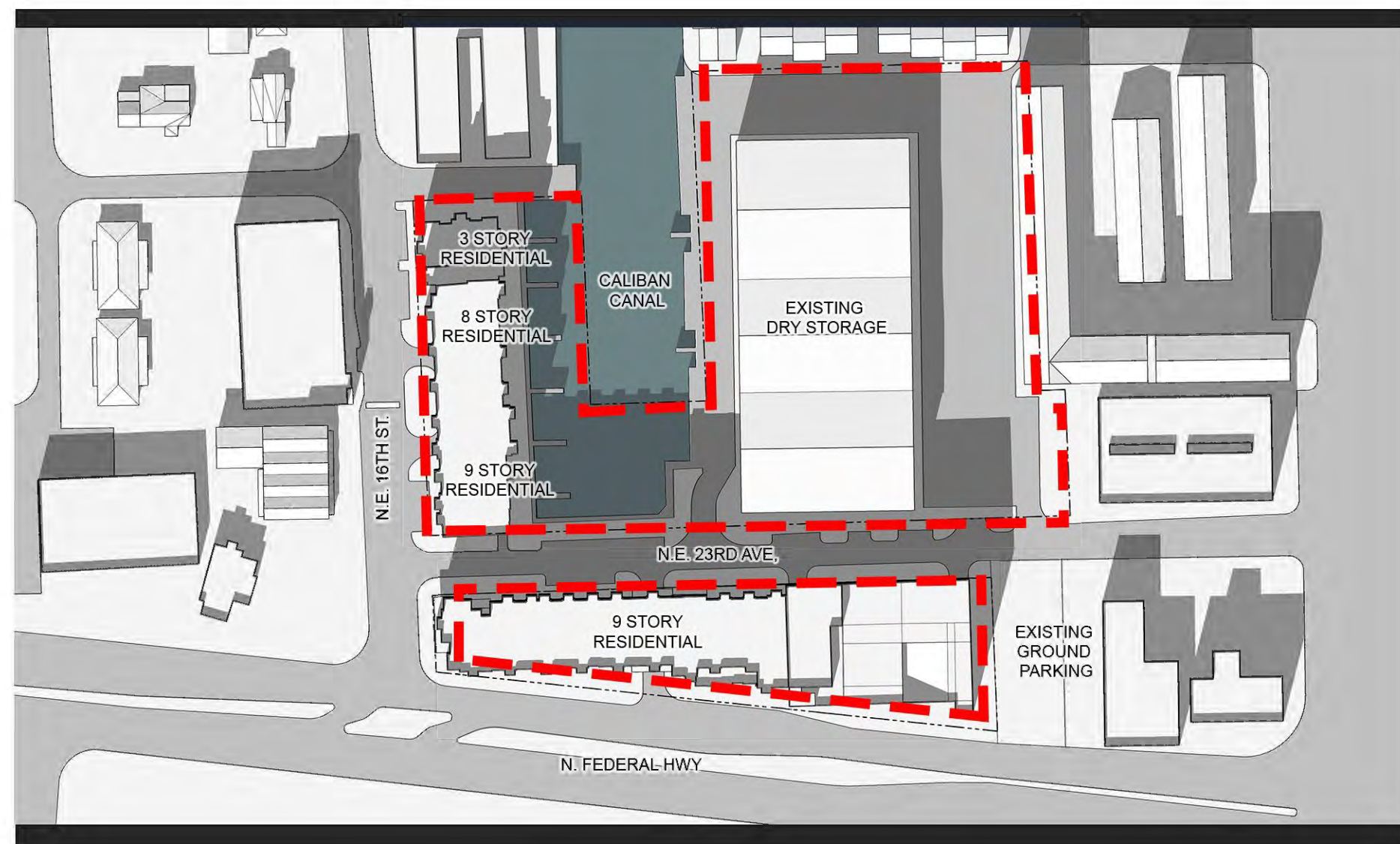
WINTER SOLSTICE



NOON



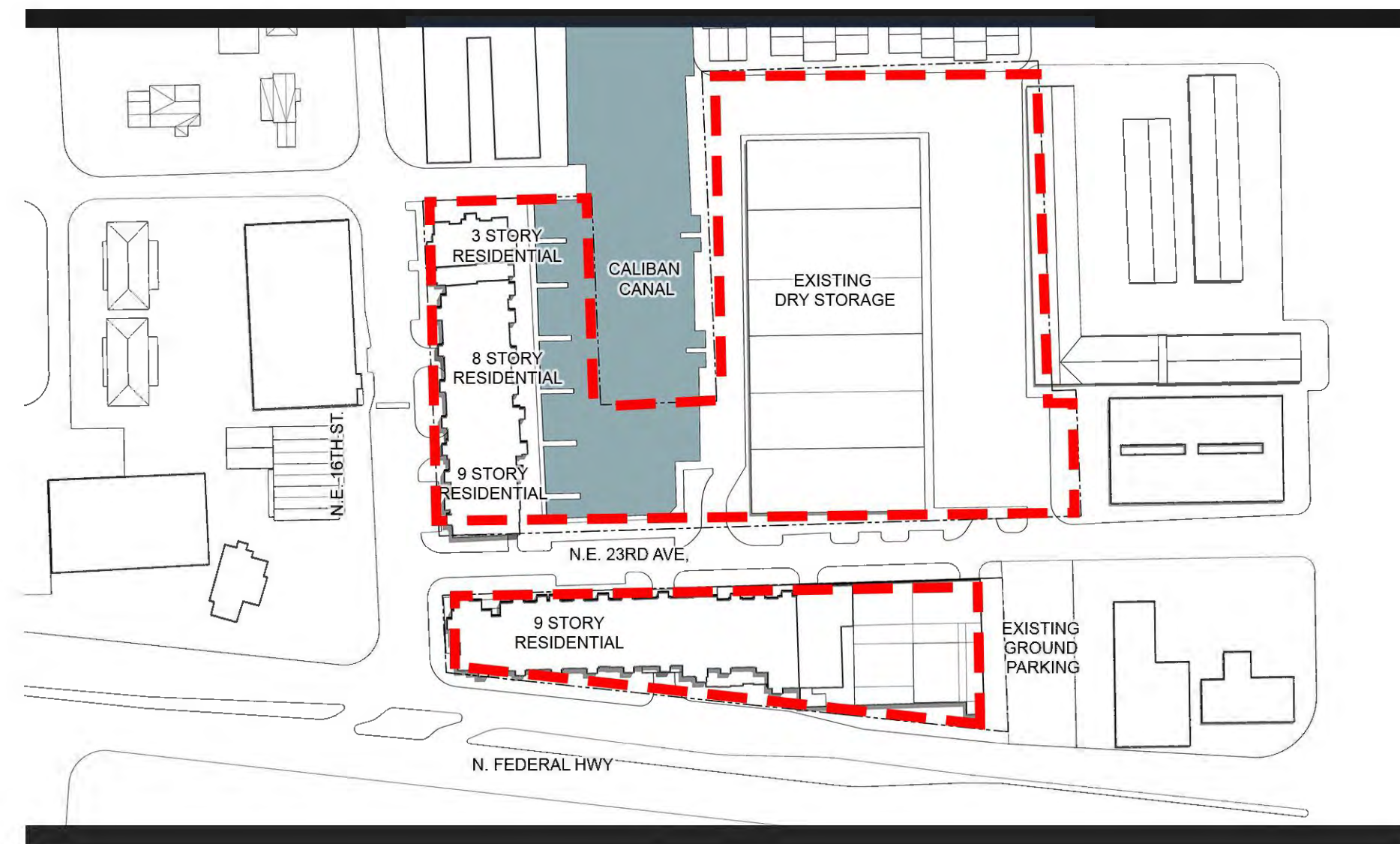
TWO HRS AFTER SUNRISE



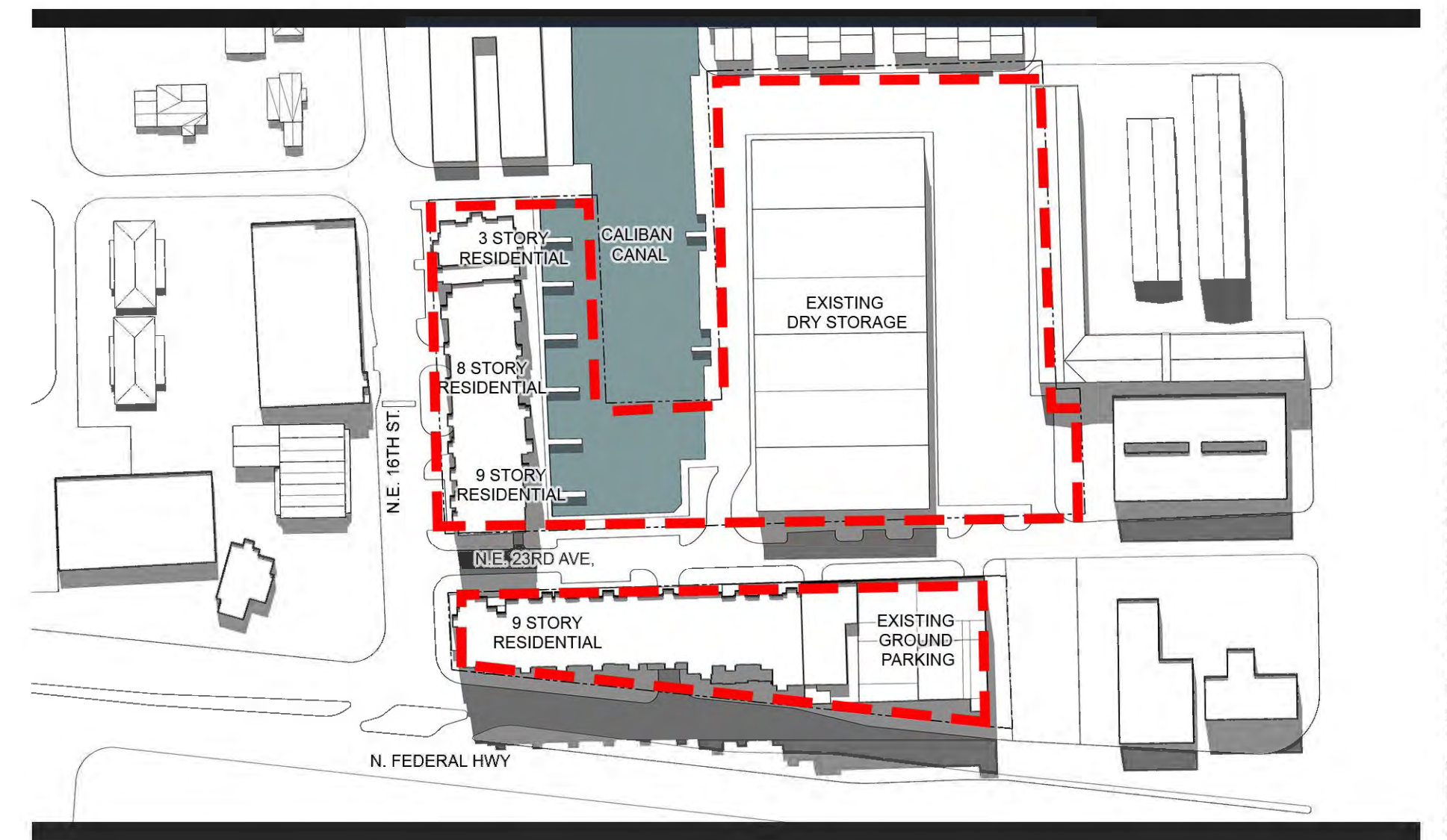
TWO HRS. BEFORE SUNSET



SUMMER SOLSTICE



NOON



TWO HRS AFTER SUNRISE



HIDDEN
HARBOR

FOR:
POMPAHO BEACH, FLORIDA



MSA ARCHITECTS, INC.
AACC000895
8850 SW 74th COURT
SUITE 1513
MIAMI, FLORIDA 33156
(305) 273-9911

MSA ARCHITECTS
ARCHITECTURE & PLANNING

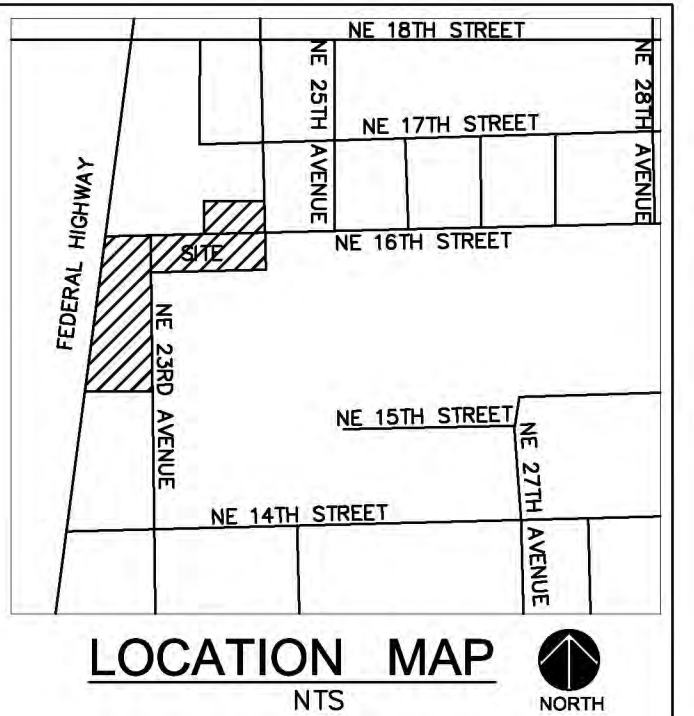
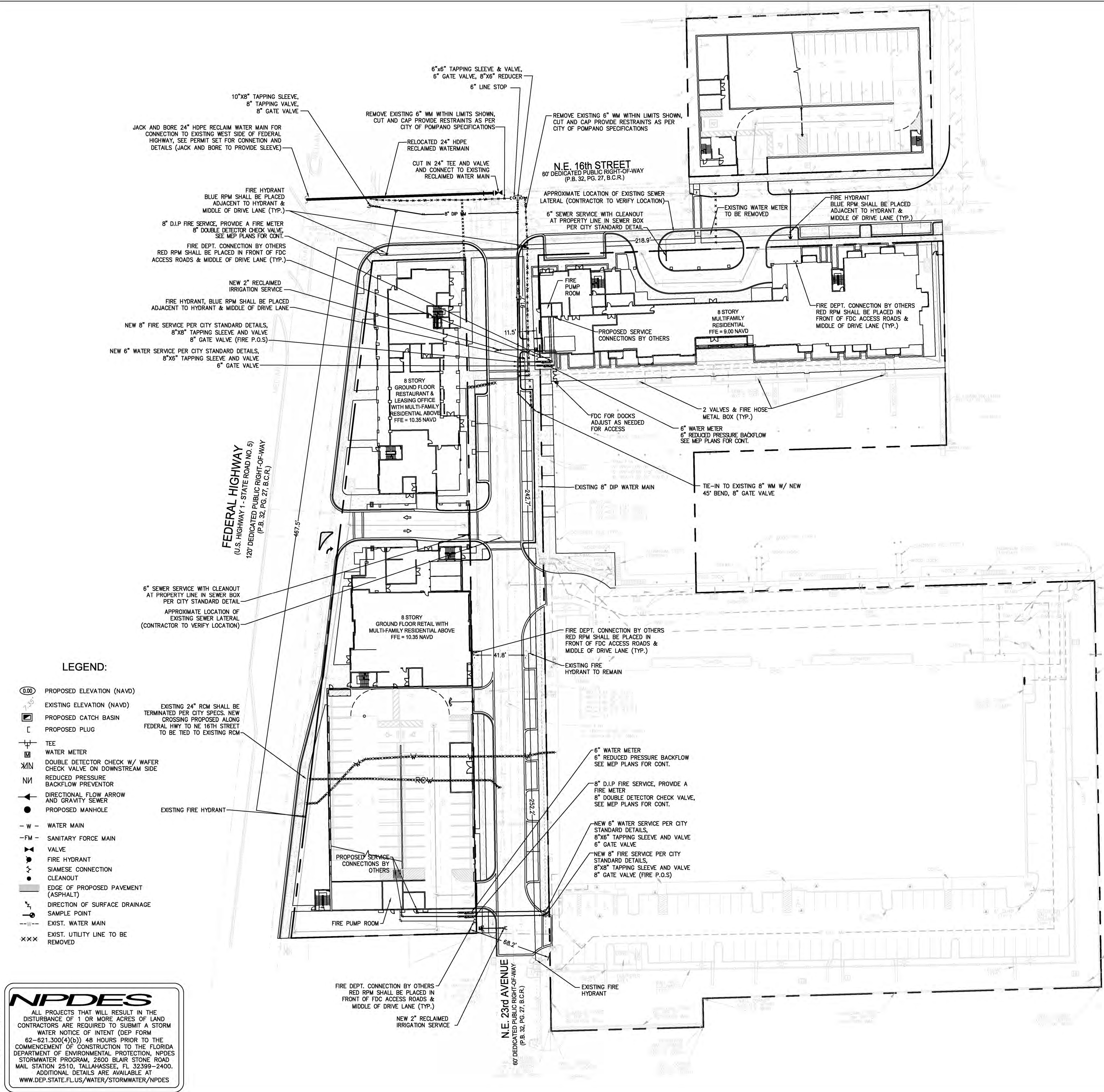
ARCHITECTS BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633, FLORIDA STATUTES.

DRAWN: -/-/
DATE: -/-/
SCALE: AS SHOWN
JOB NO.: 1828
SHEET NUMBER:

P&Z
SHADOW STUDY
SHEET NUMBER:
PZ21-13000006 E3.2
1/26/2022

BY

Drawing name: F:\2005 Jobs\05-0606.05-0606.05 SITE PD.dwg
 Sep 26, 2021 9:32am



WATER AND SEWER NOTES:

1. CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
2. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
3. CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
4. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
5. W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL.
6. SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
7. PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
8. ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
9. ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
10. CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
11. PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
12. FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
13. STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
14. ANY EXISTING UNUTILIZED WATER &/OR SEWER CONNECTION TO THE SUBJECT LOT(S) MUST BE RETIRED AT THE MAIN AS PER CITY SPECIFICATION.
 - IF THE EXISTING MAIN IS CLAY PIPE & HAS CIPP LINER CURRENTLY INSTALLED, INSTALL A SECTIONAL LINER IN THE MAIN OVER THE OLD LATERAL THUS ELIMINATING THE LATERAL.
 - IF THE EXISTING MAIN IS CLAY PIPE, DIG DOWN CUT OLD CLAY PIPE, SLEEVE BACK IN WITH PVC & CITY APPROVED COUPLINGS.
 - IF THE EXISTING MAIN IS CLAY PIPE & YOU ARE REQUIRED TO RETIRE MULTIPLE LATERALS FOR A PROJECT, IT MAY BE CHEAPER FOR THE CONTRACTOR TO INSTALL A CITY APPROVED CIPP LINER FROM MANHOLE TO MANHOLE AND NOT CUT OUT THE LATERALS THAT THEY ARE RETIRING.
 - IF THE EXISTING MAIN IS PVC PIPE, REMOVE THE LATERAL PIPE FROM THE PVC WYE FITTING AND INSTALL A PLUG INTO THE WYE. INSTALL A GREEN LOCATING MARKING BALL AT THE LATERAL LOCATING, NO DEEPER THAN 4 FT. BELOW GRADE.
15. ANY EXISTING UNUTILIZED WATER AND/OR SEWER CONNECTION TO THE LOTS MUST BE CUT & CAPPED AT THE MAIN FOR WATER SERVICES & SEWER LATERAL REMOVED FROM THE MAIN & SLEEVED IN WITH NEW PIPING.

TOTAL DAILY GALLON PER DAY WATER CONSUMPTION: 63,561
 TOTAL DAILY GALLON PER DAY WASTEWATER DISCHARGE: 63,561

LEGEND:

- PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- ▭ PROPOSED CATCH BASIN
- ▭ PROPOSED PLUG
- ⊕ TEE
- ⊕ WATER METER
- ⊕ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊕ REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- - - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMESE CONNECTION
- CLEANOUT
- ▭ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- - - EXIST. WATER MAIN
- xxx EXIST. UTILITY LINE TO BE REMOVED

NPDES

ALL PROJECTS THAT WILL RESULT IN THE DISTURBANCE OF 1 OR MORE ACRES OF LAND CONTRACTORS ARE REQUIRED TO SUBMIT A STORM WATER NOTICE OF INTENT (DEP FORM 62-621.30(4)(b)) 48 HOURS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, NPDES STORMWATER PROGRAM, 2500 BLAIR STONE ROAD, MAIL STATION 2510, TALLAHASSEE, FL 32399-2400. ADDITIONAL DETAILS ARE AVAILABLE AT WWW.DEP.STATE.FL.US/WATER/STORMWATER/NPDES

CALL 48 HOURS BEFORE YOU DIG IN FLORIDA

IT'S THE LAW!
811
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

VERTICAL DATUM CONVERSION

GRADING SHOWN UTILIZES N.A.S.D. 88

N.G.V.D.	88	29 - 1.5	86.5
N.A.V.D.	29	- 1.5	88
N.G.V.D.	29	N.A.V.	86.5

FLYNN ENGINEERING

241 COMMERCIAL BLVD., LAUDERDALE-BY-SEA, FL 33308
 PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
 EBY 6578

Sheet Title
CONCEPTUAL WATER & SEWER PLAN

Job Title
HIDDEN HARBOR
 POMPANO BEACH, FLORIDA 33062



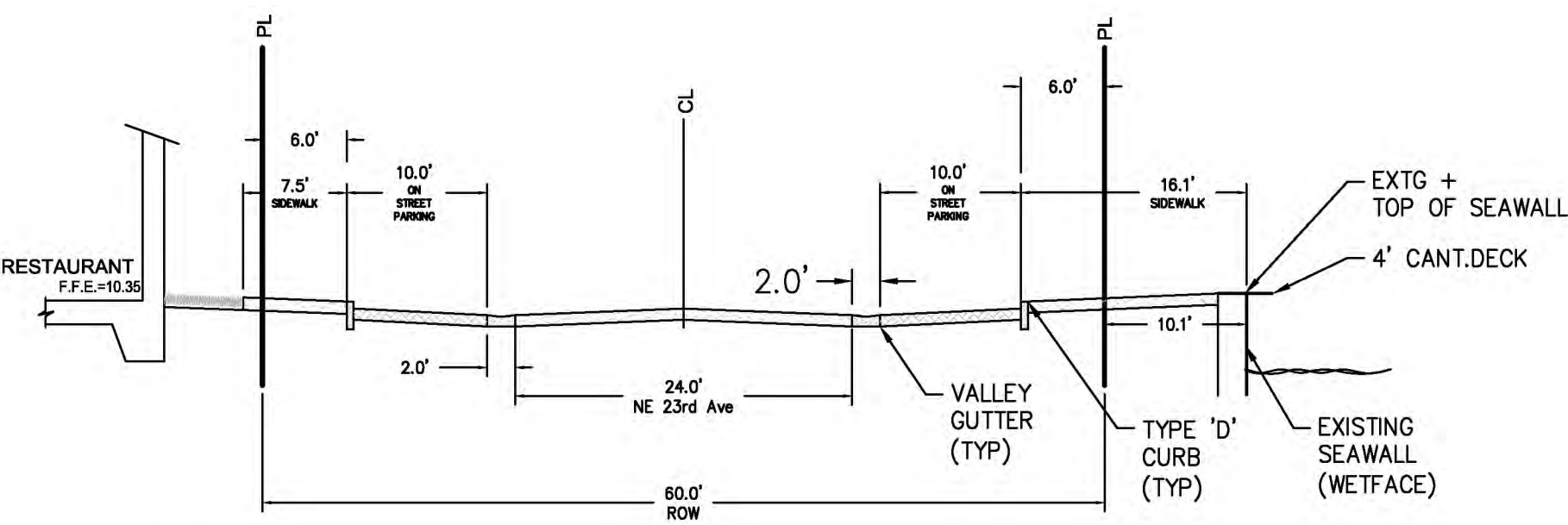
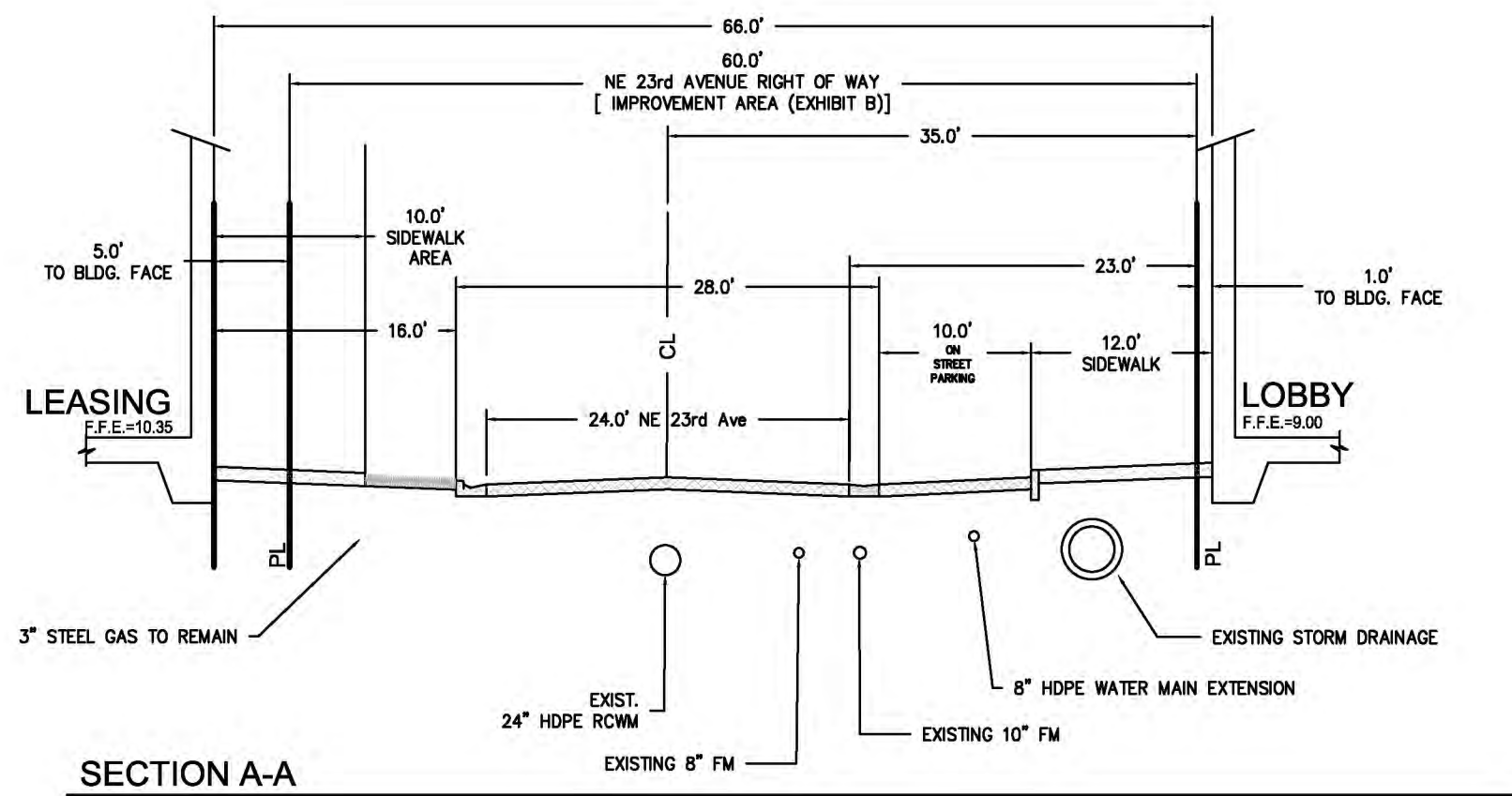
Revisions

Phase:
 DRC
 DOCUMENTS

SEAL

Scale:	Date
1"=40'	09/28/21
Drawn by:	Checked by:
09/28/21	09/28/21
Project No.:	Sheet No.:
0606	09/28/21
Client:	Scale:
SHC	1/2" = 1'
Project Manager:	Sheet Title:
09/28/21	CONCEPTUAL WATER & SEWER PLAN
09/28/21	811
09/28/21	2 of 3

PZ21-1300006
 1/26/2021



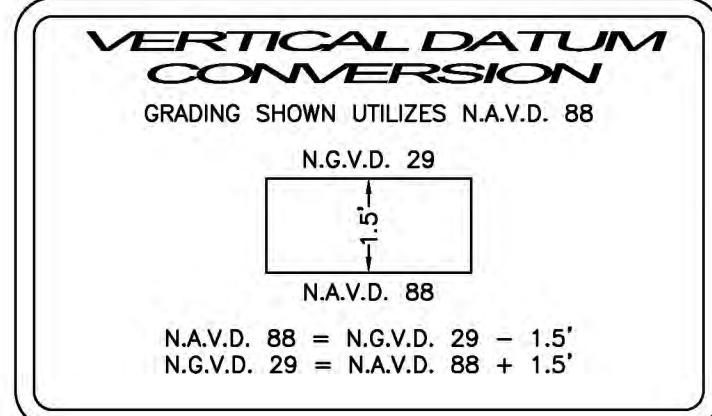
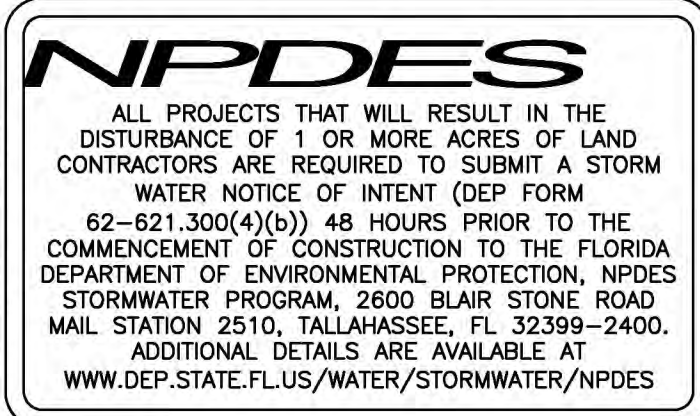
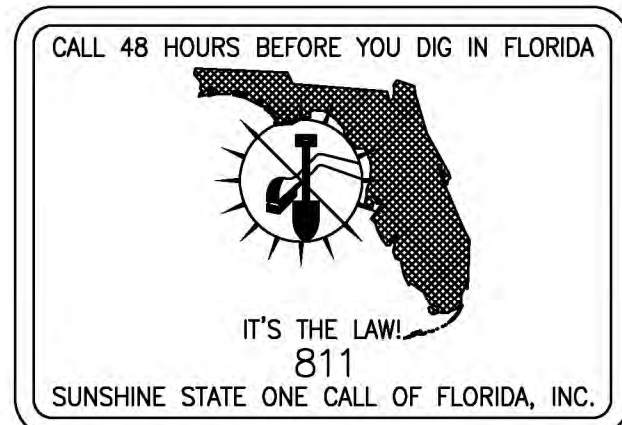
GRADING AND DRAINAGE NOTES:

1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/ FINISHED GRADE.
3. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
6. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG DRIVE WAY, PROPERTY LINE, OR ROADWAY.
7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
8. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.

STRUCTURE CATEGORY II, MINIMUM FFE = BFE+1
 FLOOD ZONE "X" ELEV N/A NAVD ON FIRM MAP #12011C0188H, DATE AUGUST 18, 2014
 BROWARD COUNTY 100 YEAR 3 DAY CONTOUR = ELEV. 5.50 NAVD
 AVERAGE WET SEASON WATER LEVEL = ELEV. 1.50 NAVD

LEGEND:

- PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- ▭ PROPOSED CATCH BASIN
- ┌ PROPOSED PLUG
- ├ TEE
- ⊠ WATER METER
- ⊠ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊠ REDUCED PRESSURE BACKFLOW PREVENTOR
- ⊠ DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- w - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊠ VALVE
- ⊠ FIRE HYDRANT
- ⊠ SIAMASE CONNECTION
- ⊠ CLEANOUT
- ▭ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- - - EXIST. WATER MAIN
- - - EXIST. UTILITY LINE TO BE REMOVED



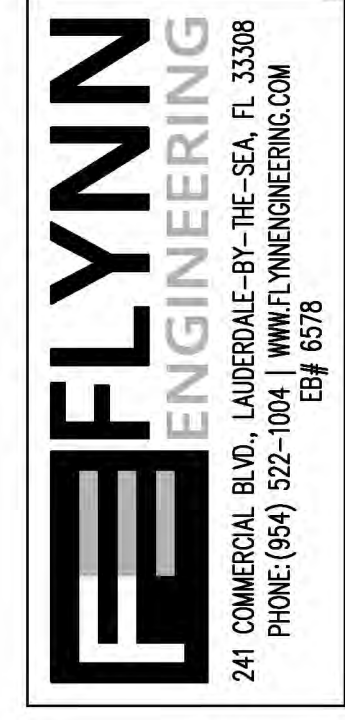
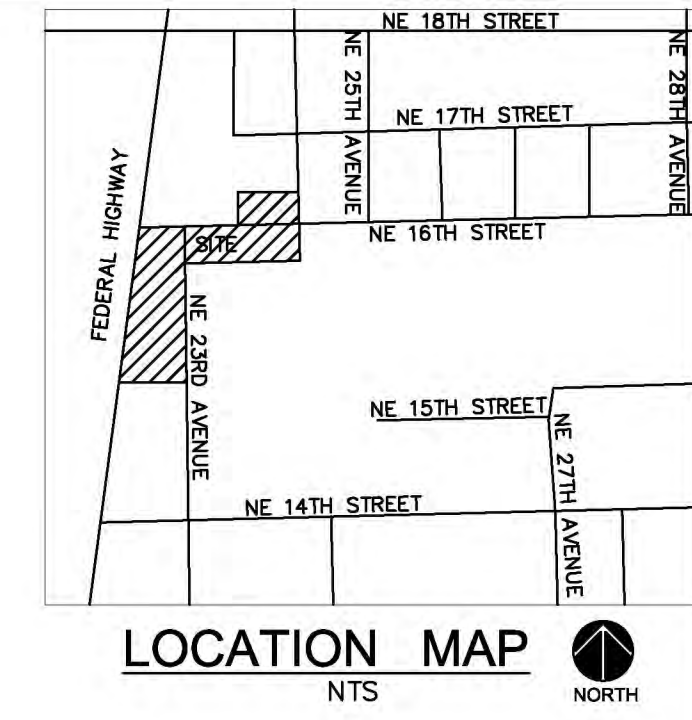
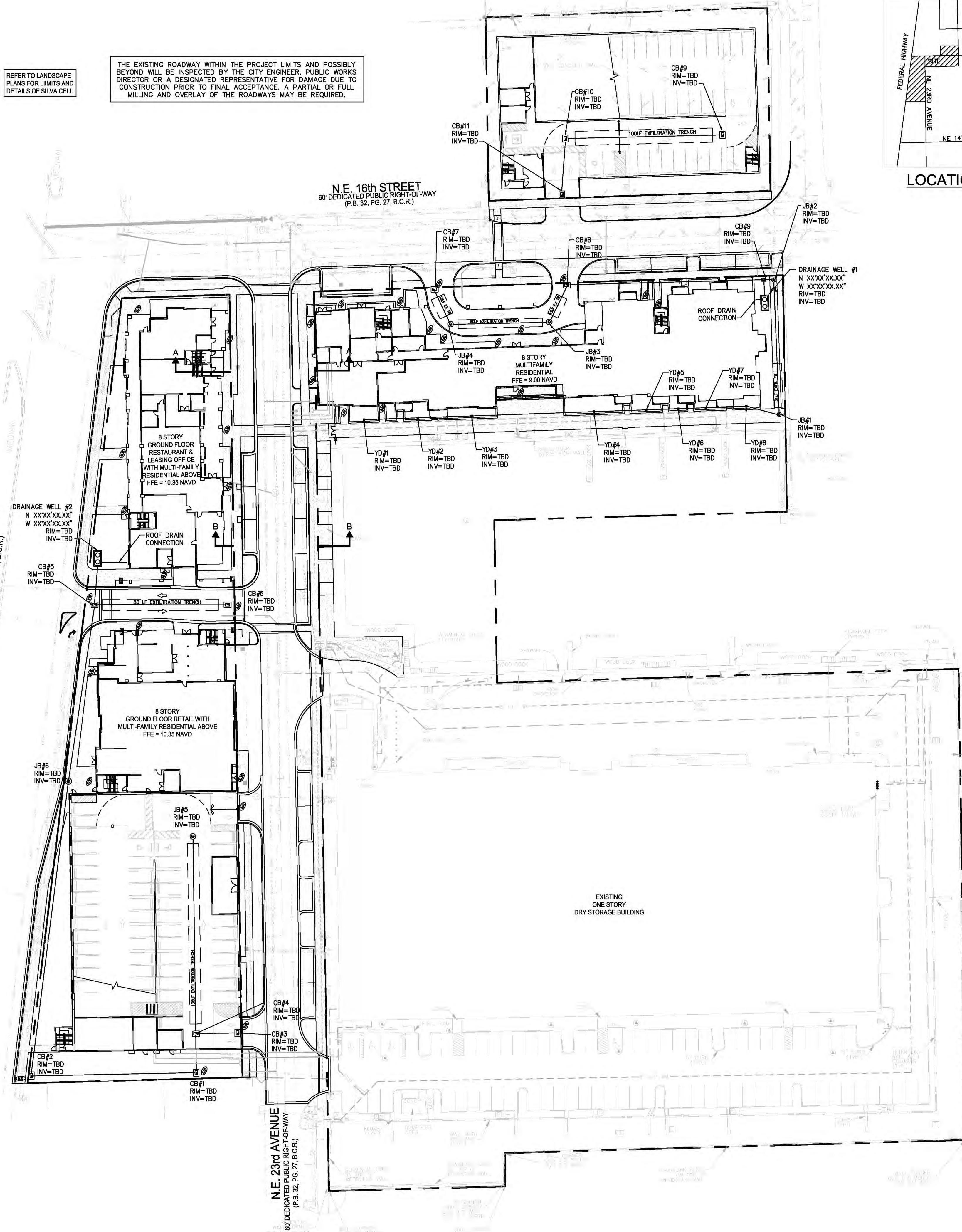
REFER TO LANDSCAPE PLANS FOR LIMITS AND DETAILS OF SILVA CELL

THE EXISTING ROADWAY WITHIN THE PROJECT LIMITS AND POSSIBLY BEYOND WILL BE INSPECTED BY THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR A DESIGNATED REPRESENTATIVE FOR DAMAGE DUE TO CONSTRUCTION PRIOR TO FINAL ACCEPTANCE. A PARTIAL OR FULL MILLING AND OVERLAY OF THE ROADWAYS MAY BE REQUIRED.

FEDERAL HIGHWAY
 (U.S. HIGHWAY 1 - STATE ROAD NO. 5)
 120' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)

N.E. 16th STREET
 60' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)

N.E. 23rd AVENUE
 60' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)



CONCEPTUAL
 PAVING, GRADING
 & DRAINAGE PLAN

HIDDEN HARBOUR
 POMPANO BEACH, FLORIDA 33062



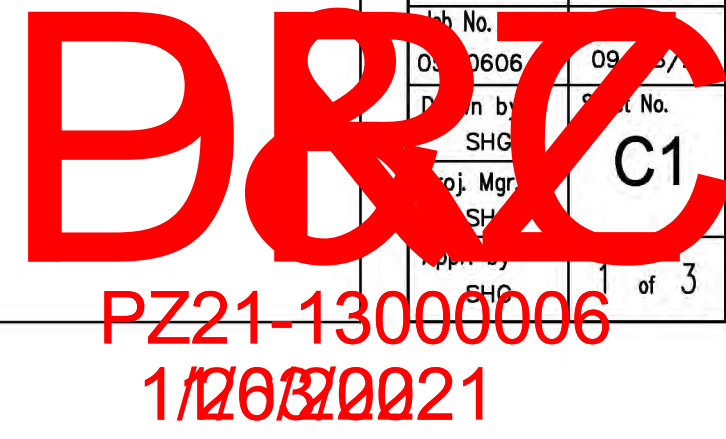
Revisions

Phase:
 DRC
 DOCUMENTS

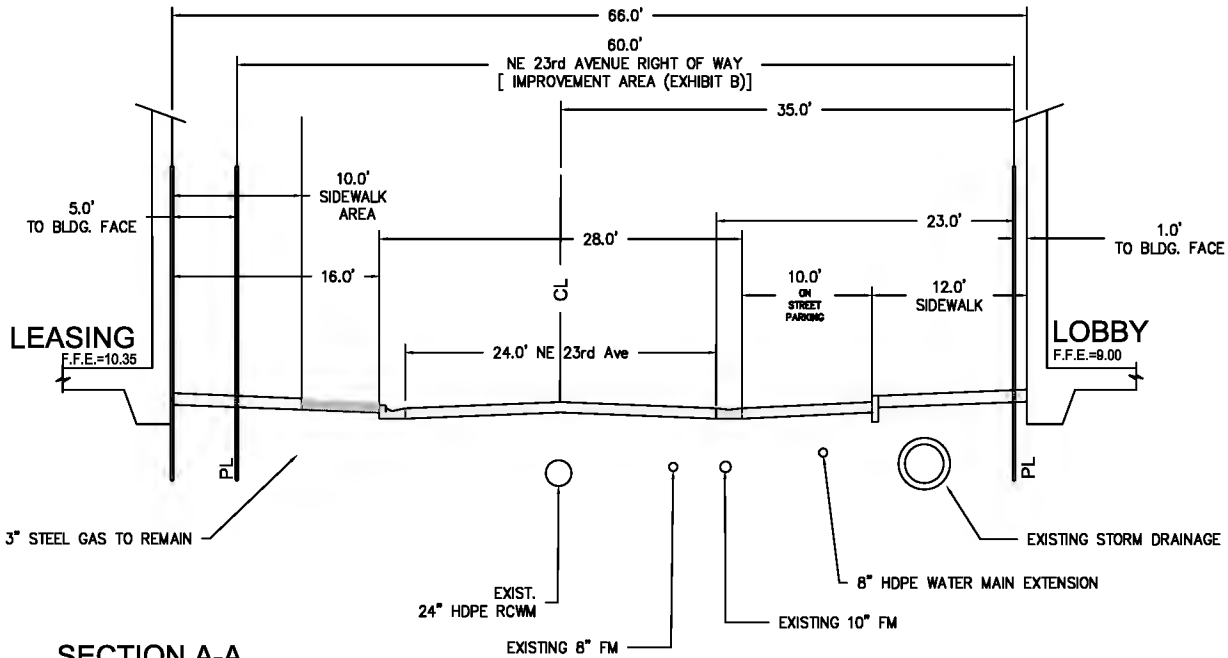
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 Revision No. 01
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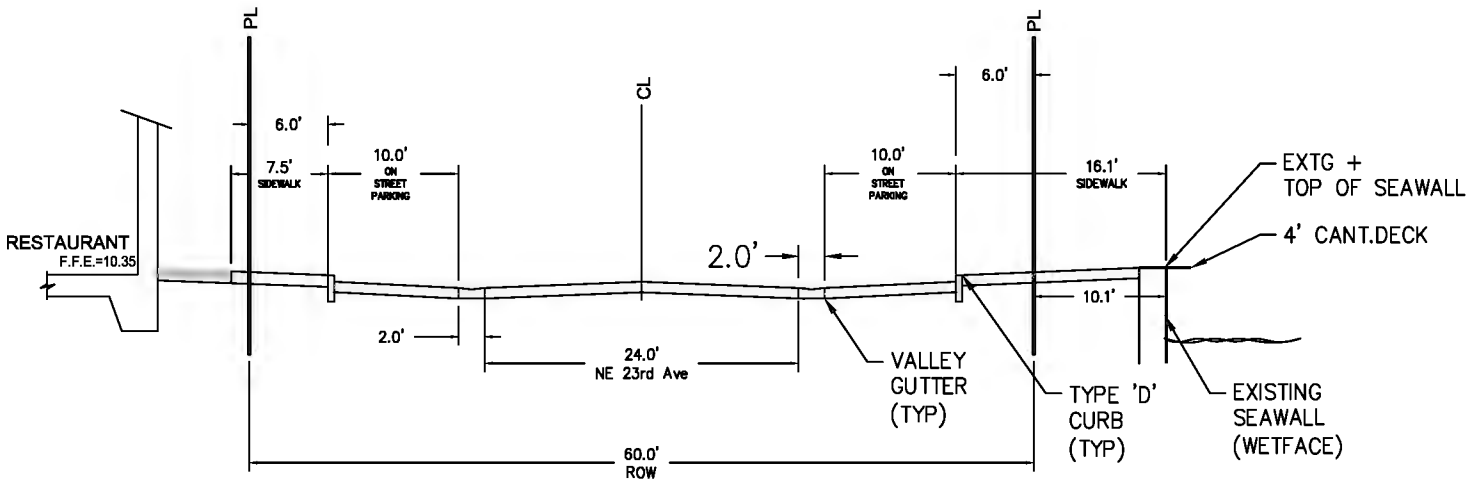


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SECTION A-A

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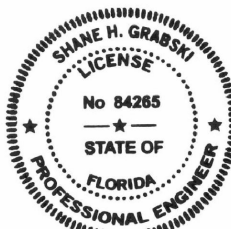


SECTION B-B

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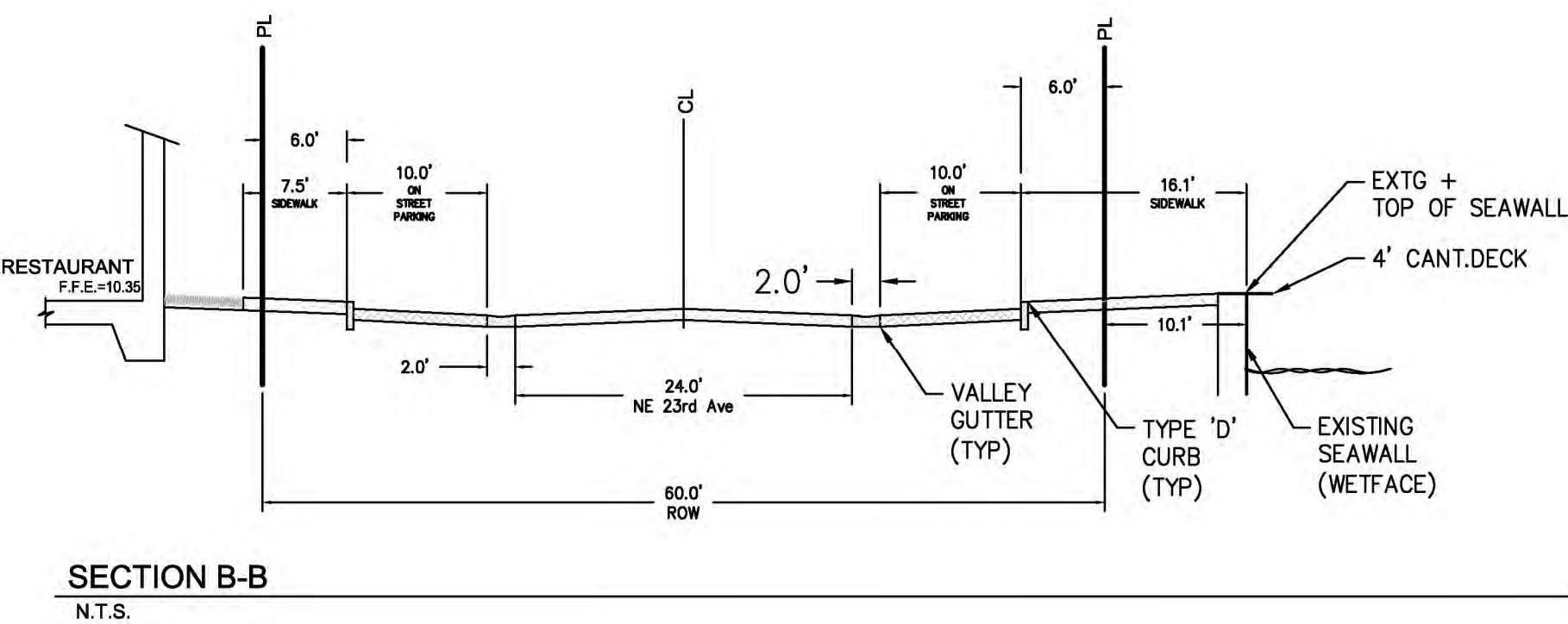
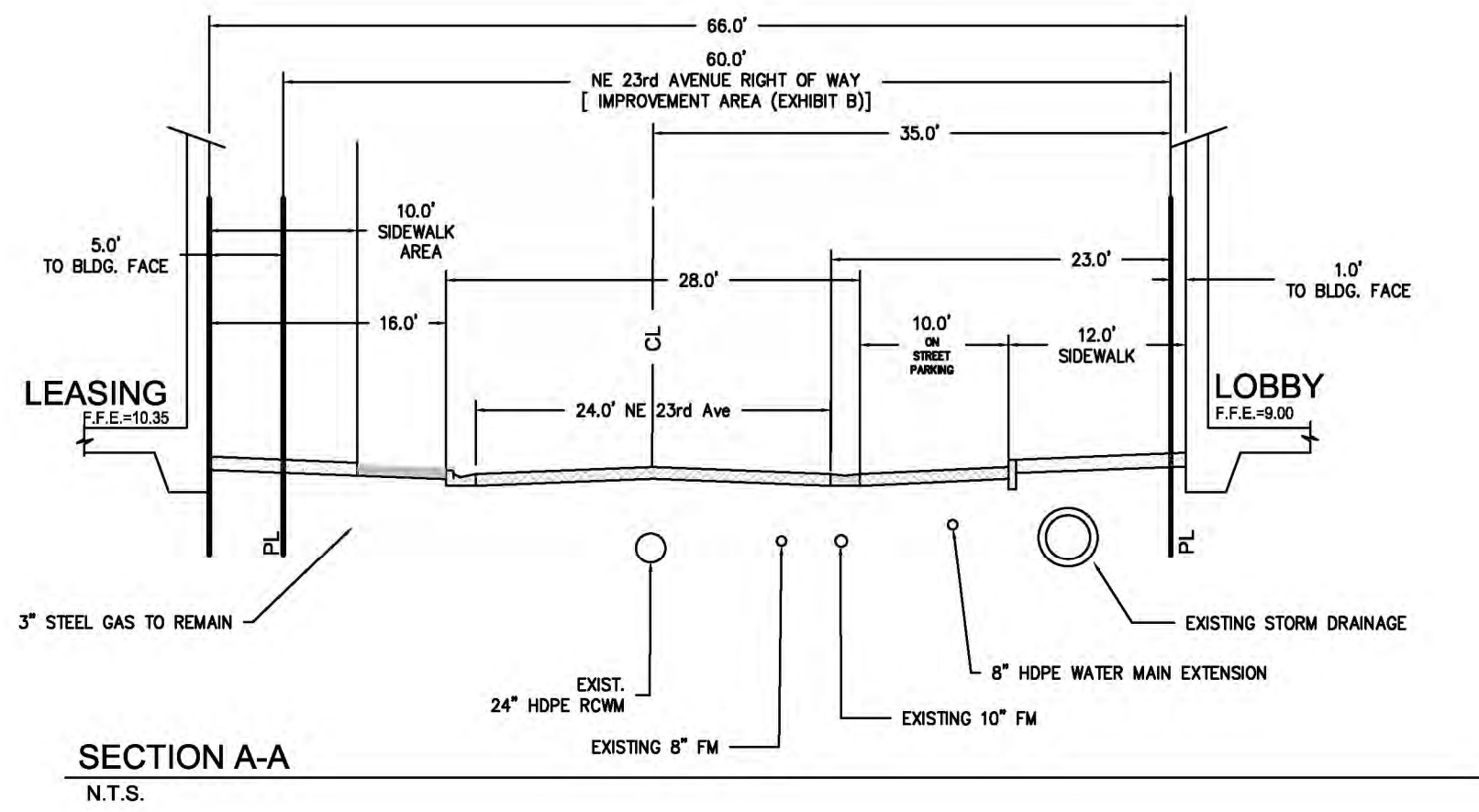
Shane H. Grabski

PROTECTED



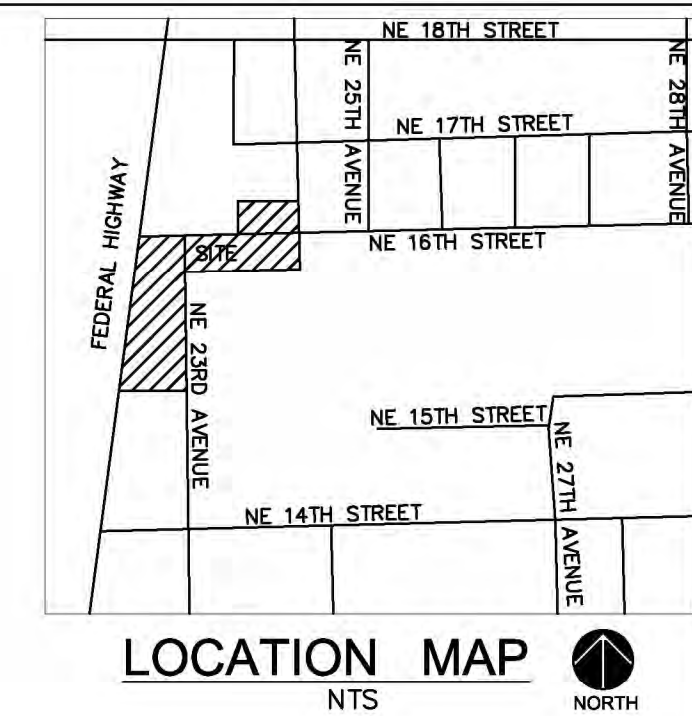
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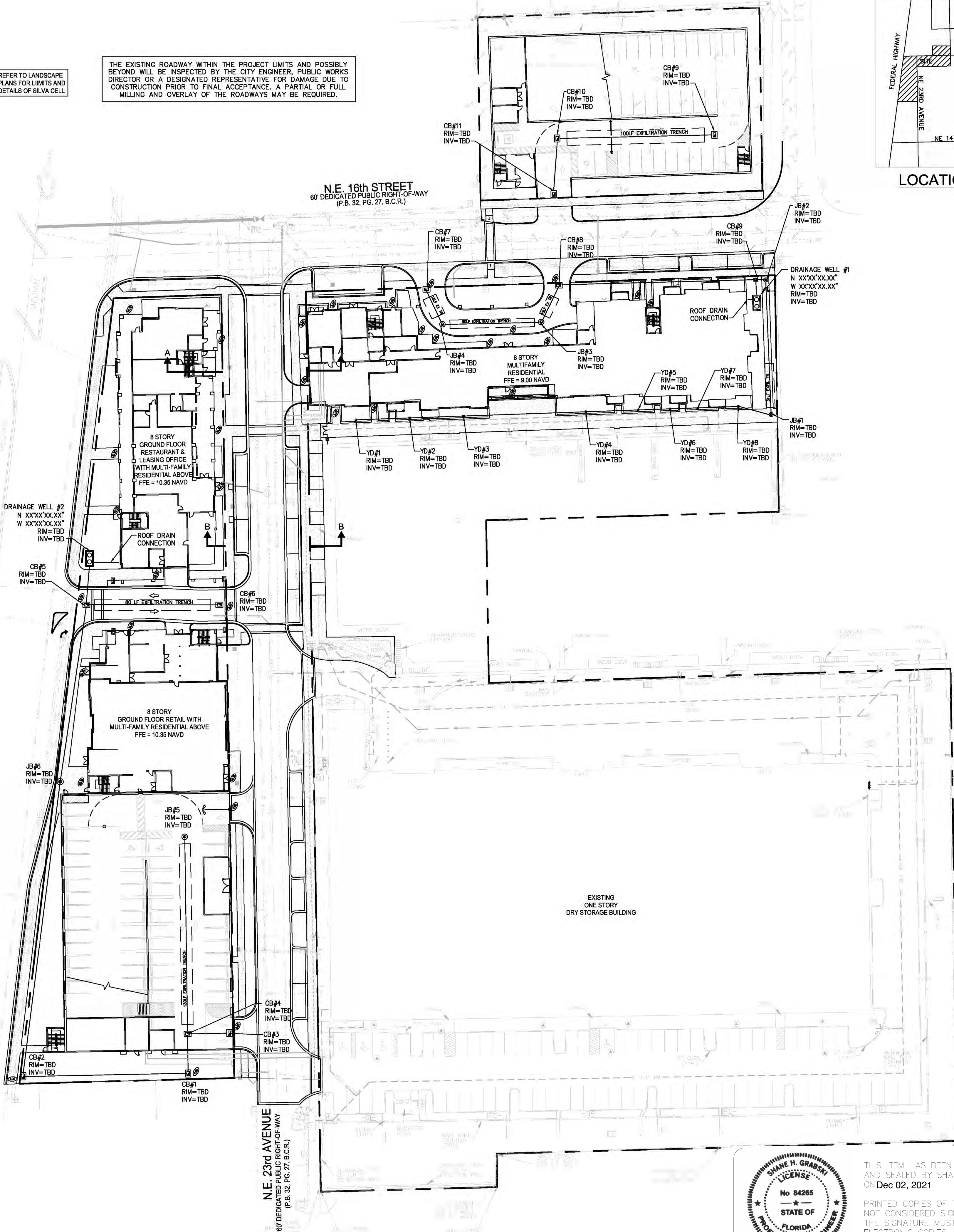


REFER TO LANDSCAPE PLANS FOR LIMITS AND DETAILS OF SILVA CELL

THE EXISTING ROADWAY WITHIN THE PROJECT LIMITS AND POSSIBLY BEYOND WILL BE INSPECTED BY THE CITY ENGINEER, PUBLIC WORKS DIRECTOR OR A DESIGNATED REPRESENTATIVE FOR DAMAGE DUE TO CONSTRUCTION PRIOR TO FINAL ACCEPTANCE. A PARTIAL OR FULL MILLING AND OVERLAY OF THE ROADWAYS MAY BE REQUIRED.



FEDERAL HIGHWAY
(U.S. HIGHWAY 1 - STATE ROAD NO. 5)
120' DEDICATED PUBLIC RIGHT-OF-WAY
(P.B. 32, PG. 27, B.C.R.)



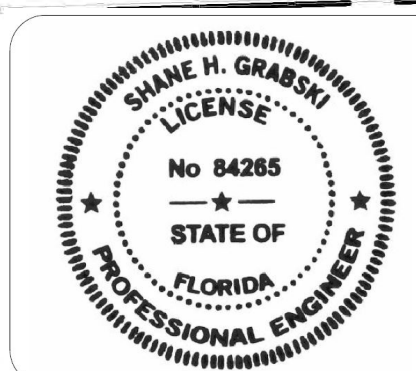
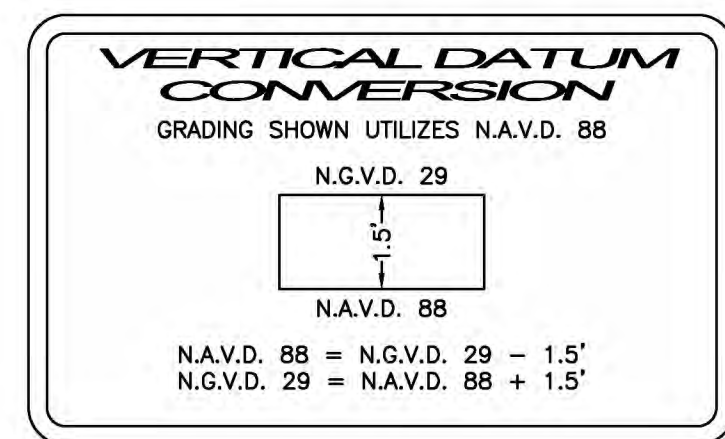
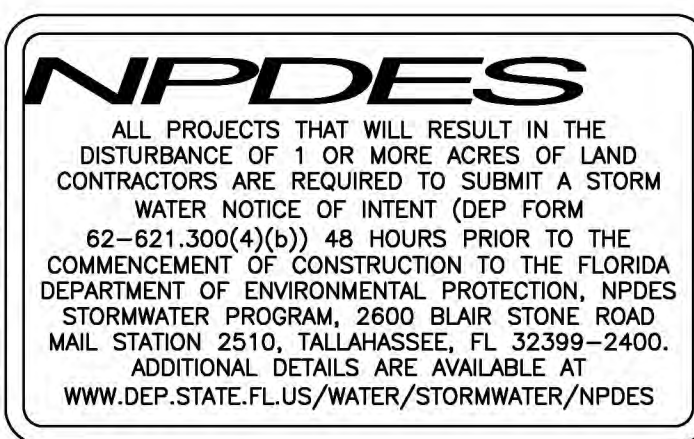
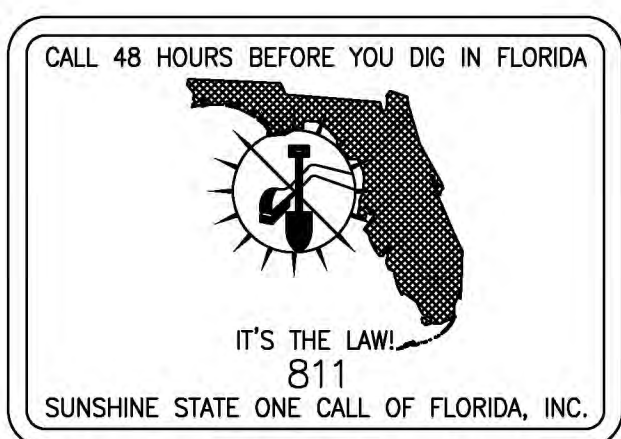
GRADING AND DRAINAGE NOTES:

1. ALL STORM DRAINAGE LINE FROM THE BLDG SHALL BE LAID @ 1.0% MINIMUM SLOPE UNLESS NOTED OTHERWISE ON PLANS.
2. CLEANOUTS ON STORM DRAINAGE LINES ARE TO BE ADJUSTED TO BE FLUSH W/ FINISHED GRADE.
3. CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEES, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
4. LANDSCAPED AREAS SHALL BE GRADED TO DRAIN TO THE CATCH BASIN INLETS. FIELD ADJUST GRADING AS REQUIRED.
5. SITE UTILITY CONTRACTOR SHALL COORDINATE WITH THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN THE BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES (VERTICALLY AND HORIZONTALLY).
6. RECTANGULAR CATCH BASIN AND YARD DRAIN GRATES SHALL BE INSTALLED SUCH THAT THE LONG AXIS OF GRATE PARALLELS THE CLOSEST ADJACENT WALK, BLDG. DRIVE WAY, PROPERTY LINE, OR ROADWAY.
7. COORDINATE LOCATION IN FIELD OF ALL CATCH BASINS & YARD DRAINS WITH LANDSCAPE CONTRACTOR TO AVOID CONFLICTS.
8. CENTERLINE OF YARD DRAINS @ BASE OF DOWN SPOUTS MUST ALIGN WITH CENTERLINE OF DOWN SPOUT PRIOR TO FINAL ACCEPTANCE BY OWNER. REFERENCE ARCH. PLANS FOR EXACT LOCATION OF DOWN SPOUTS.

STRUCTURE CATEGORY II, MINIMUM FFE = BFE+1
FLOOD ZONE "X" ELEV N/A NAVD ON FIRM MAP #12011C0188H, DATE AUGUST 18, 2014
BROWARD COUNTY 100 YEAR 3 DAY CONTOUR = ELEV. 5.50 NAVD
AVERAGE WET SEASON WATER LEVEL = ELEV. 1.50 NAVD

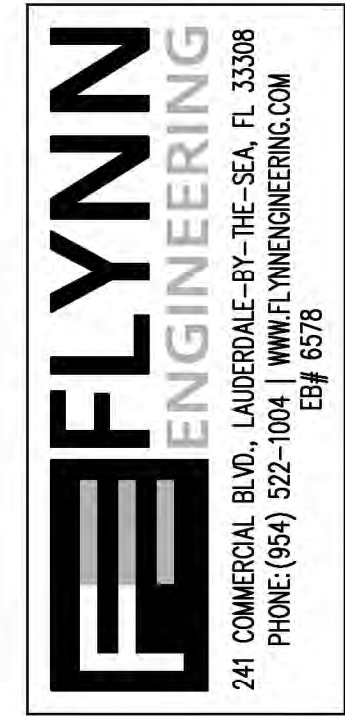
LEGEND:

- (x) PROPOSED ELEVATION (NAVD)
- (x) EXISTING ELEVATION (NAVD)
- ▭ PROPOSED CATCH BASIN
- ┌ PROPOSED PLUG
- ├ TEE
- ⊕ WATER METER
- ⊕ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊕ REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- W - WATER MAIN
- FM - SANITARY FORCE MAIN
- ⊕ VALVE
- ⊕ FIRE HYDRANT
- ⊕ SIAMOSE CONNECTION
- ⊕ CLEANOUT
- ▭ EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- - - EXIST. WATER MAIN
- - - EXIST. UTILITY LINE TO BE REMOVED



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CONCEPTUAL PAVING, GRADING & DRAINAGE PLAN

HIDDEN HARBOUR
POMPANO BEACH, FLORIDA 33062



Revisions	Date

Phase:
DRC
DOCUMENTS

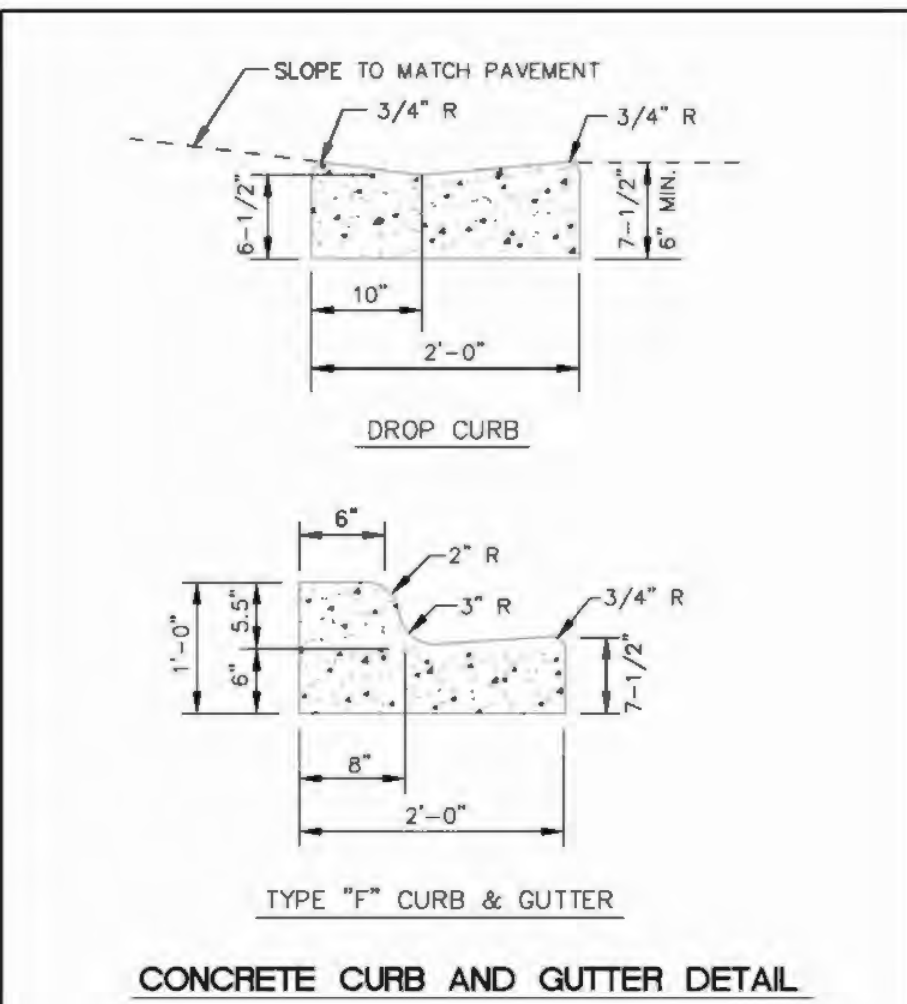
Shane H Grabski

Digitally signed by Shane H Grabski
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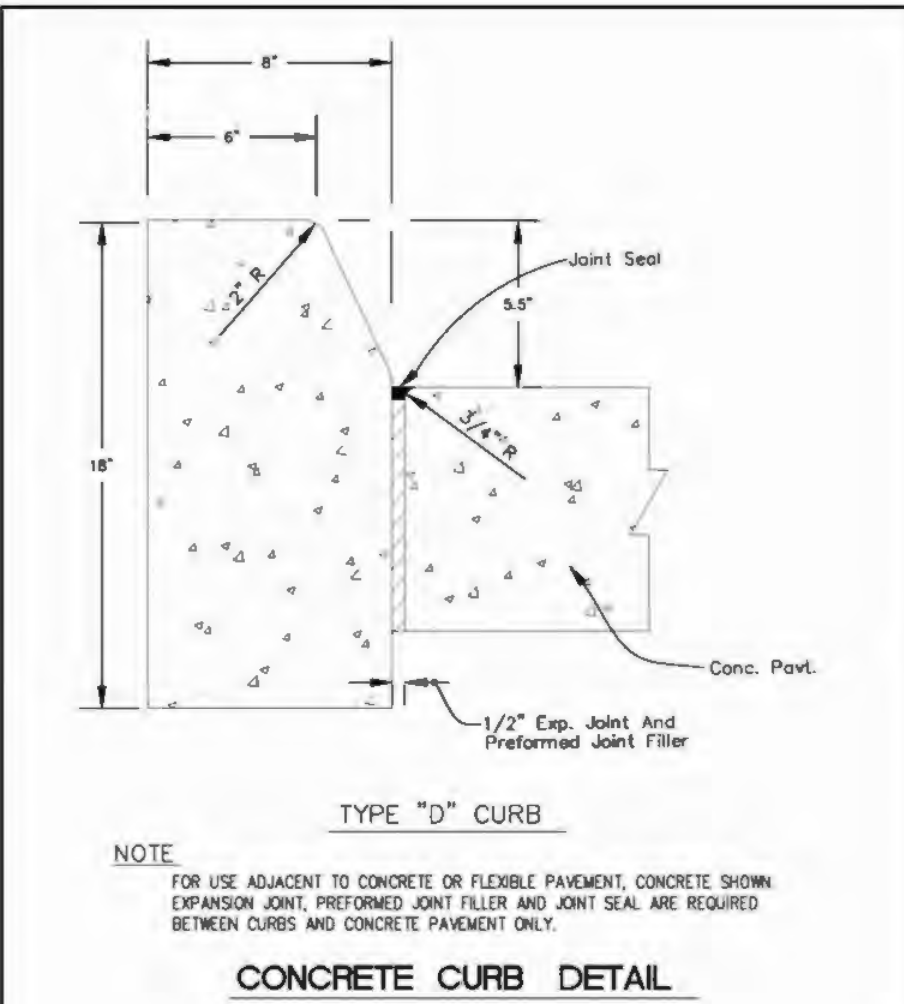
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Sheet No: 1 of 6

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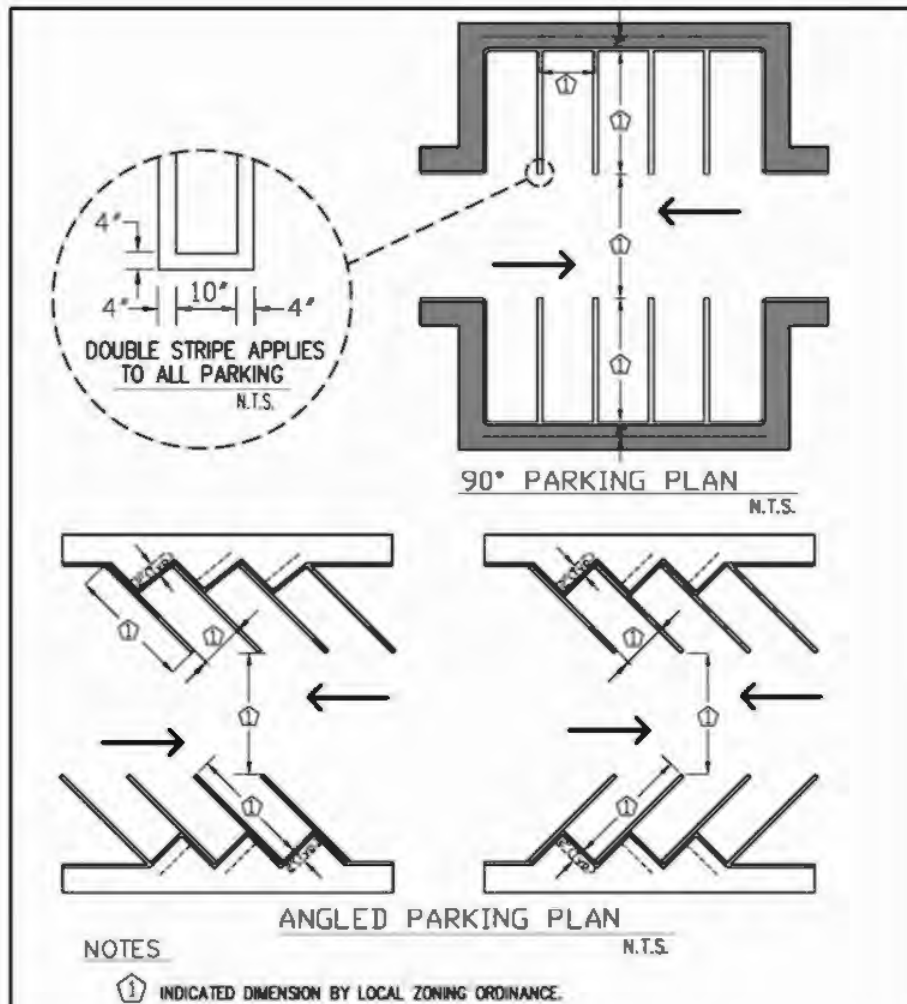
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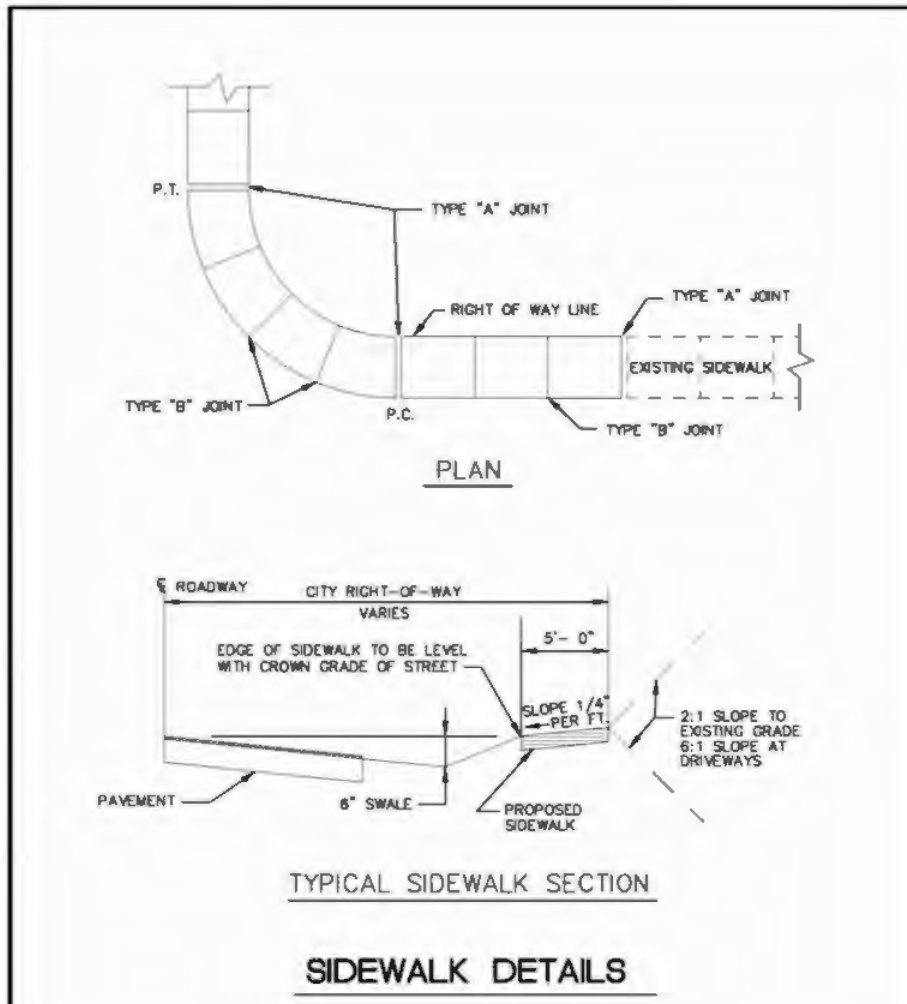
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SCALE: N.T.S.	DATE: JUNE 1998 DWG. NO. 300-1



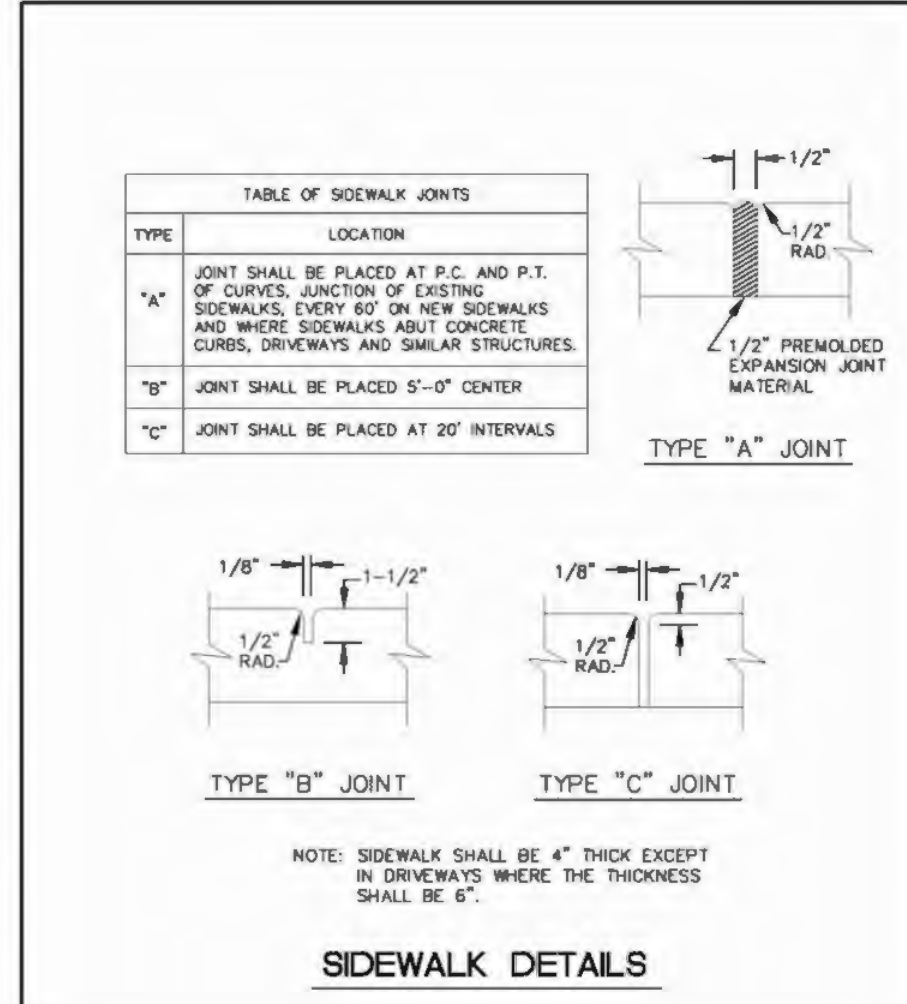
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BY DATE	ENGINEERING DIVISION
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S.S. 06-2015	
S.S. 07-2019	
SCALE: N.T.S.	DATE: January 2009 DWG. NO. 300-2



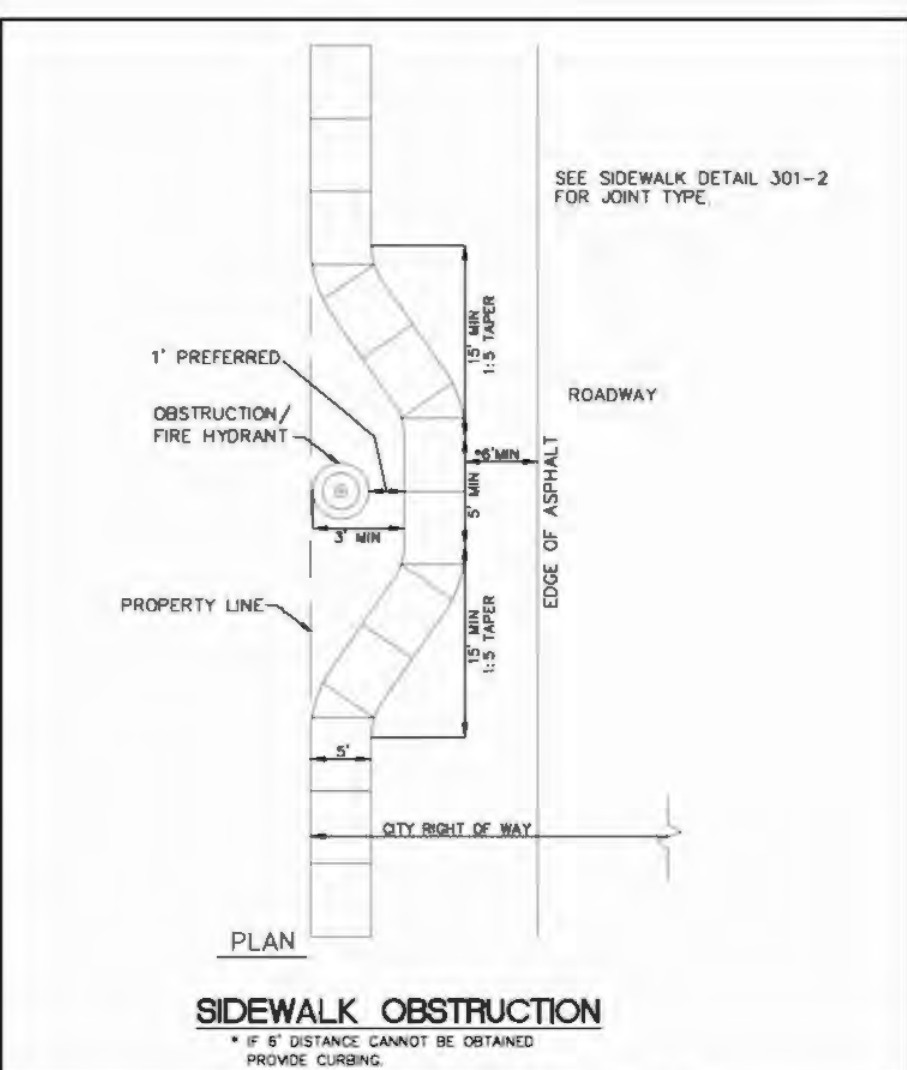
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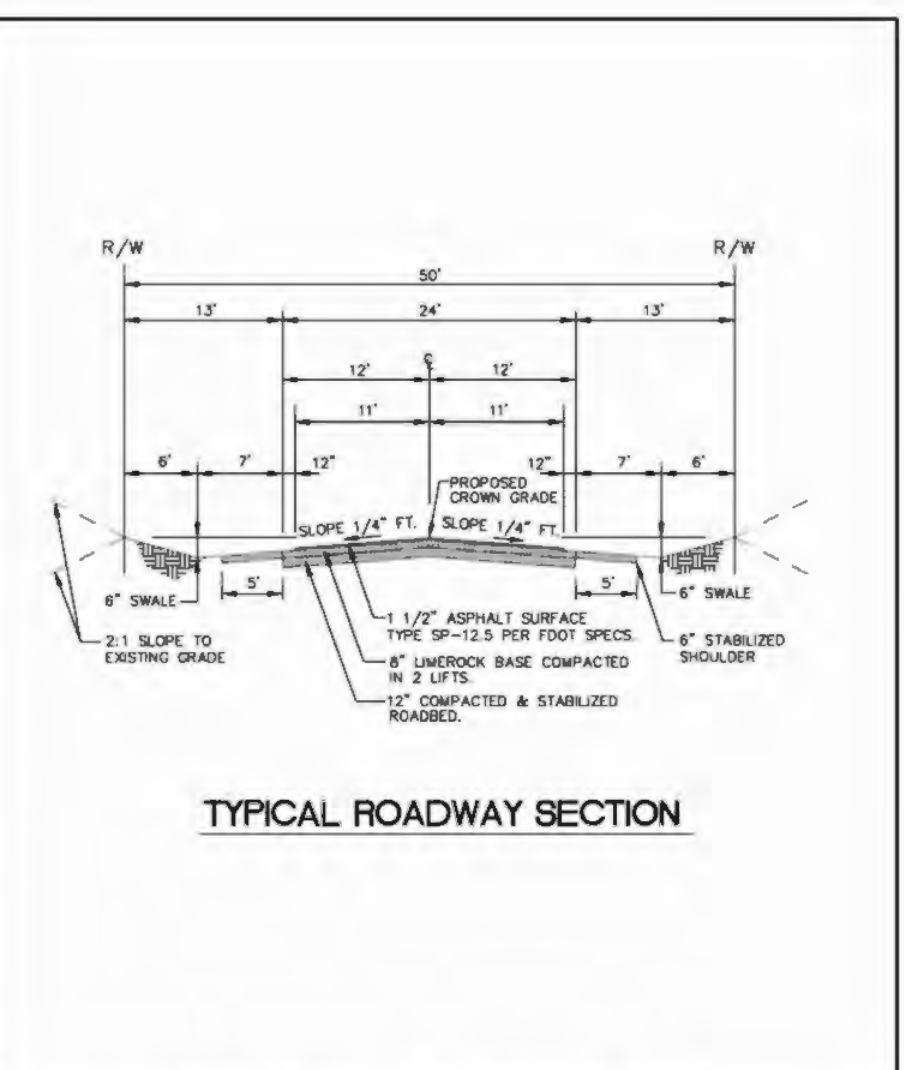
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SCALE: N.T.S.	DATE: JUNE 2005 DWG. NO. 301-1



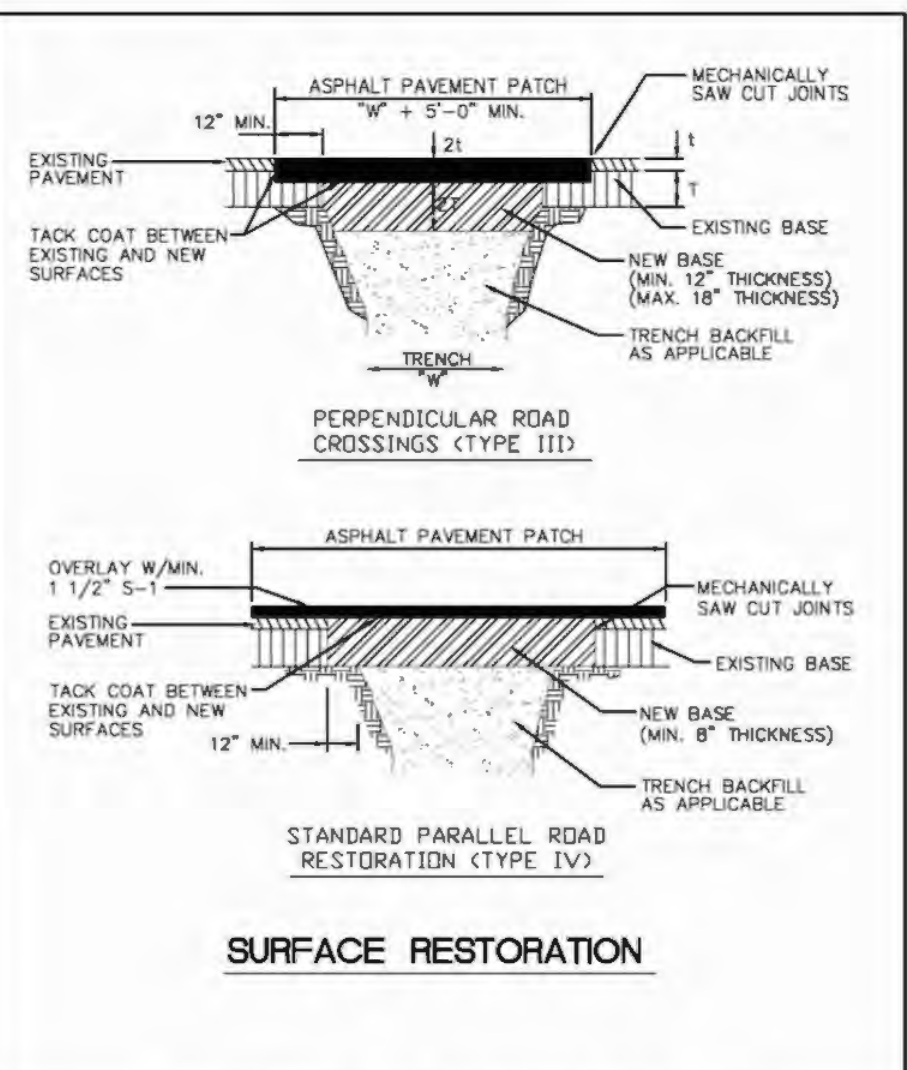
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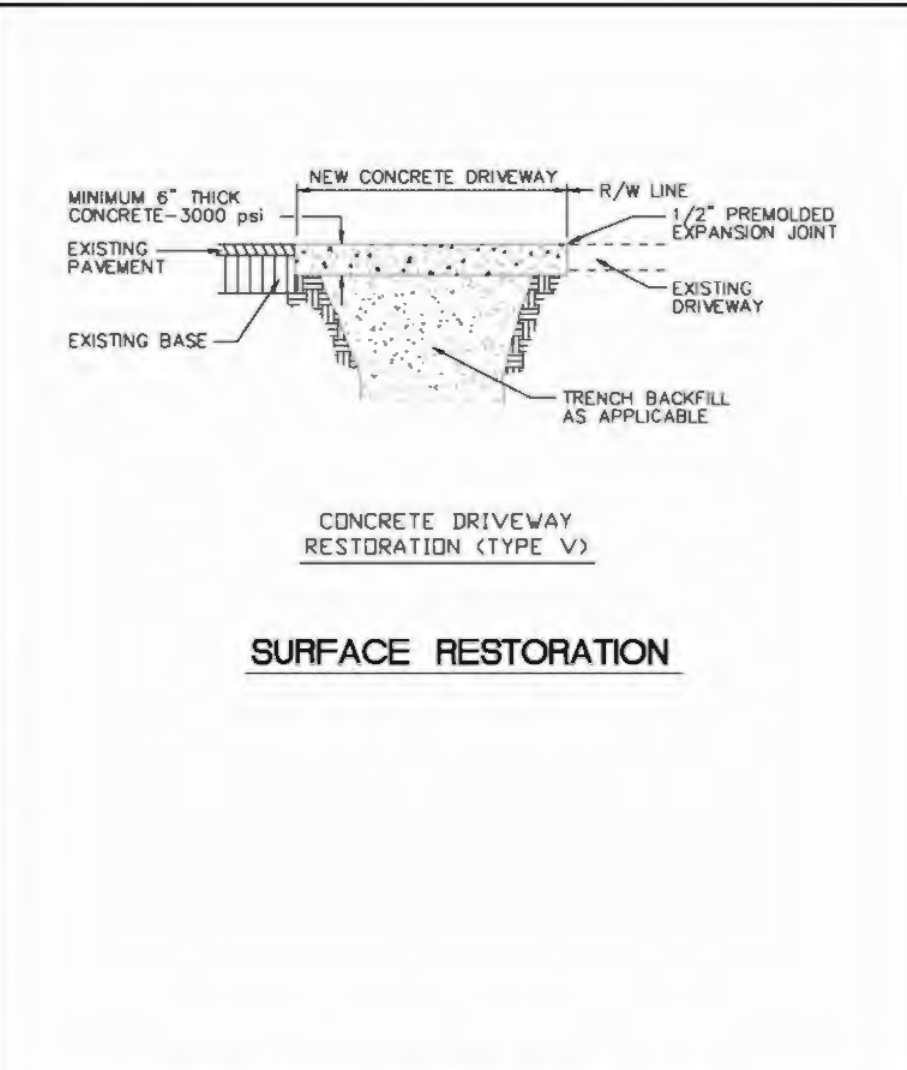
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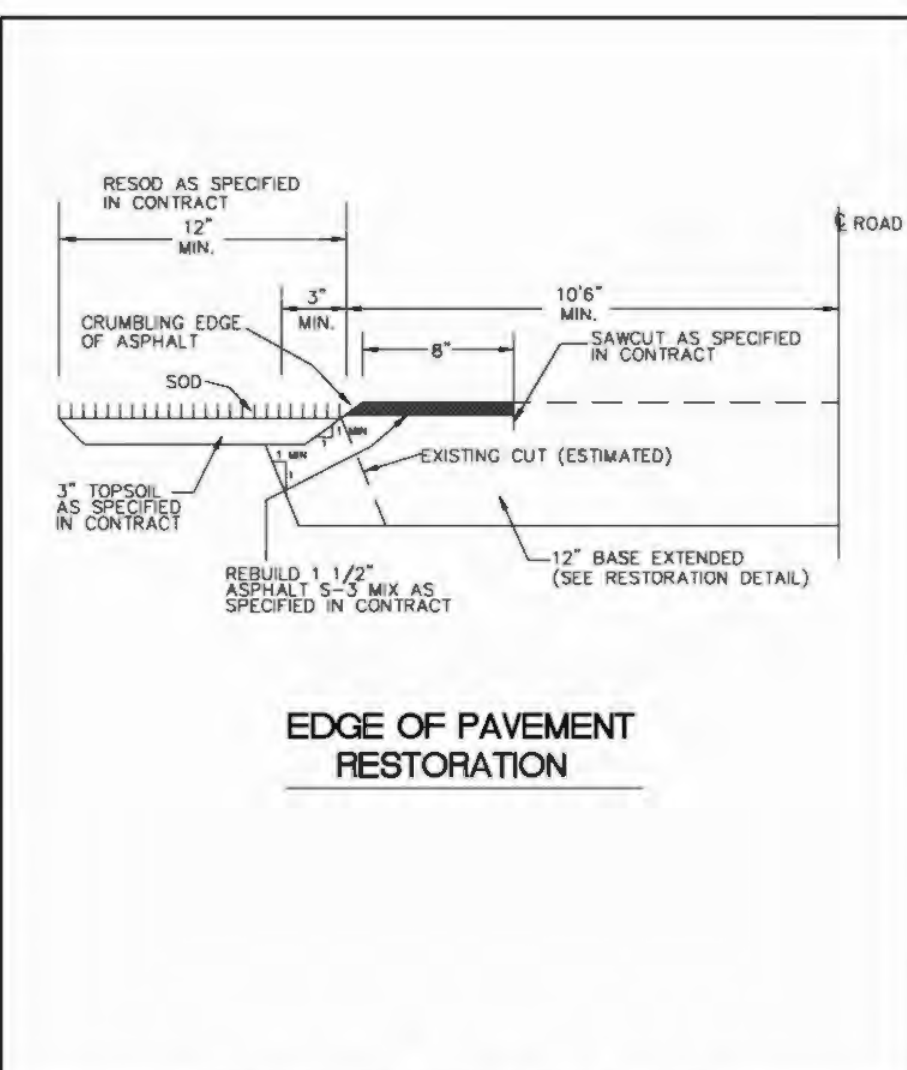
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BY DATE	ENGINEERING DIVISION
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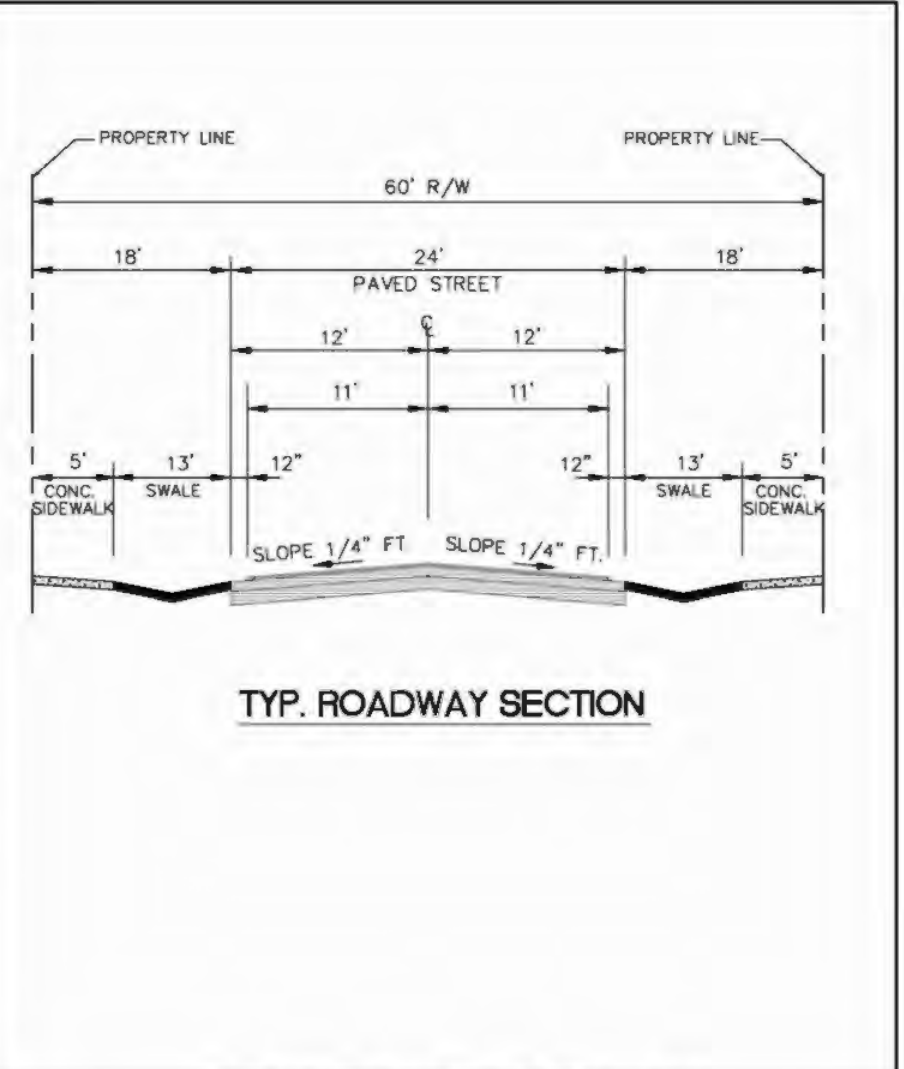
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SCALE: N.T.S.	DATE: FEB 1998 DWG. NO. 306-2



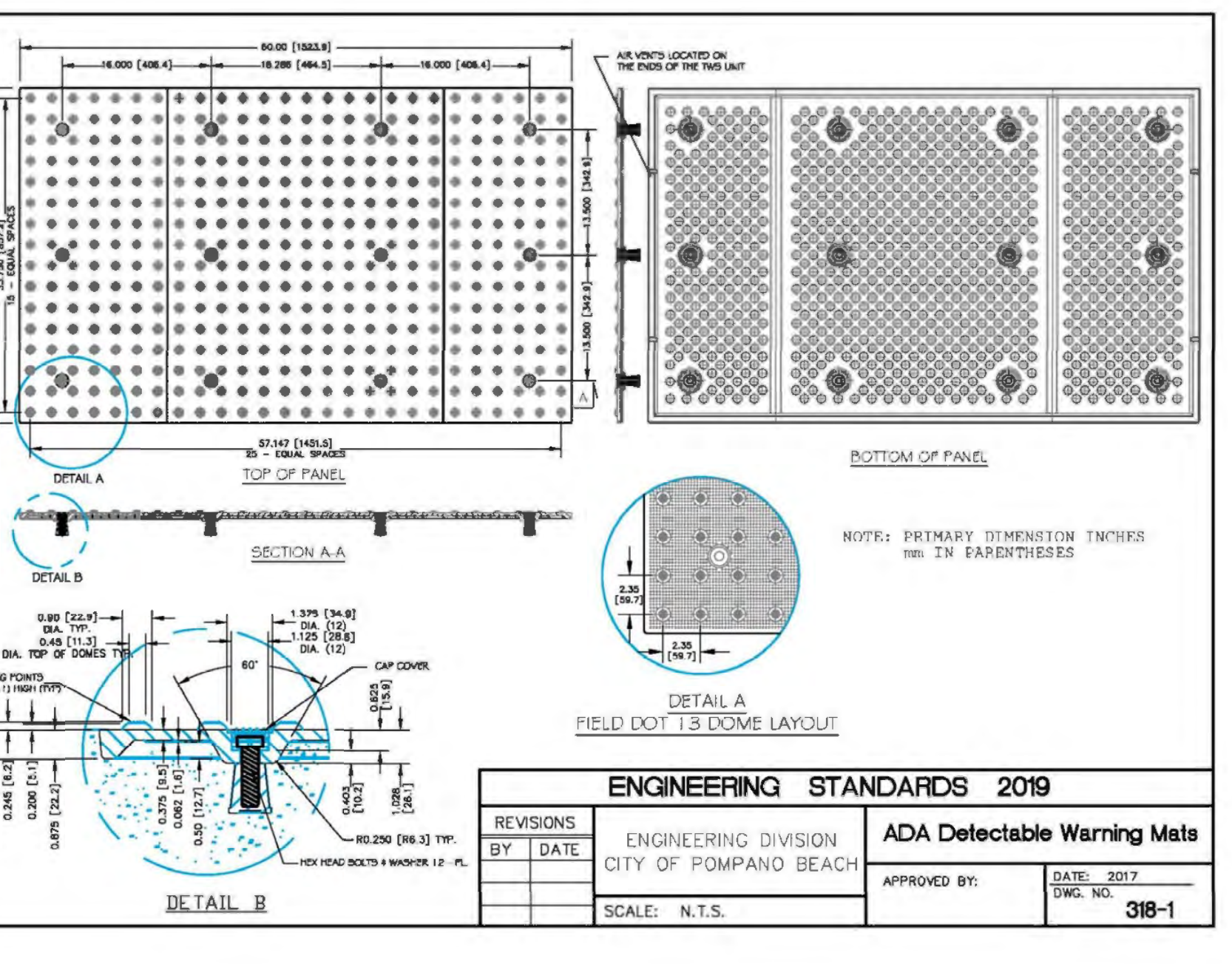
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SCALE: N.T.S.	DATE: FEB 1998 DWG. NO. 306-3



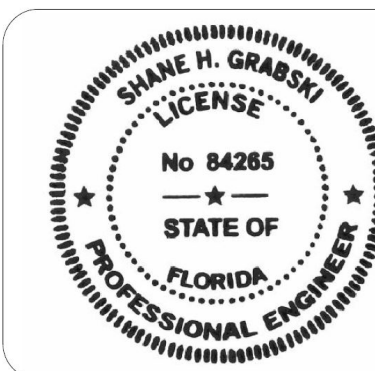
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S.S. 07-2014	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: FEB 1998 DWG. NO. 306-4



REVISIONS	
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SCALE: N.T.S.	DATE: JUNE 2014 DWG. NO. 314-1

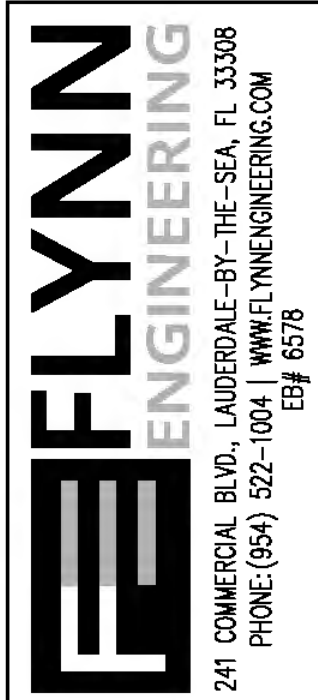


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BY DATE	ENGINEERING DIVISION
S.S. 07-2014	CITY OF POMPANO BEACH
SCALE: N.T.S.	DATE: 2017 DWG. NO. 318-1



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STANDARD PAVING, GRADING, & DRAINAGE DETAILS

HIDDEN HARBOUR
POMPANO BEACH, FLORIDA 33062

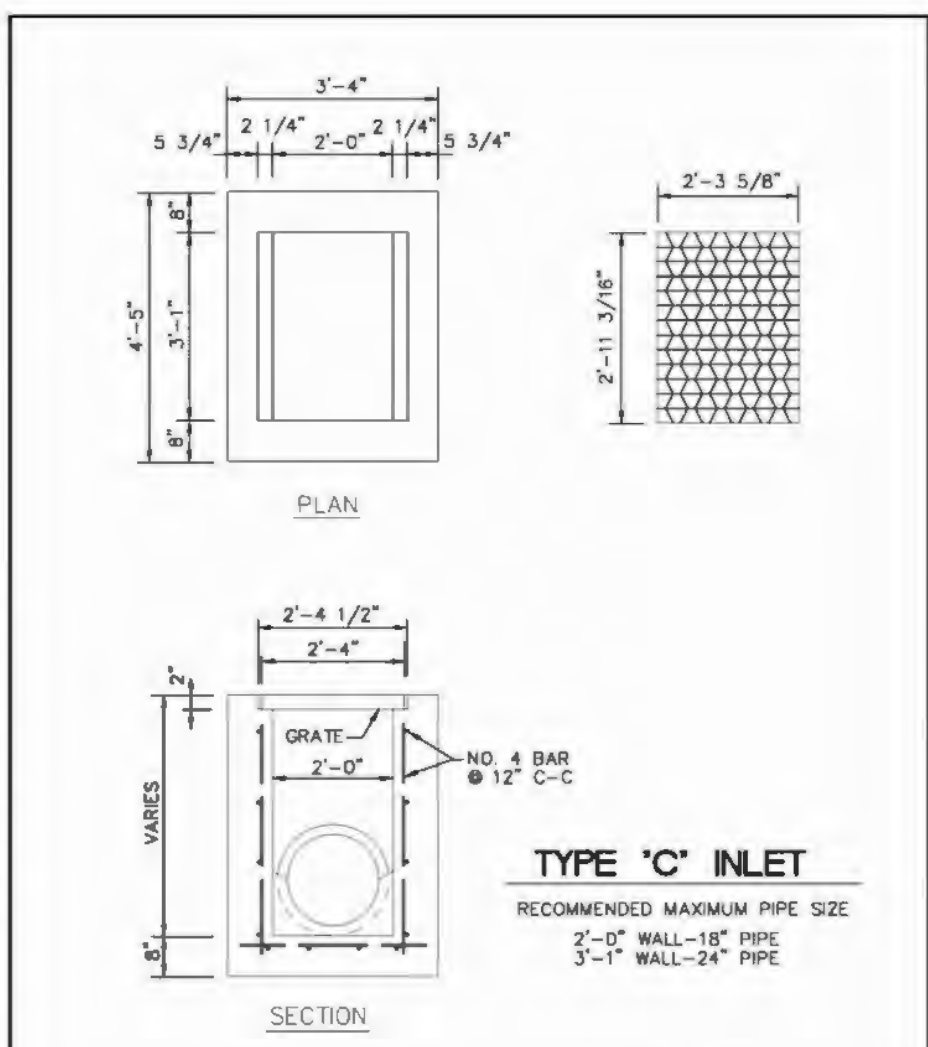


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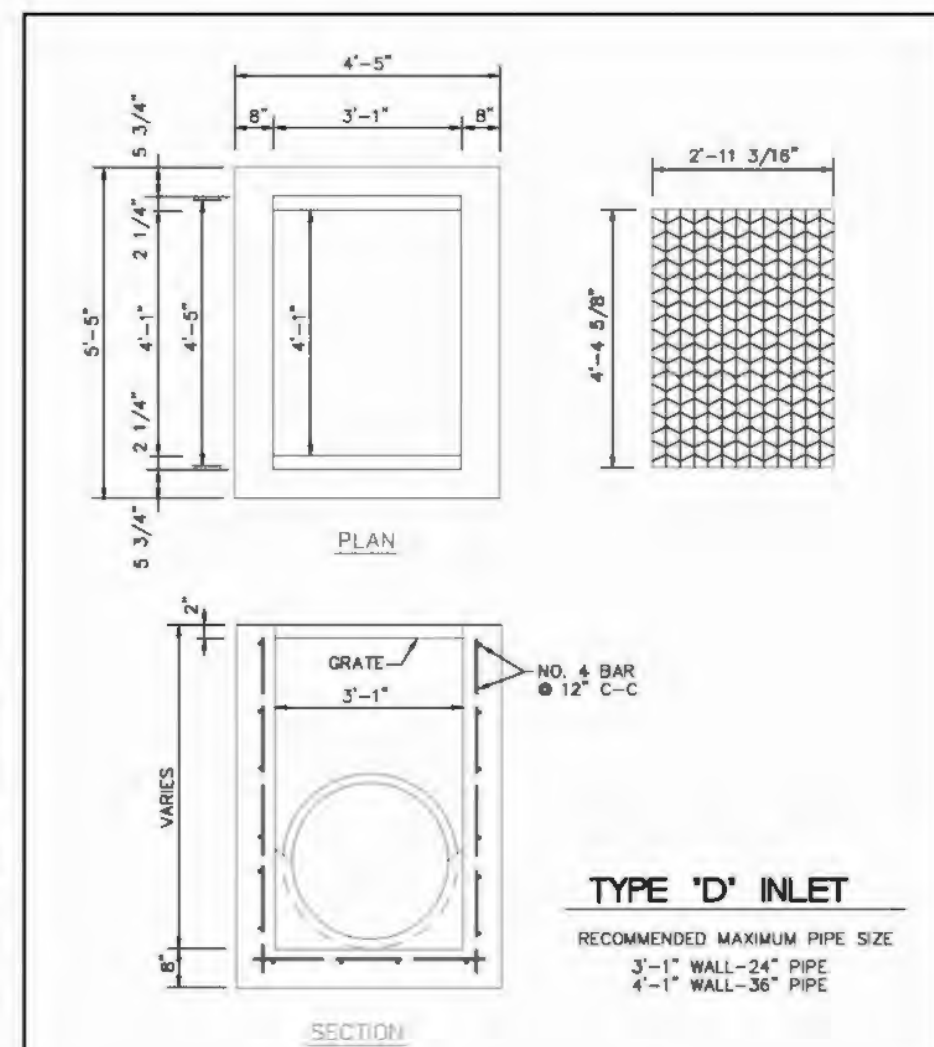
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Shane H Grabski
Digitally signed by Shane H Grabski
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e=SHANE@FLYNN-ENG.COM, ou=Shane H Grabski
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Project No. C1.1
Date: 11/05/19
12/21

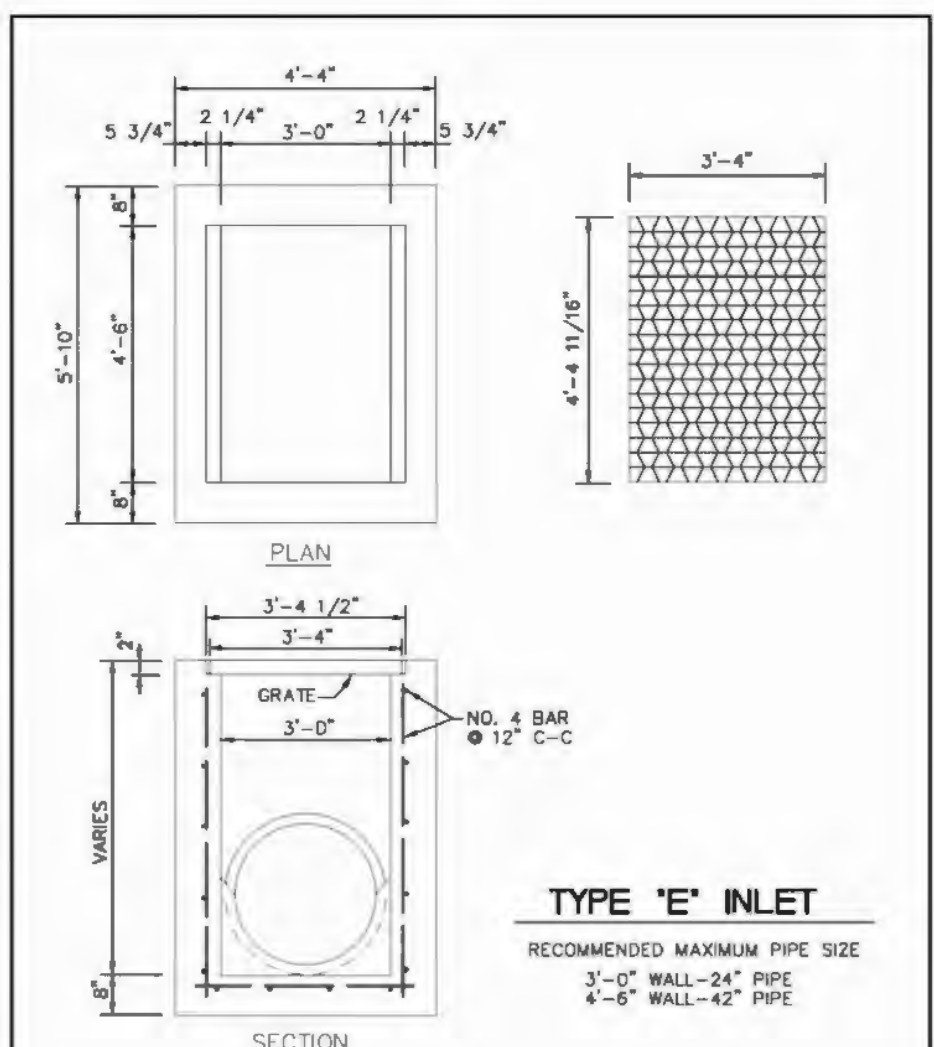
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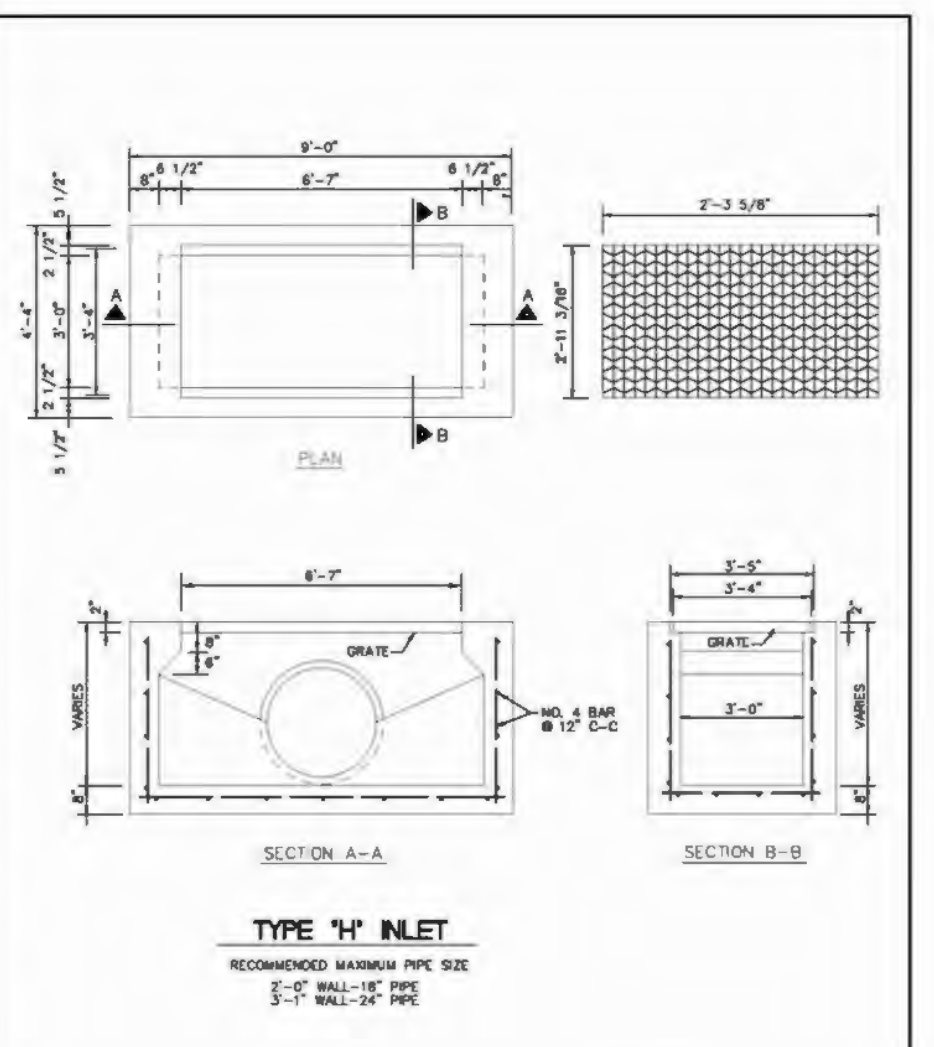
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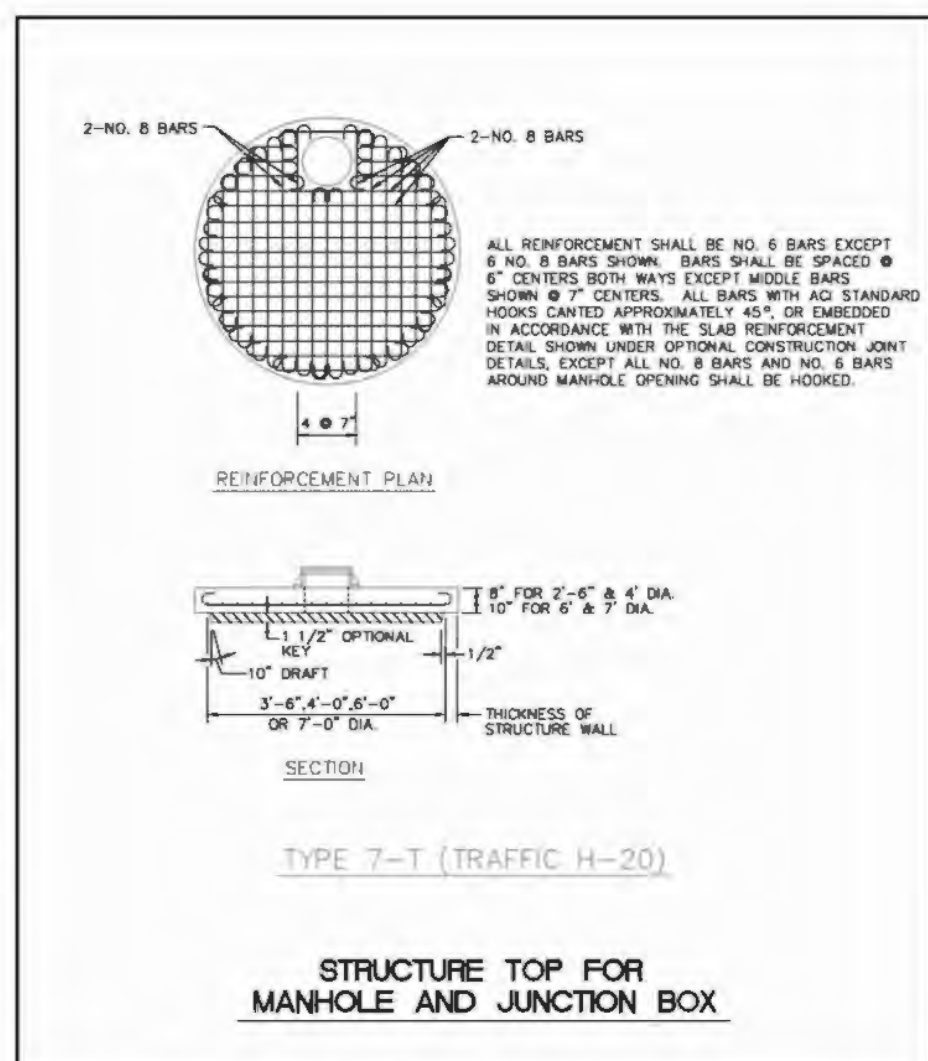
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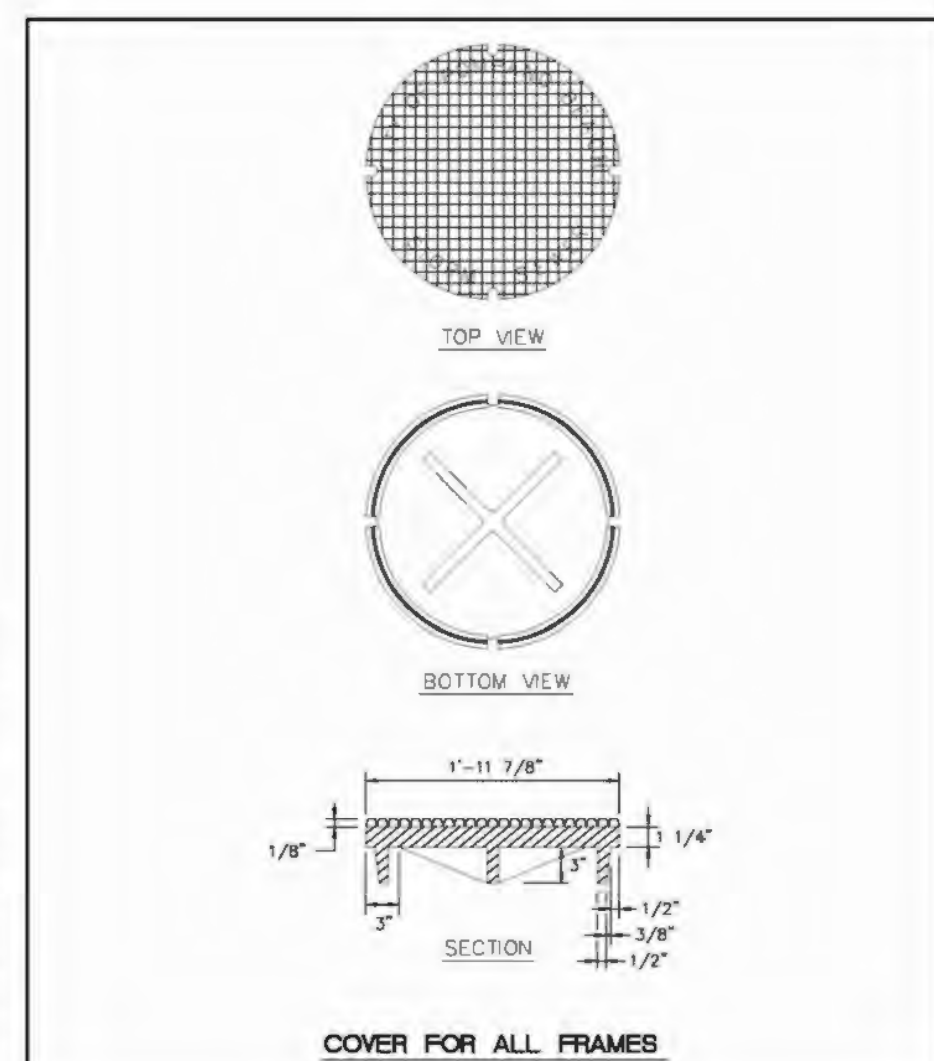
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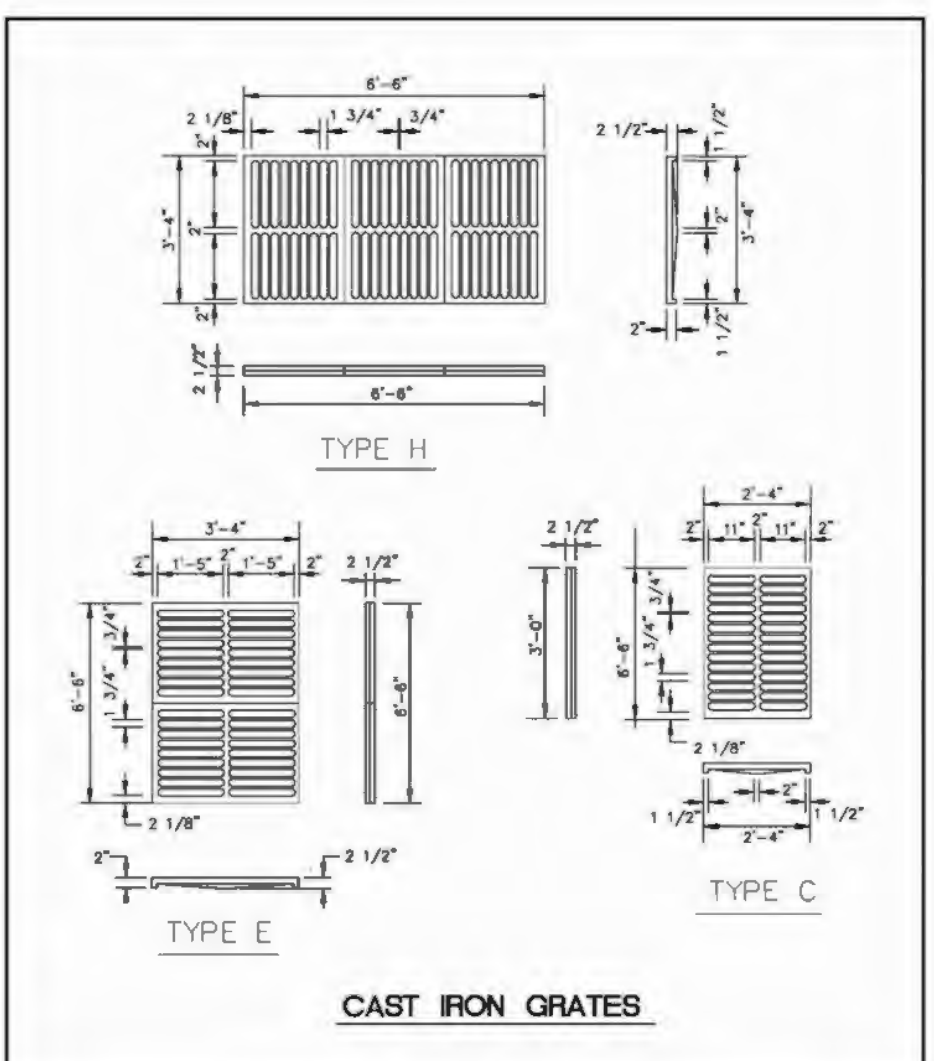
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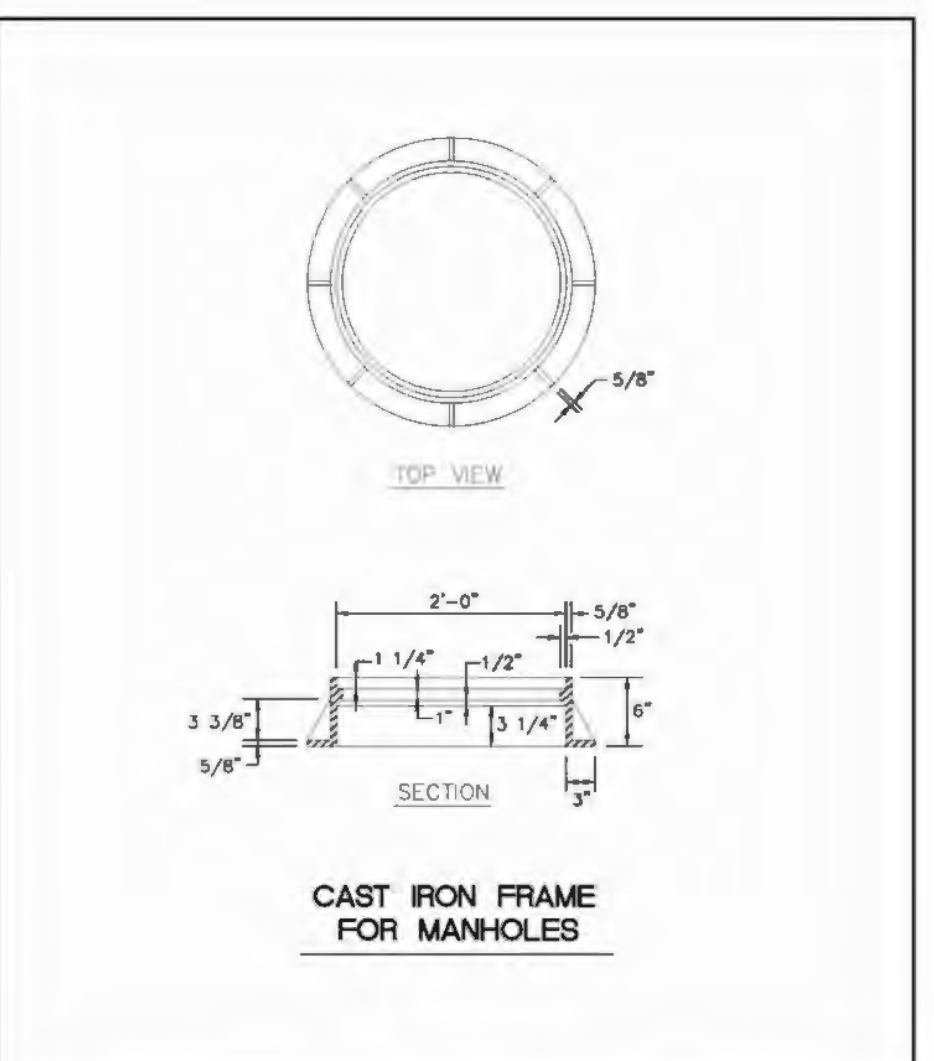
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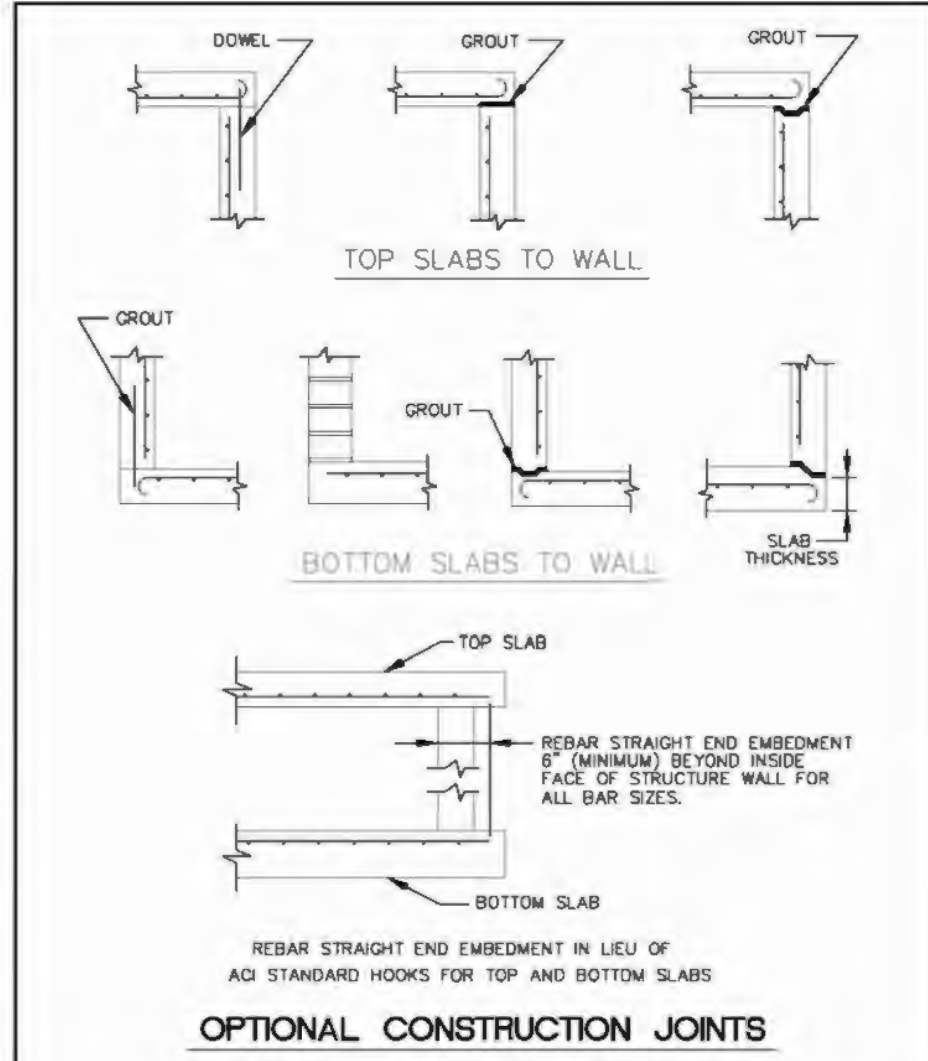
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REVISIONS	BY DATE	ENGINEERING DIVISION	COVER FOR MANHOLES AND INLETS
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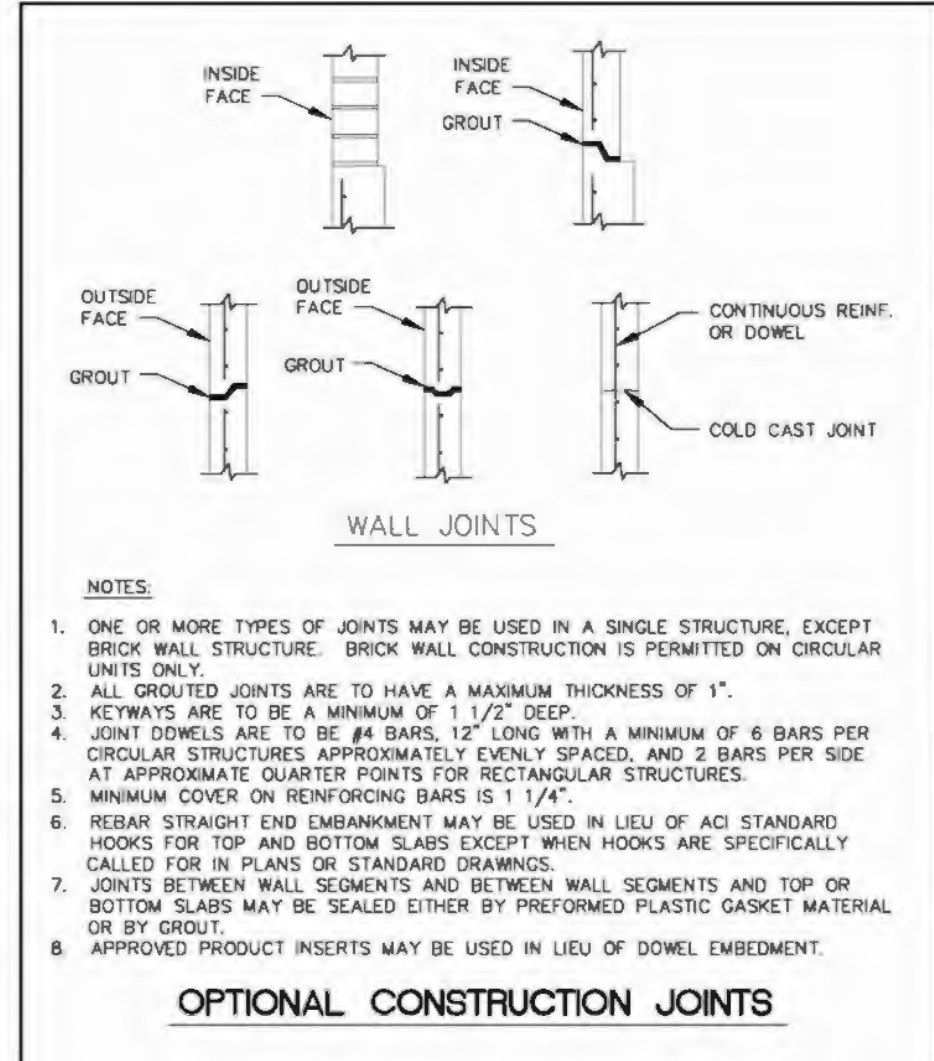
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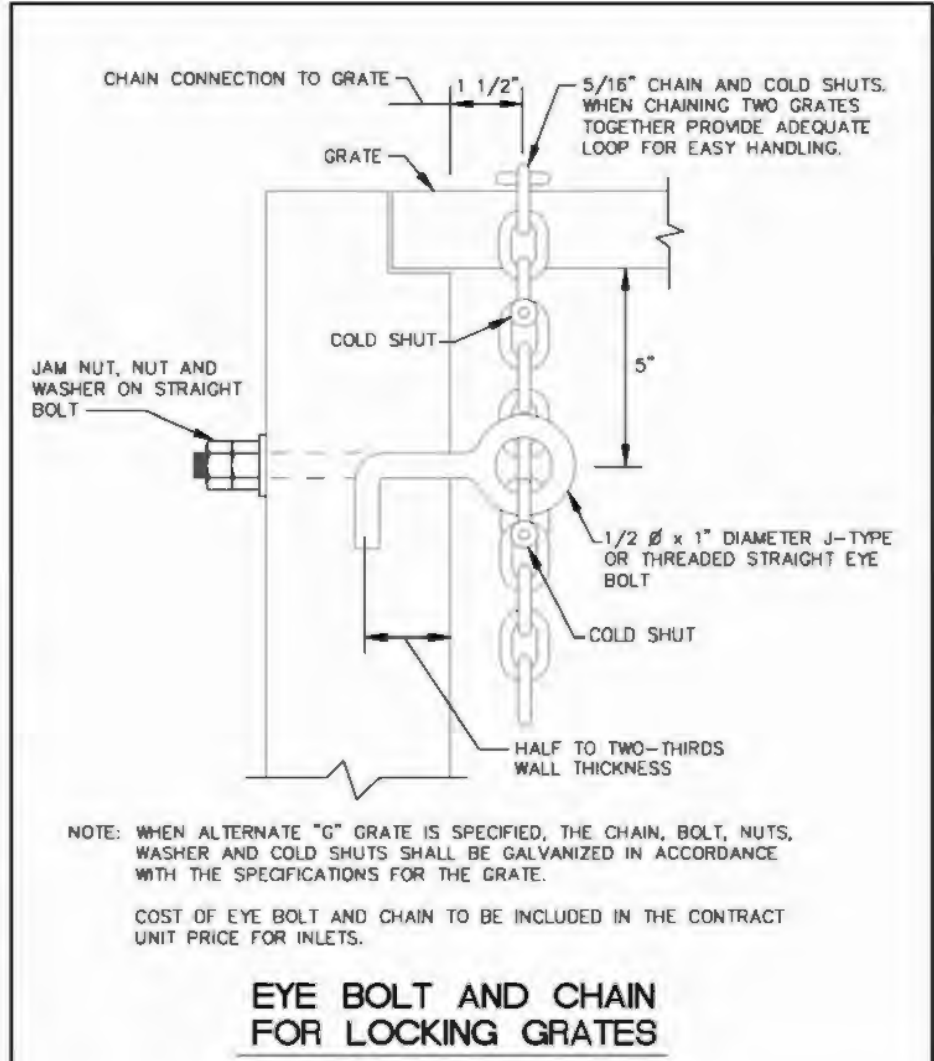
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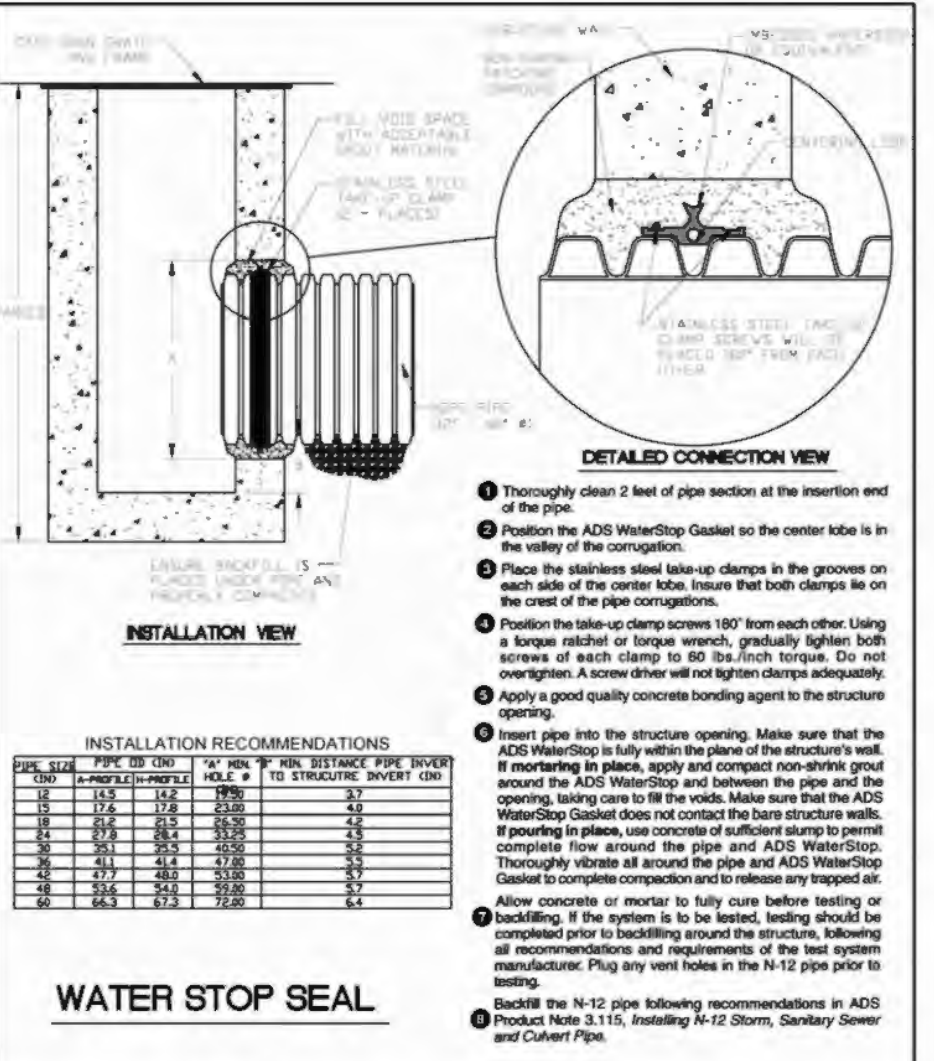
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REVISIONS	BY DATE	ENGINEERING DIVISION	OPTIONAL CONSTRUCTION JOINTS
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ENGINEERING STANDARDS 2019			
REVISIONS	BY DATE	ENGINEERING DIVISION	OPTIONAL CONSTRUCTION JOINT
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		SCALE: N.T.S.	DATE: JUNE 1998 DWG. NO. 412-2



ENGINEERING STANDARDS 2019			
REVISIONS	BY DATE	ENGINEERING DIVISION	EYE BOLT AND CHAIN
	S.S. 09-11	CITY OF POMPANO BEACH	
		SCALE: N.T.S.	DATE: JUNE 1998 DWG. NO. 413-1



ENGINEERING STANDARDS 2019			
REVISIONS	BY DATE	ENGINEERING DIVISION	WATER STOP SEAL
	S.S. 09-11	CITY OF POMPANO BEACH	
		SCALE: N.T.S.	DATE: APRIL 2008 DWG. NO. 414-1

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Revisions	

Phase: DRG DOCUMENTS

Shane H Grabski
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Job No. 05-0606.05
Drawn by: [Signature]
Date: 11/05/19
Sheet No. 1 of 2
Project No. [Signature]
Date: 11/05/19
Appr. by: [Signature]
Date: 11/05/19

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FLORIDA PROFESSIONAL ENGINEER
No 84285
STATE OF FLORIDA

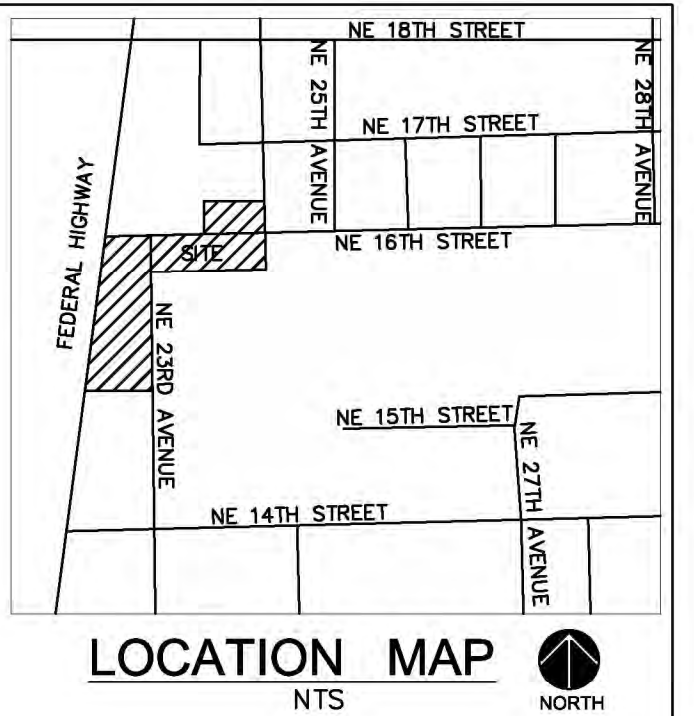


Revisions

Phase:
 DRC
 DOCUMENTS

Shane H Grabski

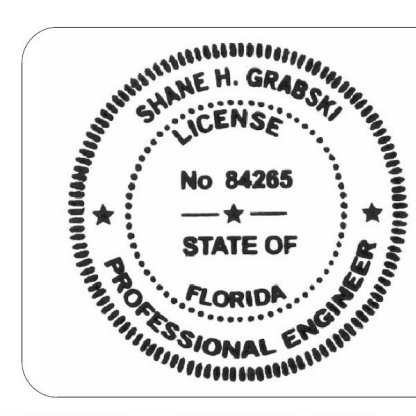
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 Date: 09/28/21
 Job No: 05-0606.07
 Drawn by: SHG
 Date: 12/21/21
 Project No: SHG
 Scale: C2.0
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 Date: 12/21/21
 Appr. by: SHG
 Date: 12/21/21
 4 of 6



WATER AND SEWER NOTES:

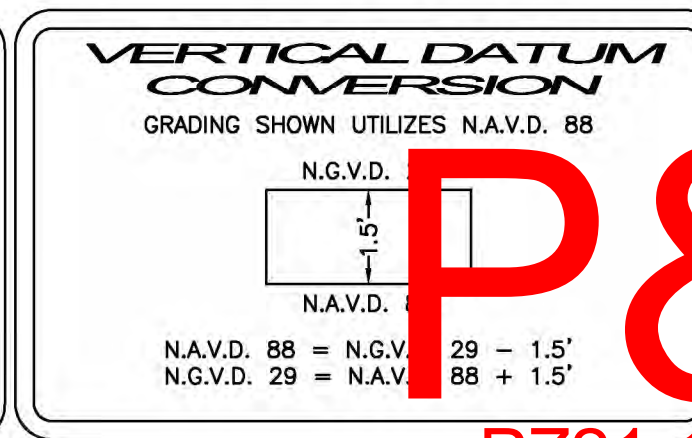
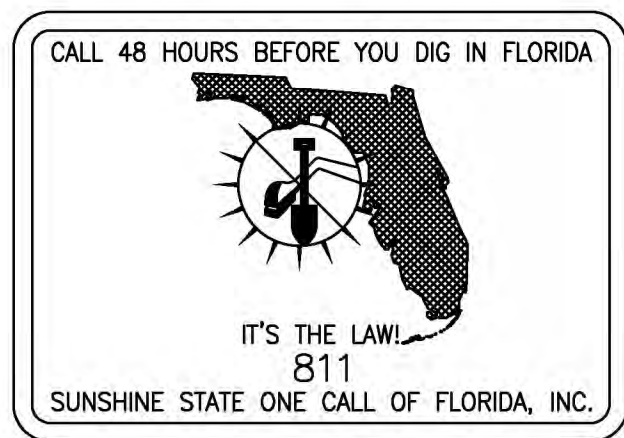
- CLEANOUTS AND MANHOLES ON SANITARY LINES ARE TO BE ADJUSTED TO BE FLUSH WITH FINISHED GRADE.
- CONTRACTOR SHALL PROVIDE FITTINGS (WYES, TEE, REDUCERS, ETC.) AS REQUIRED TO FURNISH A COMPLETE WORKING SYSTEM BASED ON THE LAYOUT SHOWN ON THESE PLANS.
- CONTRACTOR SHALL PROVIDE ANY EASEMENT DOCUMENTATION AROUND MH'S, BACKFLOW PREVENTORS, MAINLINES, METERS, ETC. AS REQUIRED BY THE CITY SO THAT THE OWNER MAY RECORD ANY EASEMENTS WITH THE CITY. CONTRACTOR'S SURVEYOR MUST COORDINATE WITH THE CITY AND PROVIDE ALL NECESSARY EASEMENT DOCUMENTATION TO THE OWNER. THE OWNER MUST THEN PROVIDE ALL RECORDED UTILITY EASEMENT DOCUMENTS TO THE CITY PRIOR TO FINAL ACCEPTANCE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY UTILITY DEPT. ANY WATER MAIN CONNECTIONS, UTILITY CONNECTIONS AND SCHEDULE MUST BE APPROVED BY THE CITY PRIOR TO IMPLEMENTATION. THE CONTRACTOR IS REQUIRED TO PAY FOR ALL COSTS ASSOCIATED WITH THIS WORK REGARDLESS OF WHETHER OR NOT THE UTILITY OR THE CONTRACTOR PERFORMS THE WORK.
- W.M./S.S. MAINS TO BE LOCATED 5' CLEAR OF ALL OBSTRUCTIONS, POLES, BOXES, CULVERTS, ETC. W.M./S.S. MAINS MUST BE LOCATED 5' FROM TREES. F.H.'S MUST HAVE A 7.5' CLEAR RADIUS FROM ALL.
- SITE UTILITY CONTRACTOR SHALL COORDINATE W/ THE BUILDING PLUMBING CONTRACTOR FOR EXACT LOCATION OF CONNECTION POINTS BETWEEN BUILDING AND SITE WATER, SEWER AND DRAINAGE LINES VERTICALLY AND HORIZONTALLY.
- PRESSURE TESTING AND CERTIFICATION SHALL FOLLOW THE BROWARD COUNTY HEALTH DEPARTMENT STANDARDS.
- ALL SANITARY SEWER LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM OF 18" SEPARATION UNLESS OTHERWISE NOTED. A 20 FOOT SECTION OF DUCTILE IRON PIPE WATER MAIN CENTERED CROSSING IS REQUIRED IF LESS THAN 18" VERTICAL SEPARATION OCCURS BETWEEN THE SEWER LATERAL AND WATER MAIN.
- ALL UNDERGROUND UTILITIES TO BE REMOVED SHALL BE CAPPED OFF AT THE POINT NEAREST TO THE UTILITIES OR DRAINAGE LINES THAT WILL REMAIN IN SERVICE. NOTIFY THE ENGINEER OF RECORD BEFORE REMOVING ANY UTILITIES THAT ARE CURRENTLY IN SERVICE. THE CONTRACTOR SHALL NOT REMOVE ANY UTILITY SERVICE TO ANY EXISTING BUILDING THAT WILL REMAIN AND SHALL DIG UP AND COMPLETELY REMOVE AND/OR ABANDON ANY UTILITY SERVICE THAT IS NO LONGER REQUIRED. THE CONTRACTOR SHALL INFORM AND CONSULT THE ENGINEER OF RECORD PRIOR TO REMOVING ANY LINES.
- CONTRACTOR SHALL VERIFY EXISTING WATER MAIN LOCATION AND ELEVATION AND NOTIFY THE ENGINEER OF ANY DIFFERENCE FROM THE DESIGN PRIOR TO CONSTRUCTION AND/OR EXCAVATION.
- PROPOSED FIRE LINES (I.E. MAINS, SERVICES, SIAMESE CONNECTION LINES, ETC.) TO BE INSTALLED BY A STATE LICENSED FIRE LINE CONTRACTOR PER F.S. 633.
- FIRE LINES TO BE INSPECTED BY A CERTIFIED FIRE LINE INSPECTOR.
- STATE LICENSED FIRE LINE CONTRACTOR, UPON COMPLETION OF REQUIRED TESTING, SHALL ISSUE A "LICENSED UNDERGROUND TEST CERTIFICATE" PRIOR TO ACCEPTANCE FOR PLACING FIRE LINE INTO SERVICE.
- ANY EXISTING UNUTILIZED WATER &/OR SEWER CONNECTION TO THE SUBJECT LOT(S) MUST BE RETIRED AT THE MAIN AS PER CITY SPECIFICATION.
 - IF THE EXISTING MAIN IS CLAY PIPE & HAS CIPP LINER CURRENTLY INSTALLED, INSTALL A SECTIONAL LINER IN THE MAIN OVER THE OLD LATERAL THUS ELIMINATING THE LATERAL.
 - IF THE EXISTING MAIN IS CLAY PIPE, DIG DOWN CUT OLD CLAY PIPE, SLEEVE BACK IN WITH PVC & CITY APPROVED COUPLINGS.
 - IF THE EXISTING MAIN IS CLAY PIPE & YOU ARE REQUIRED TO RETIRE MULTIPLE LATERALS FOR A PROJECT, IT MAY BE CHEAPER FOR THE CONTRACTOR TO INSTALL A CITY APPROVED CIPP LINER FROM MANHOLE TO MANHOLE AND NOT CUT OUT THE LATERALS THAT THEY ARE RETIRING.
 - IF THE EXISTING MAIN IS PVC PIPE, REMOVE THE LATERAL PIPE FROM THE PVC WYE FITTING AND INSTALL A PLUG INTO THE WYE. INSTALL A GREEN LOCATING MARKING BALL AT THE LATERAL LOCATING, NO DEEPER THAN 4 FT. BELOW GRADE.
- ANY EXISTING UNUTILIZED WATER AND/OR SEWER CONNECTION TO THE LOTS MUST BE CUT & CAPPED AT THE MAIN FOR WATER SERVICES & SEWER LATERAL REMOVED FROM THE MAIN & SLEEVED IN WITH NEW PIPING.

TOTAL DAILY GALLON PER DAY WATER CONSUMPTION: 63,561
 TOTAL DAILY GALLON PER DAY WASTEWATER DISCHARGE: 63,561

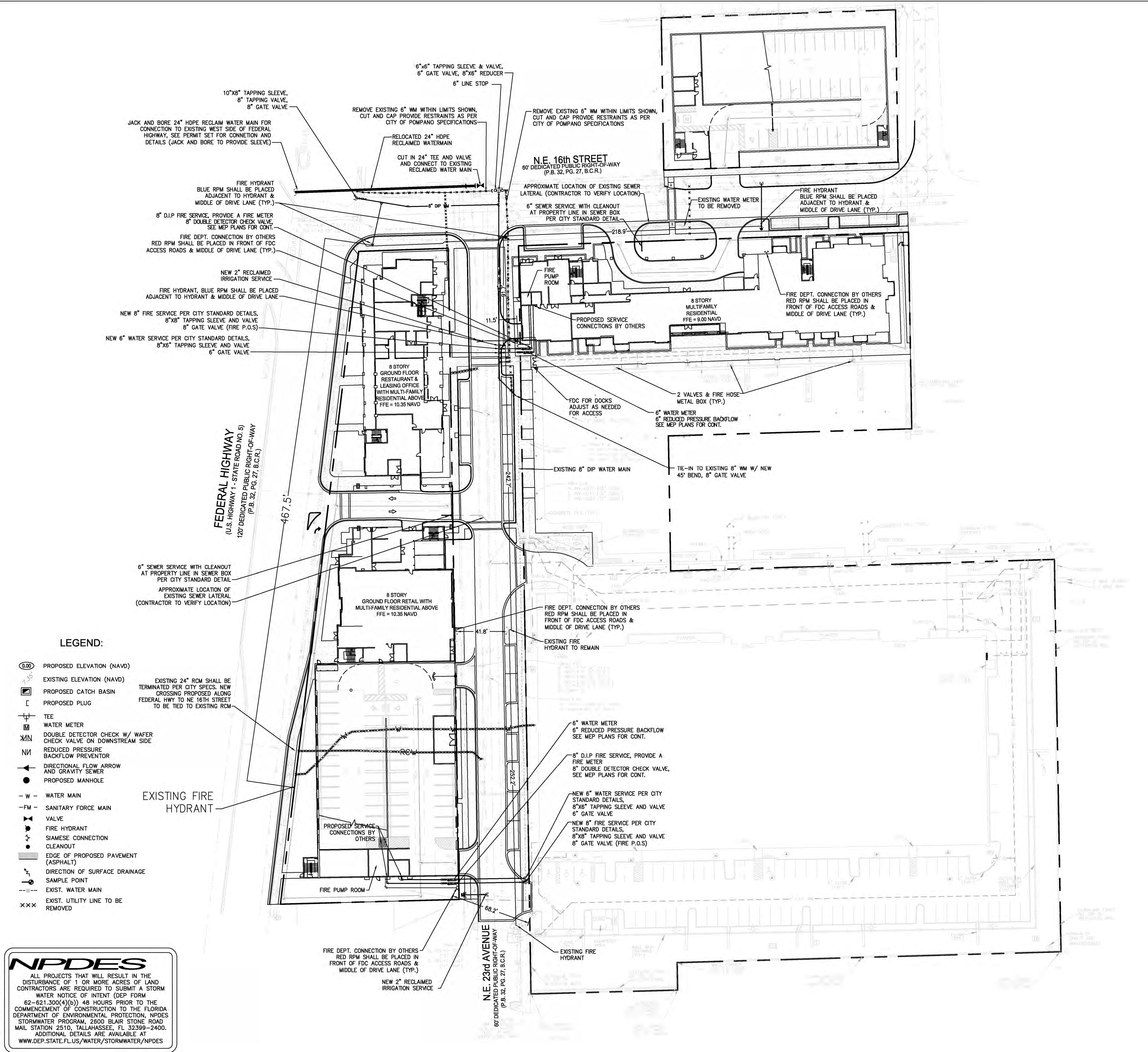


THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHANE H. GRABSKI, P.E. ON Dec 02, 2021

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P&Z
 PZ21-1300006
 1/26/2022

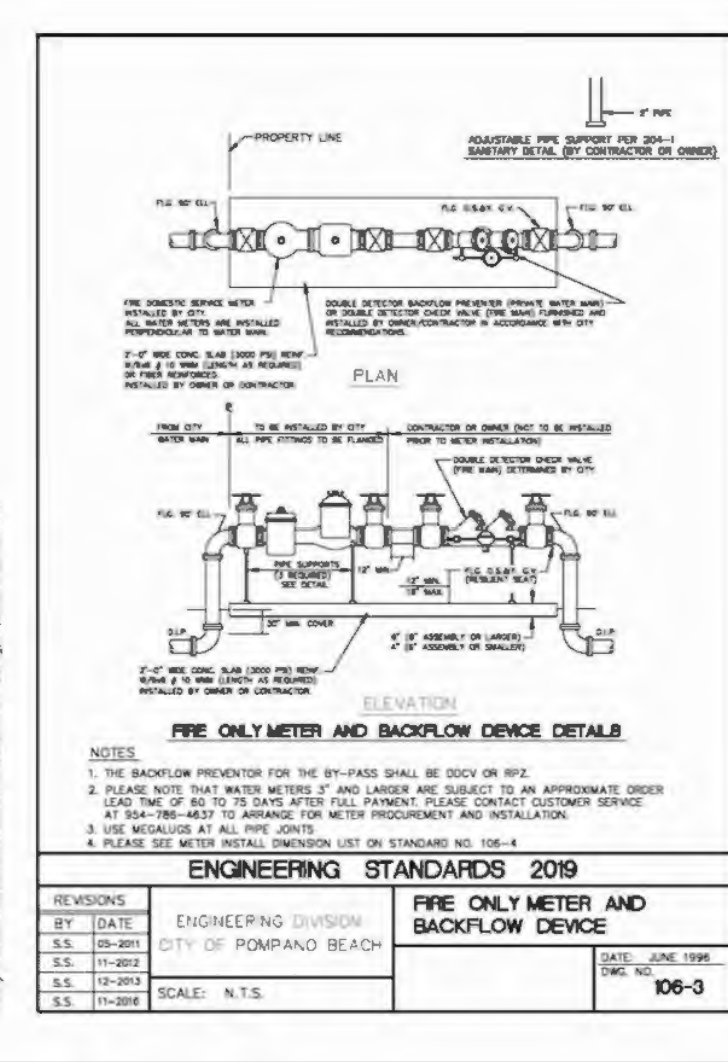
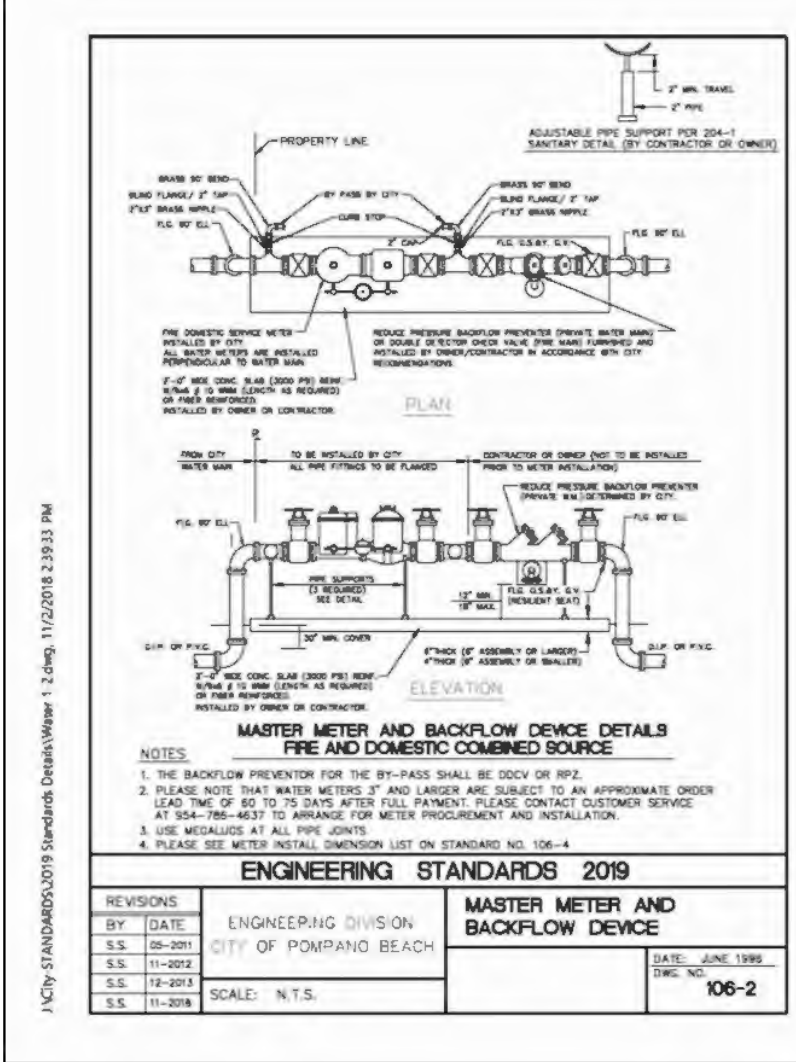
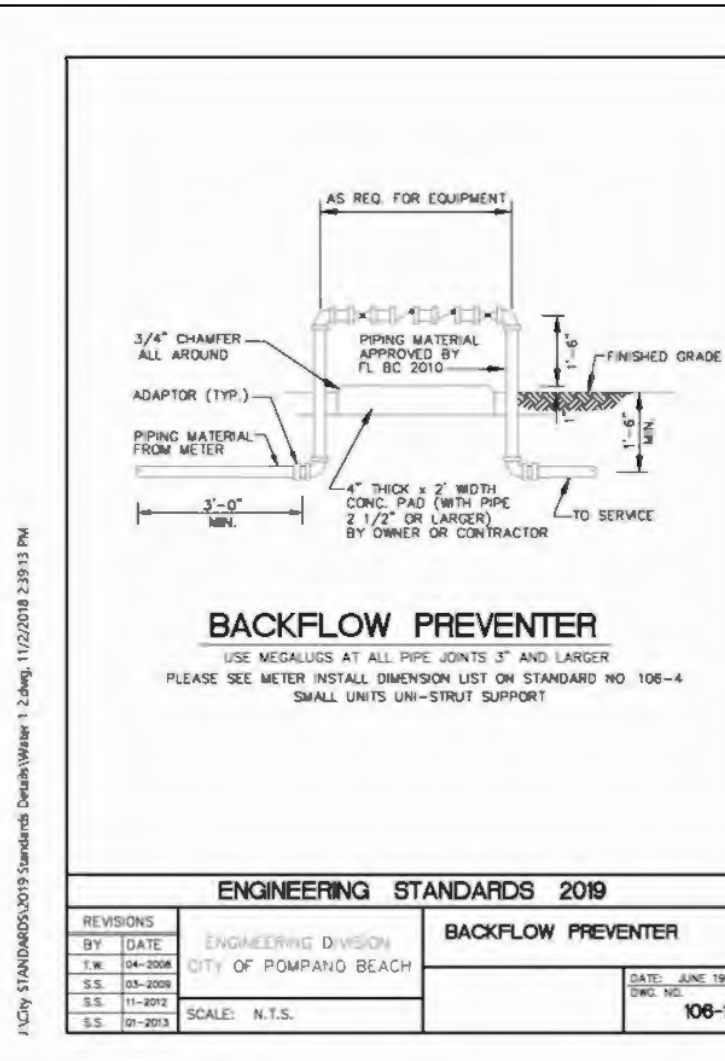
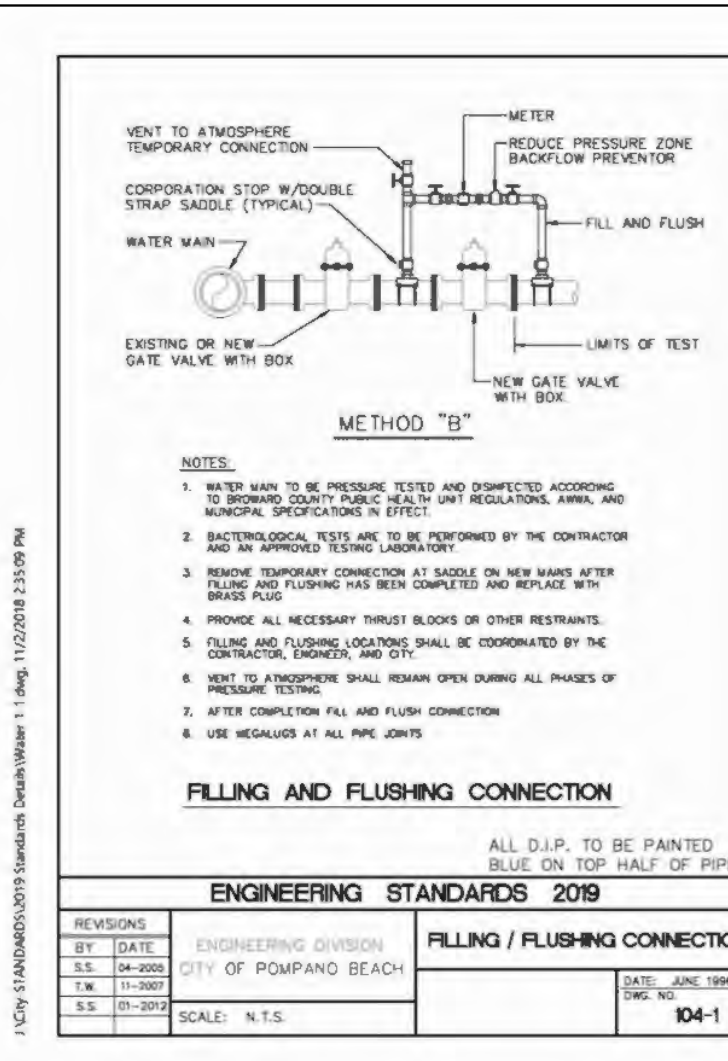
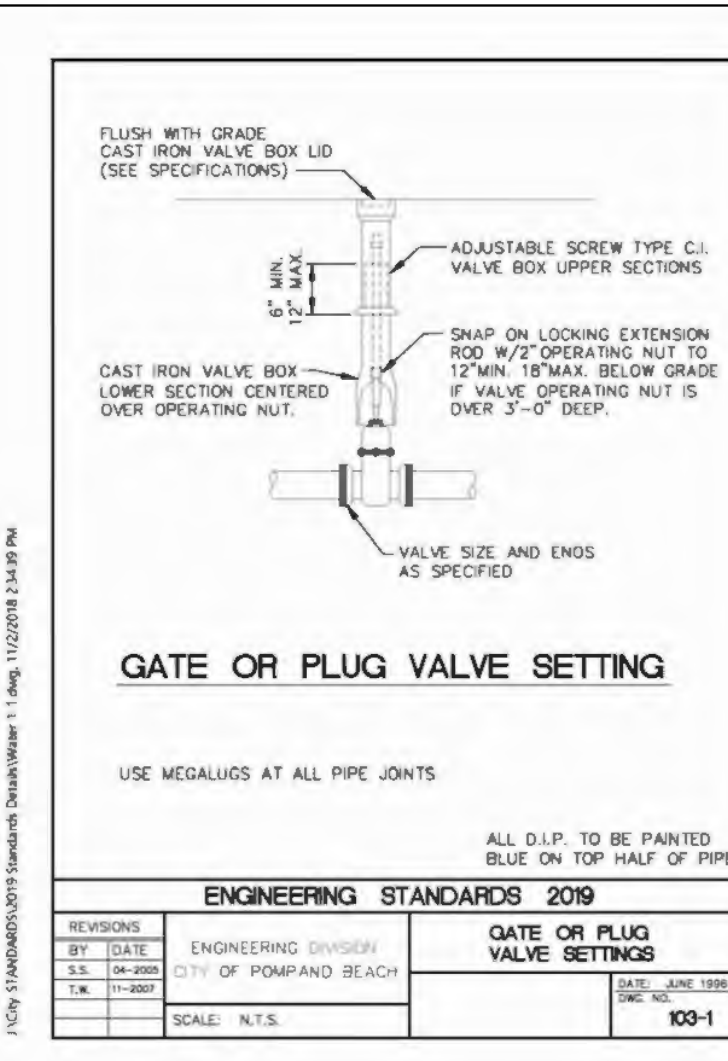
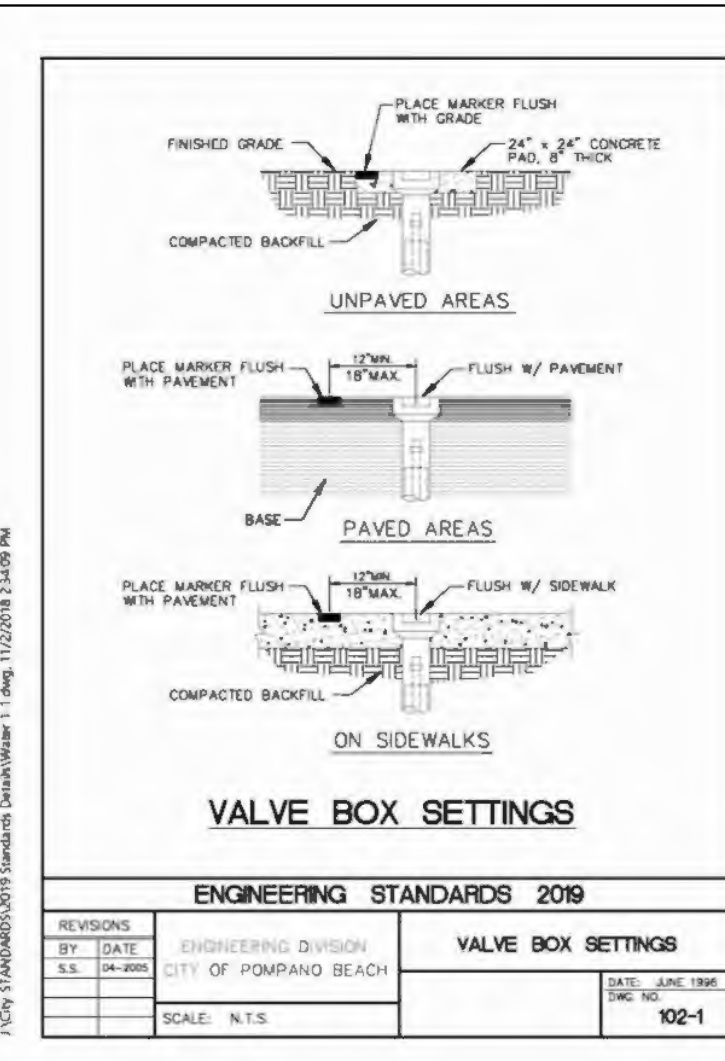
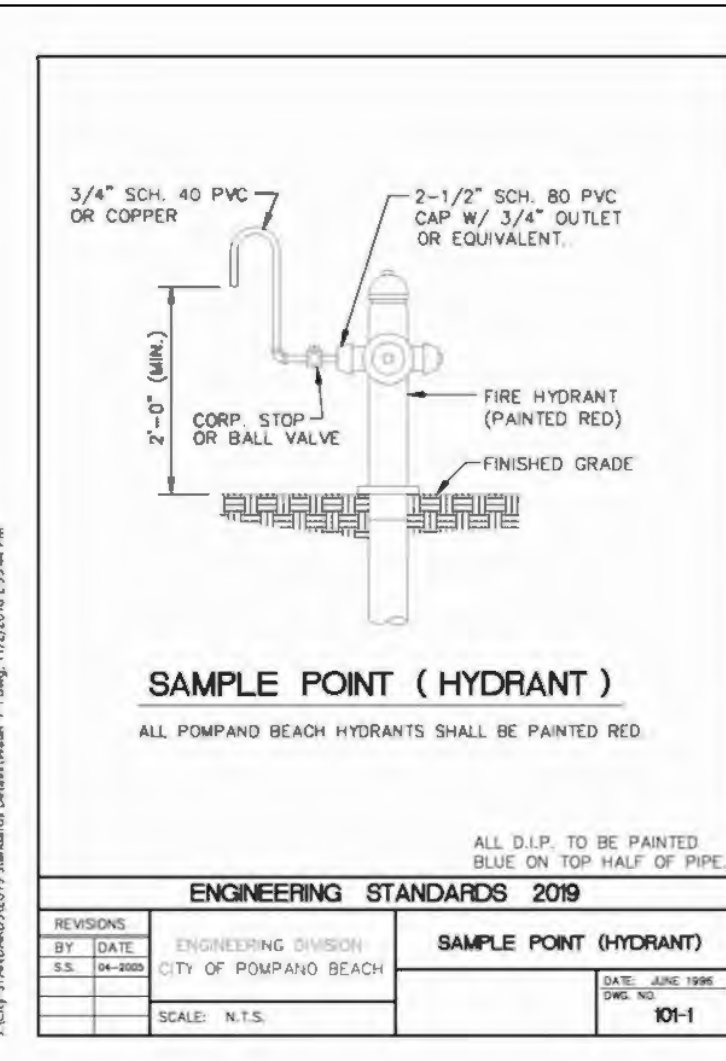
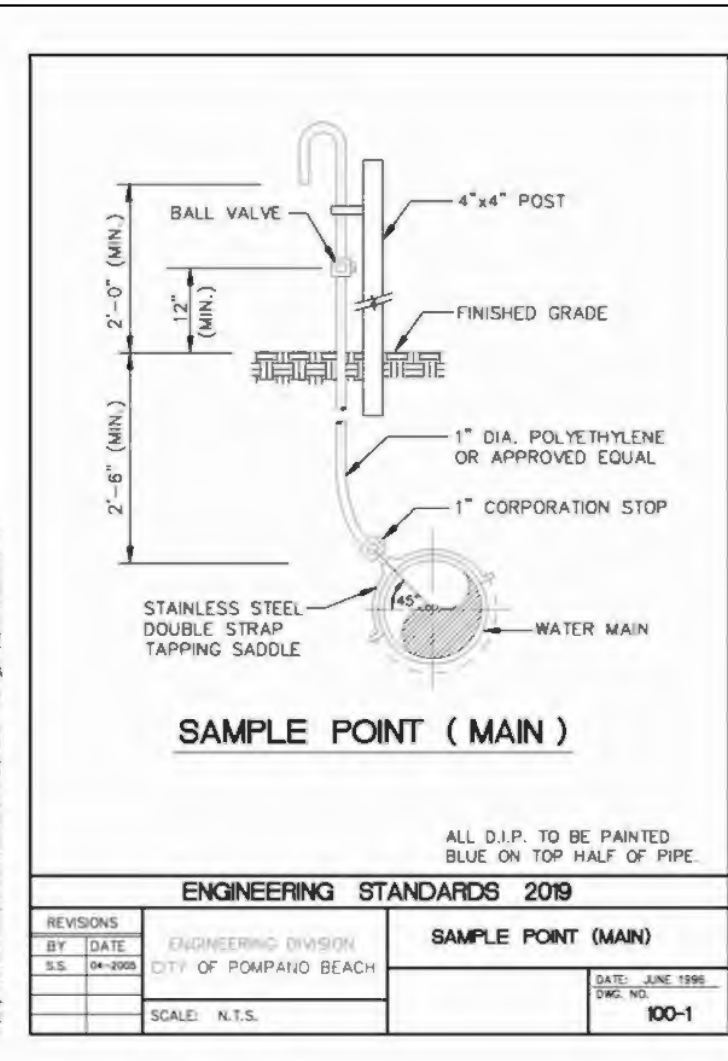
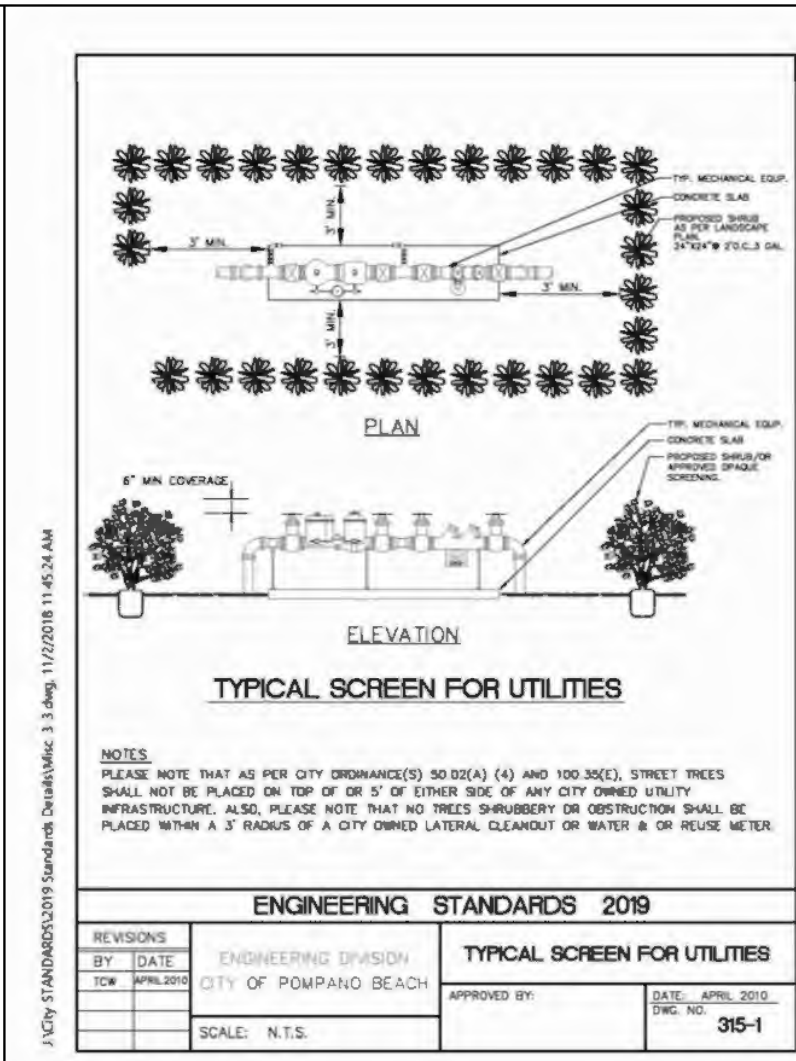


LEGEND:

- 0.00 PROPOSED ELEVATION (NAVD)
- EXISTING ELEVATION (NAVD)
- ▭ PROPOSED CATCH BASIN
- ⊞ PROPOSED PLUG
- ⊕ TEE
- ⊗ WATER METER
- ⊘ DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
- ⊙ REDUCED PRESSURE BACKFLOW PREVENTOR
- DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
- PROPOSED MANHOLE
- - - WATER MAIN
- FM- SANITARY FORCE MAIN
- ⊕ VALVE
- ⊗ FIRE HYDRANT
- ⊙ SIAMESE CONNECTION
- CLEANOUT
- EDGE OF PROPOSED PAVEMENT (ASPHALT)
- DIRECTION OF SURFACE DRAINAGE
- SAMPLE POINT
- - - EXIST. WATER MAIN
- EXIST. UTILITY LINE TO BE REMOVED
- EXISTING FIRE HYDRANT
- EXISTING 24" RCM SHALL BE TERMINATED PER CITY SPECS. NEW CROSSING PROPOSED ALONG FEDERAL HWY TO NE 16TH STREET TO BE TIED TO EXISTING RCM

NPDES
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ENGINEERING STANDARDS 2019

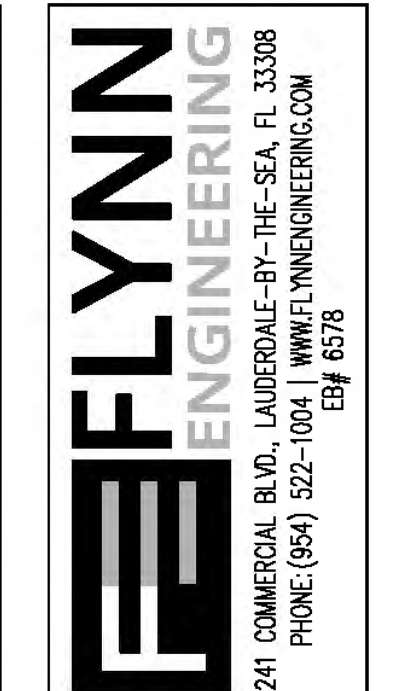
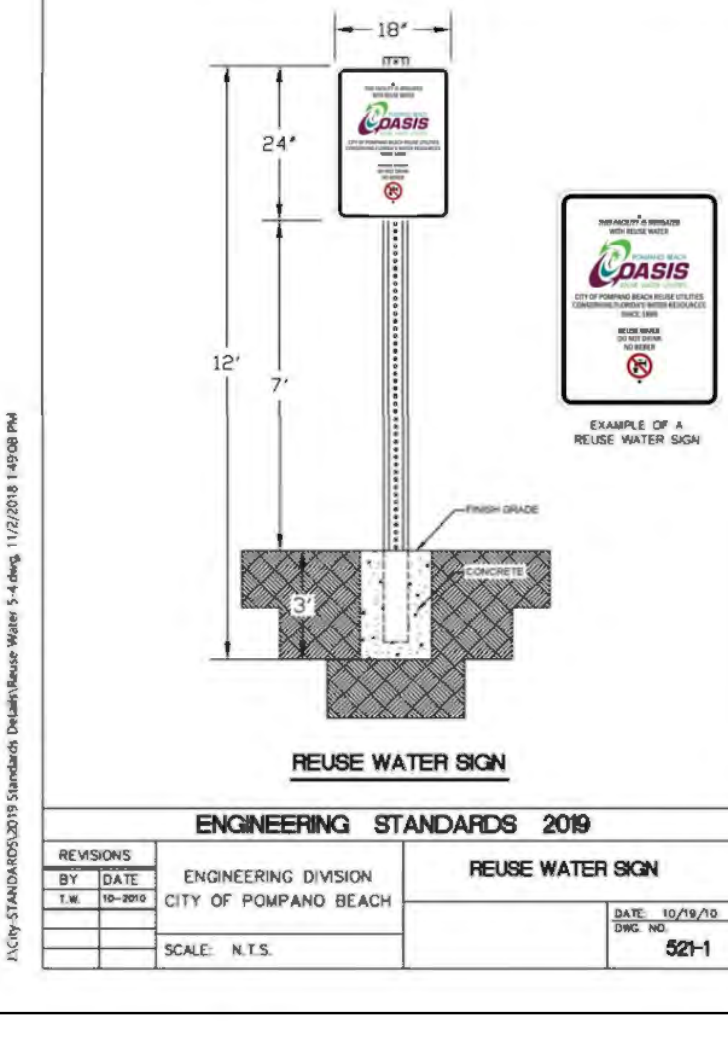
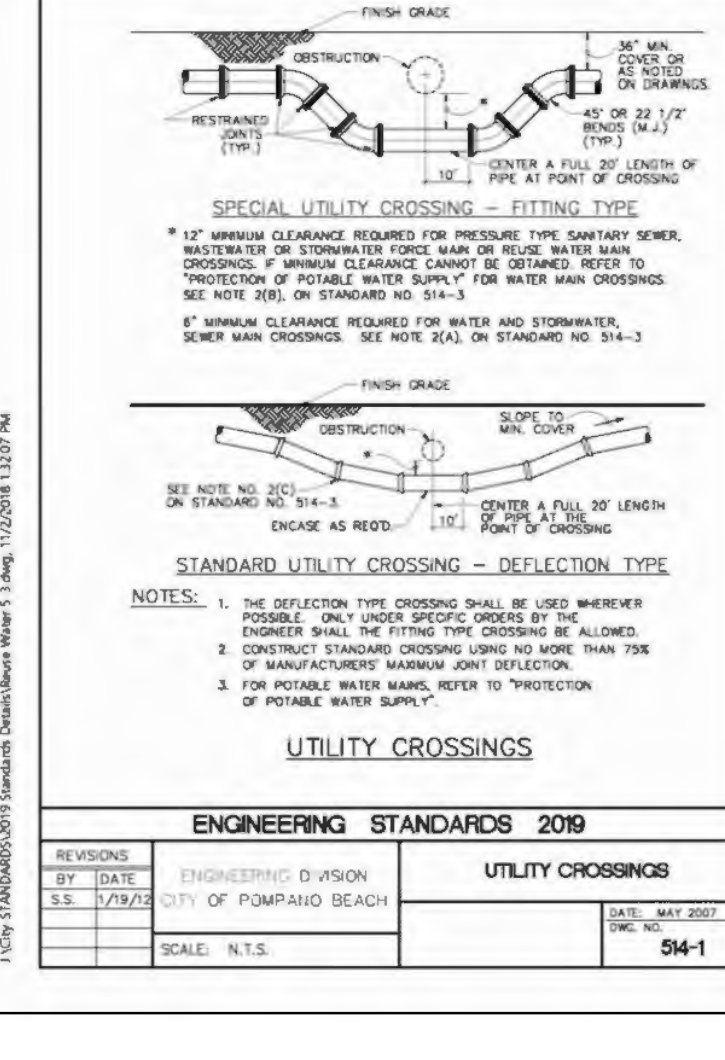
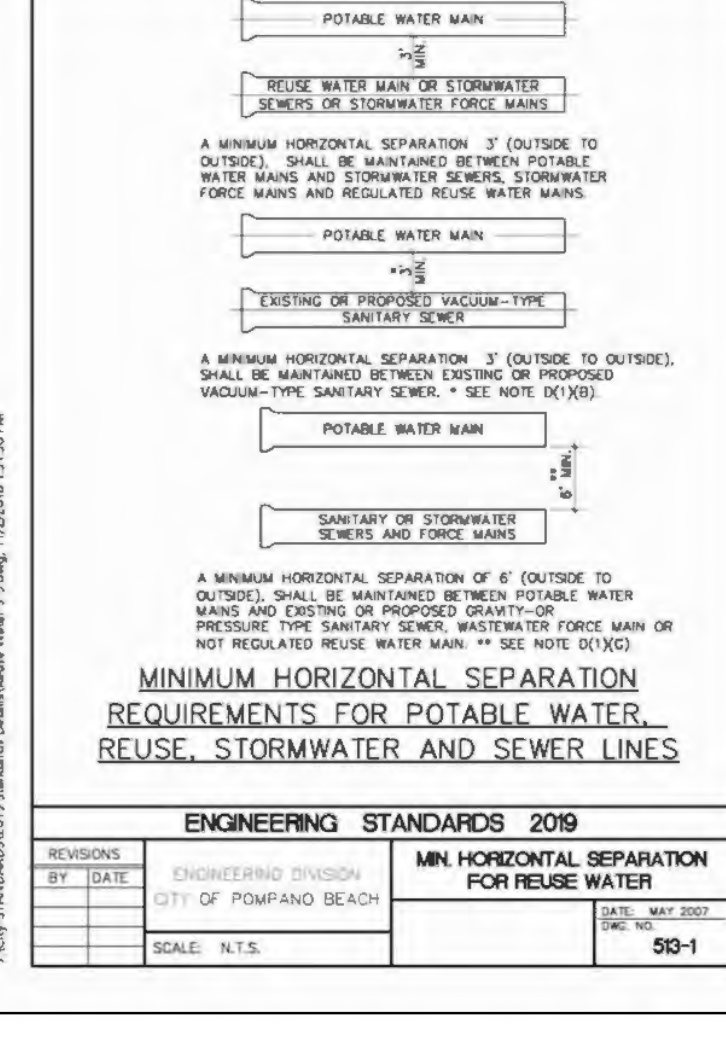
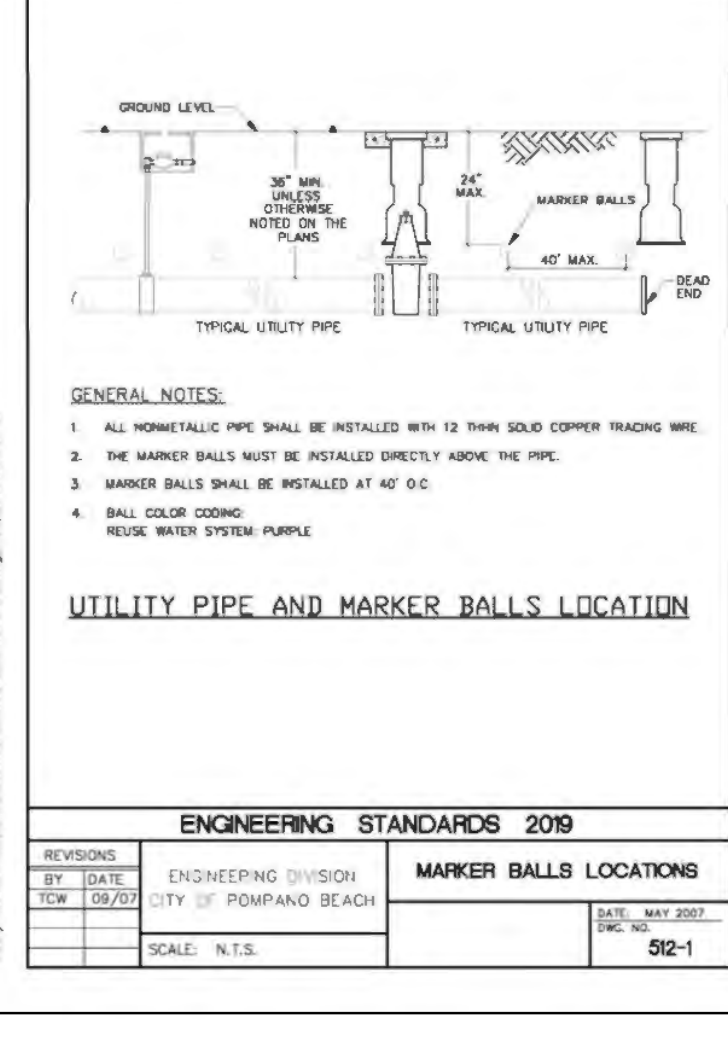
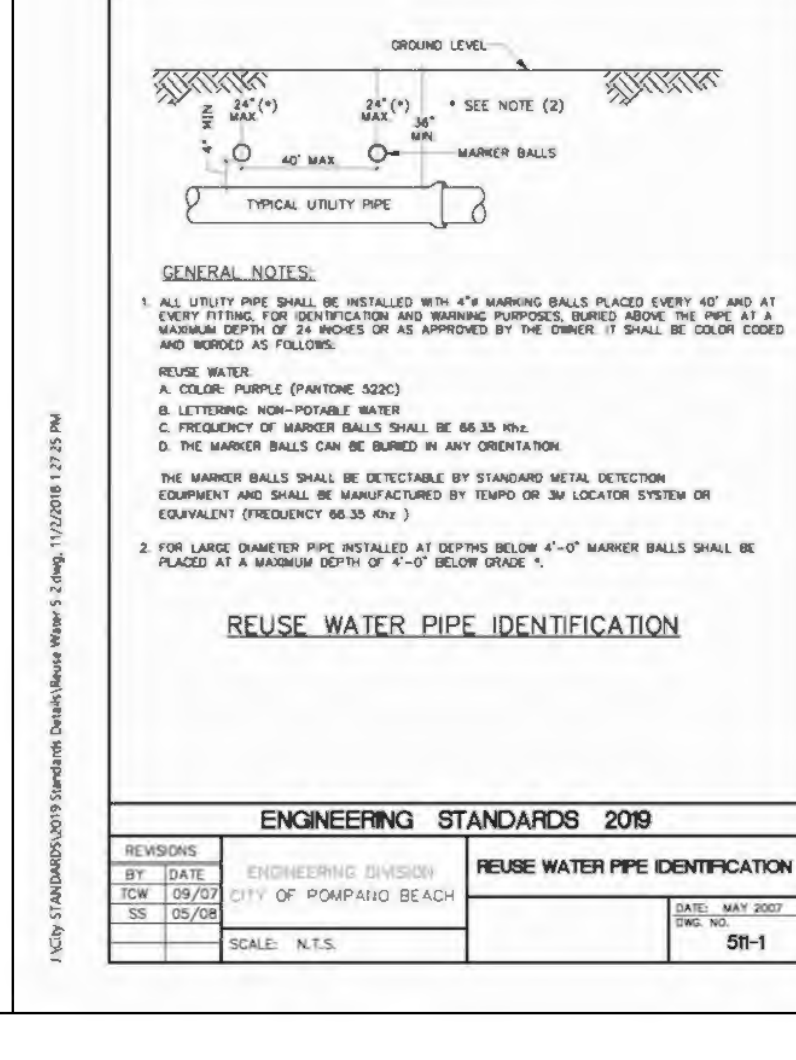
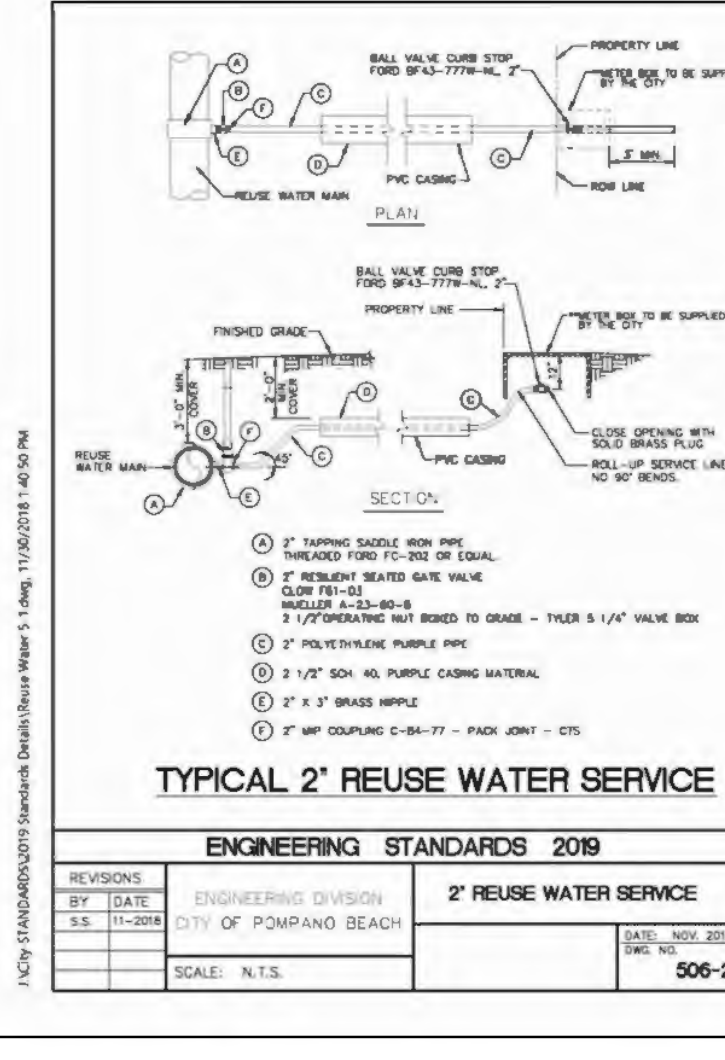
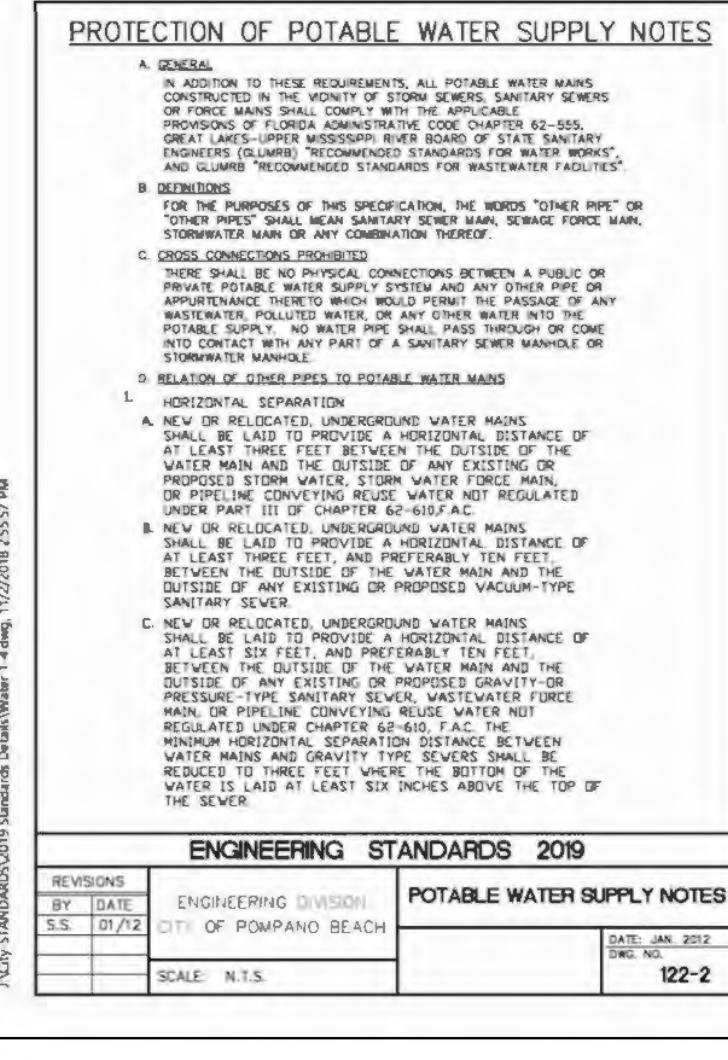
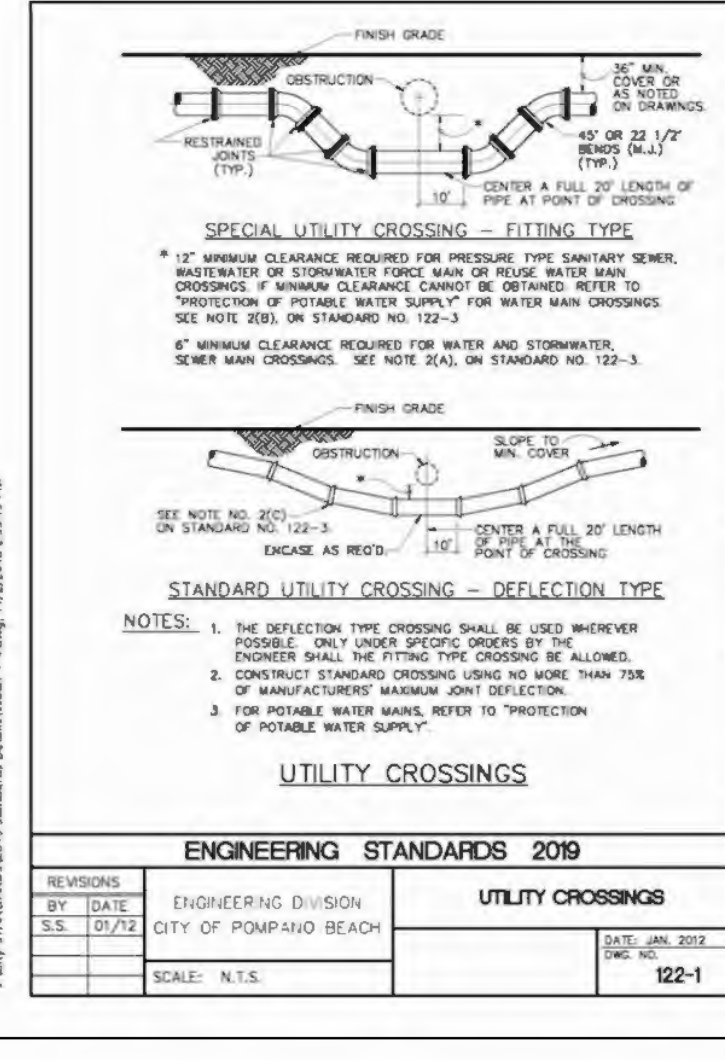
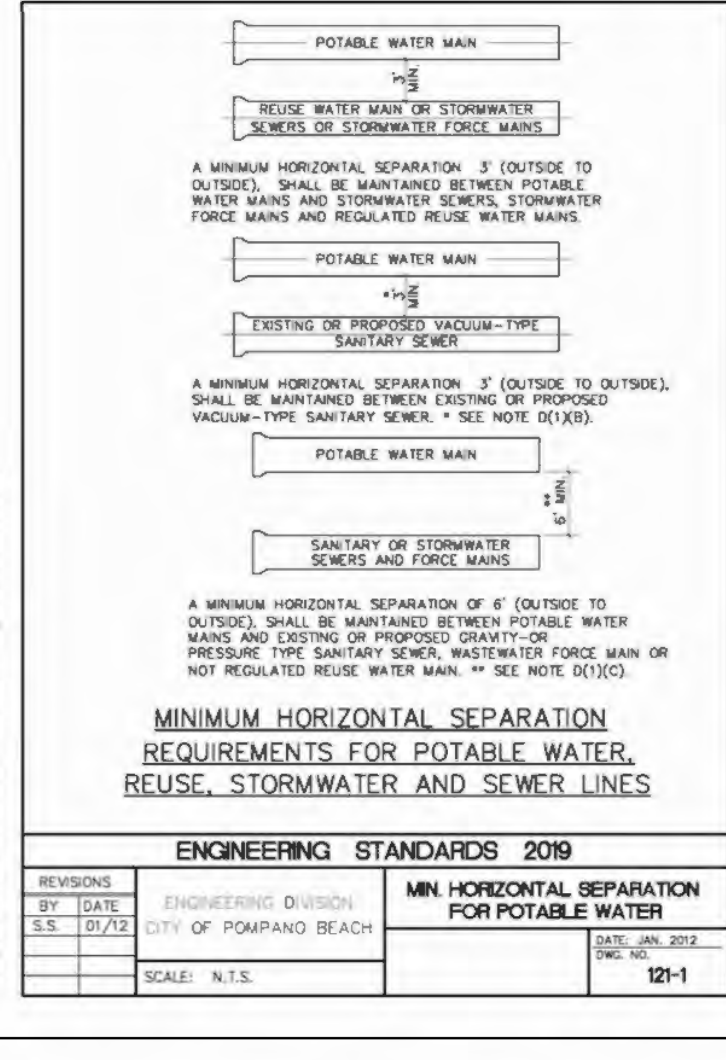
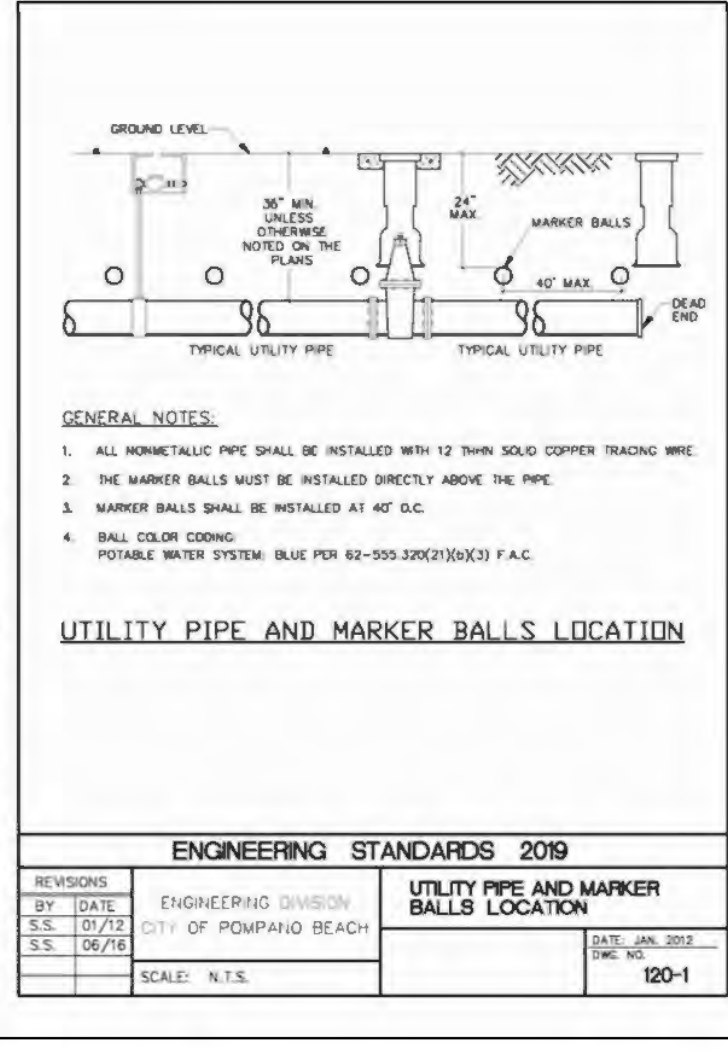
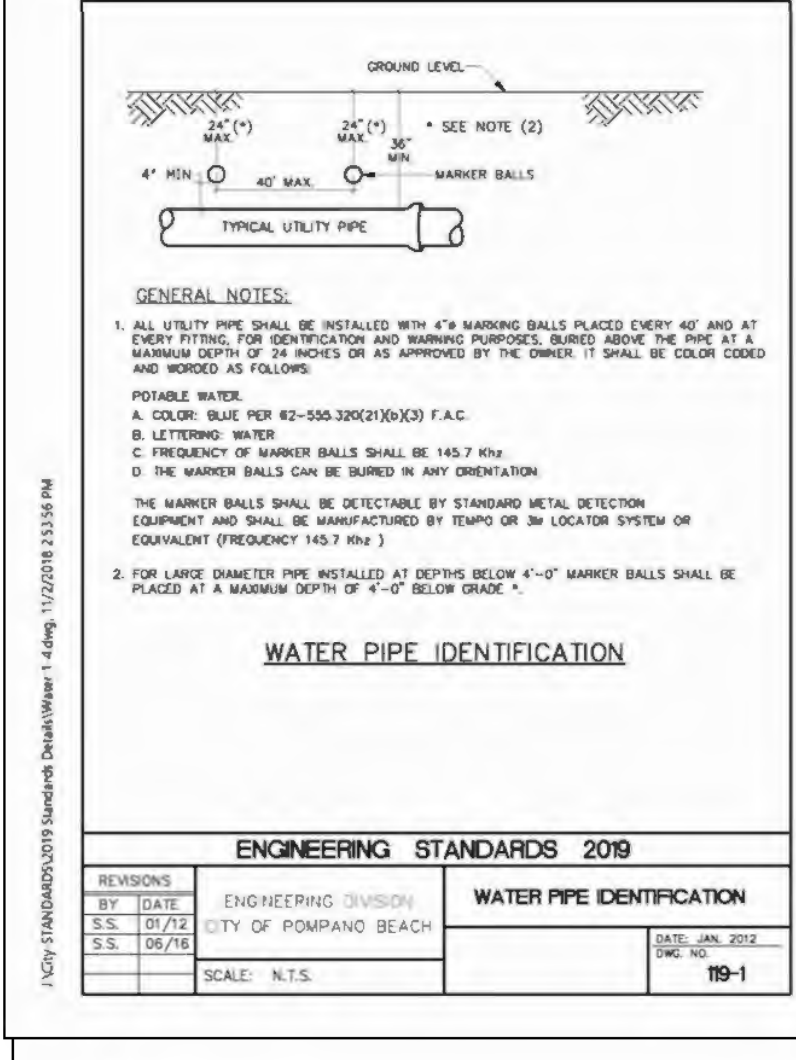
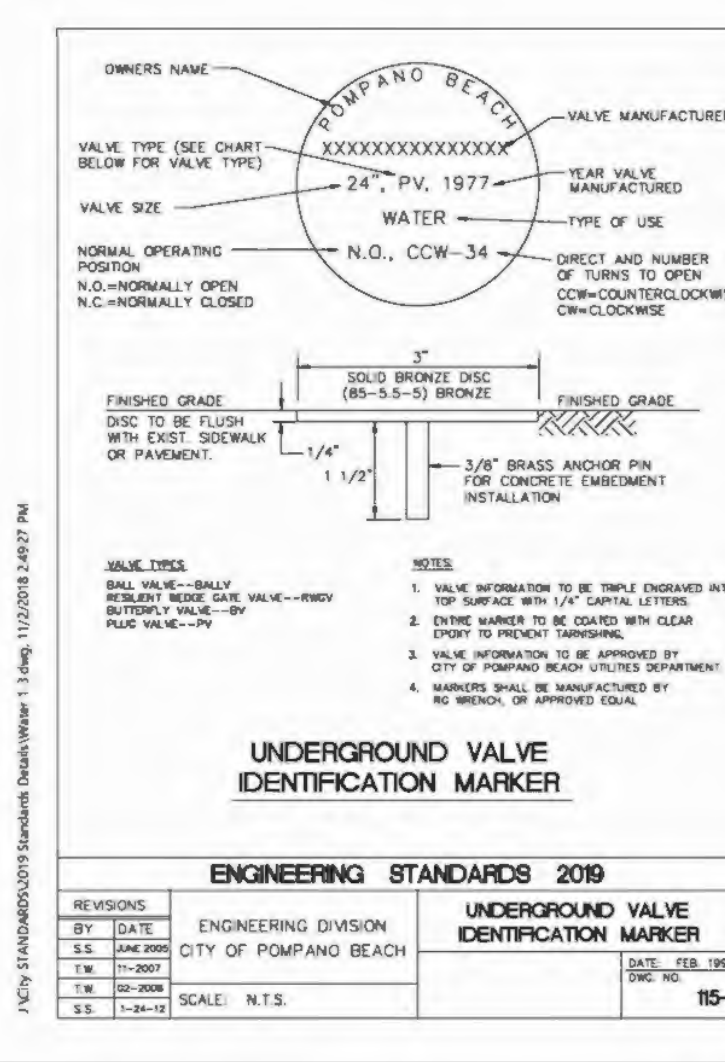
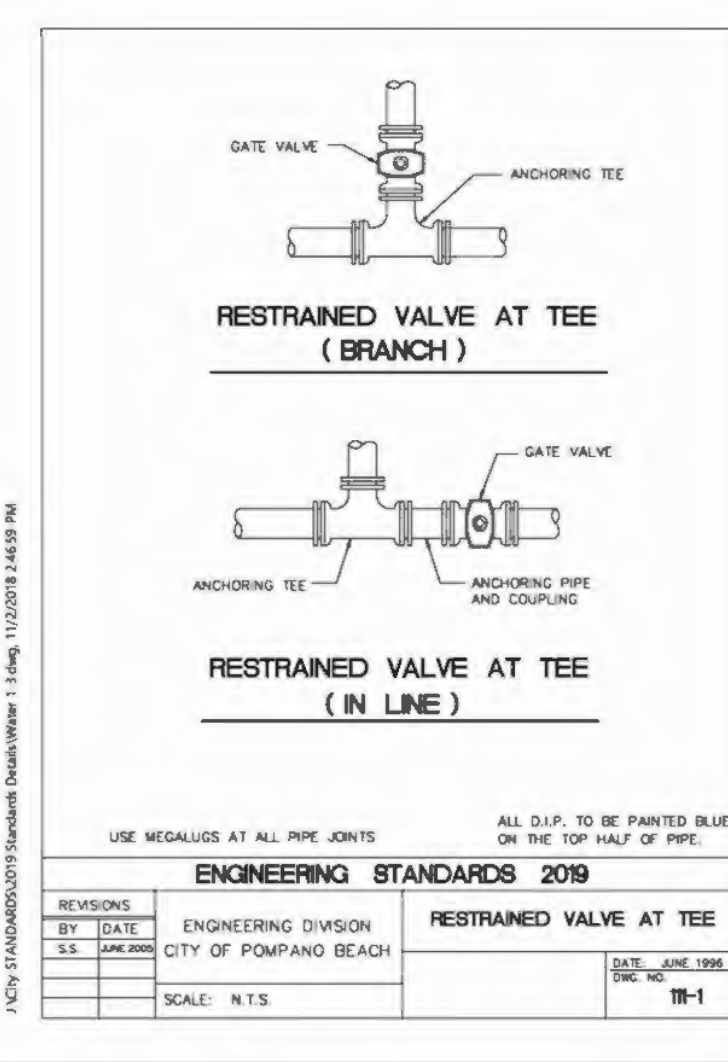
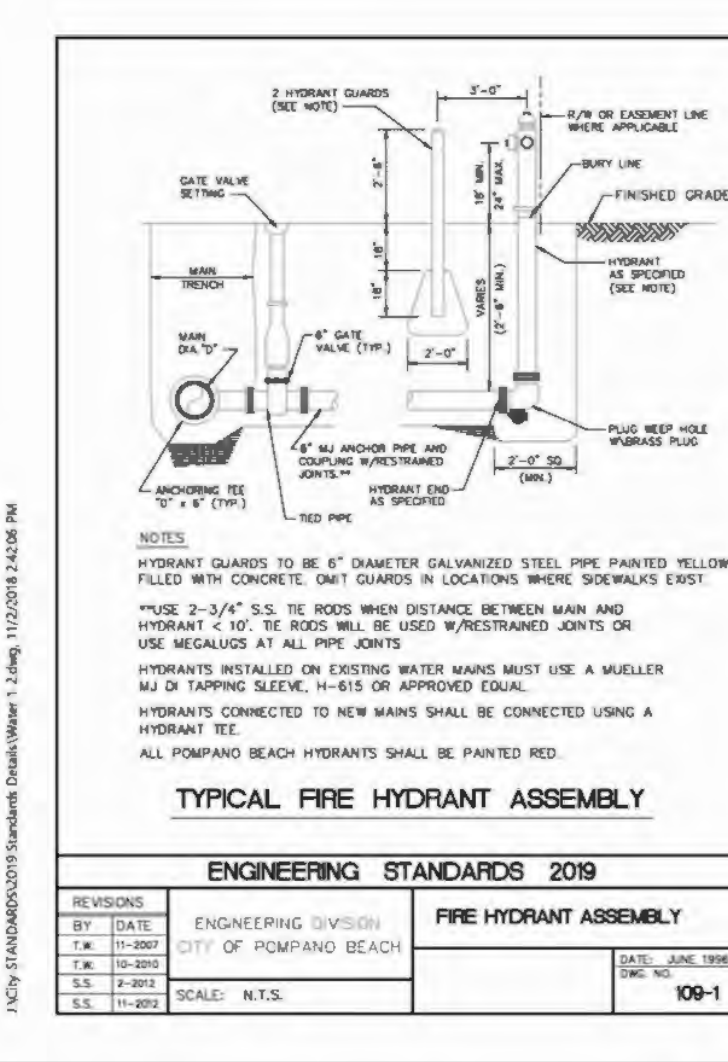
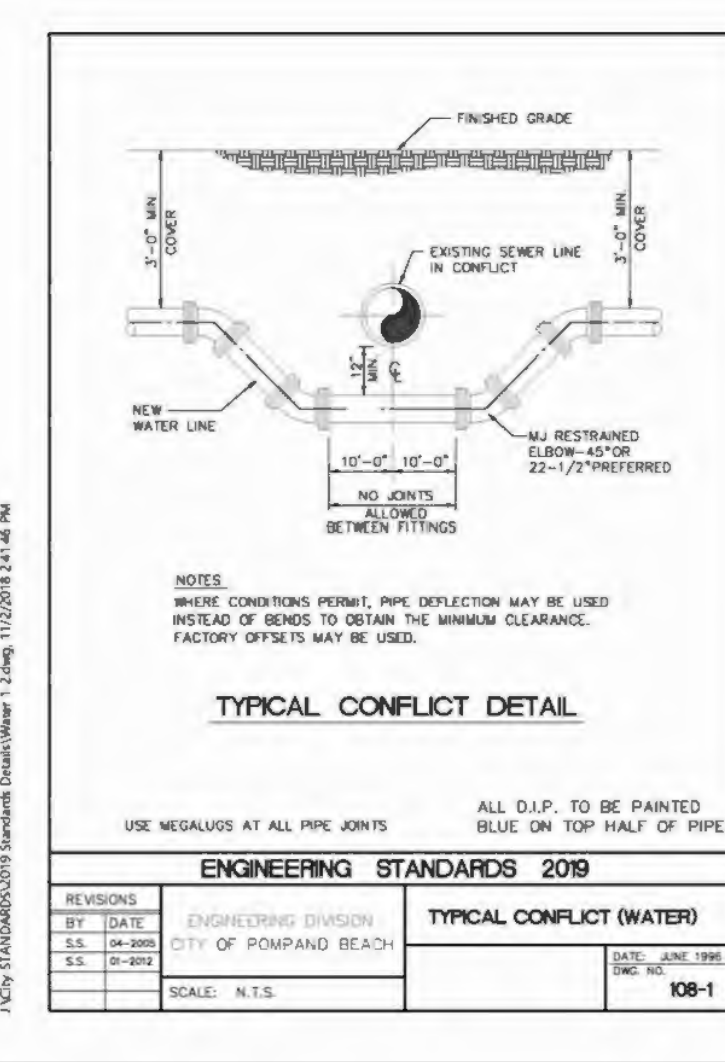
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3/4"	3/4"	3/4"	3/4"	3/4"
1"	1"	1"	1"	1"
1 1/2"	1 1/2"	1 1/2"	1 1/2"	1 1/2"
2"	2"	2"	2"	2"
3"	3"	3"	3"	3"
4"	4"	4"	4"	4"
6"	6"	6"	6"	6"
8"	8"	8"	8"	8"
10"	10"	10"	10"	10"
12"	12"	12"	12"	12"

ENGINEERING STANDARDS 2019

REVISIONS: BY DATE ENGINEERING DIVISION CITY OF POMPANO BEACH DATE: JAN 2022

SCALE: N.T.S.



STANDARD WATER DETAILS

HIDDEN HARBOUR POMPANO BEACH, FLORIDA 33062



Revisions

1		
2		
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Phase: DRC DOCUMENTS

Shane H Grabski

Digitally signed by Shane H Grabski
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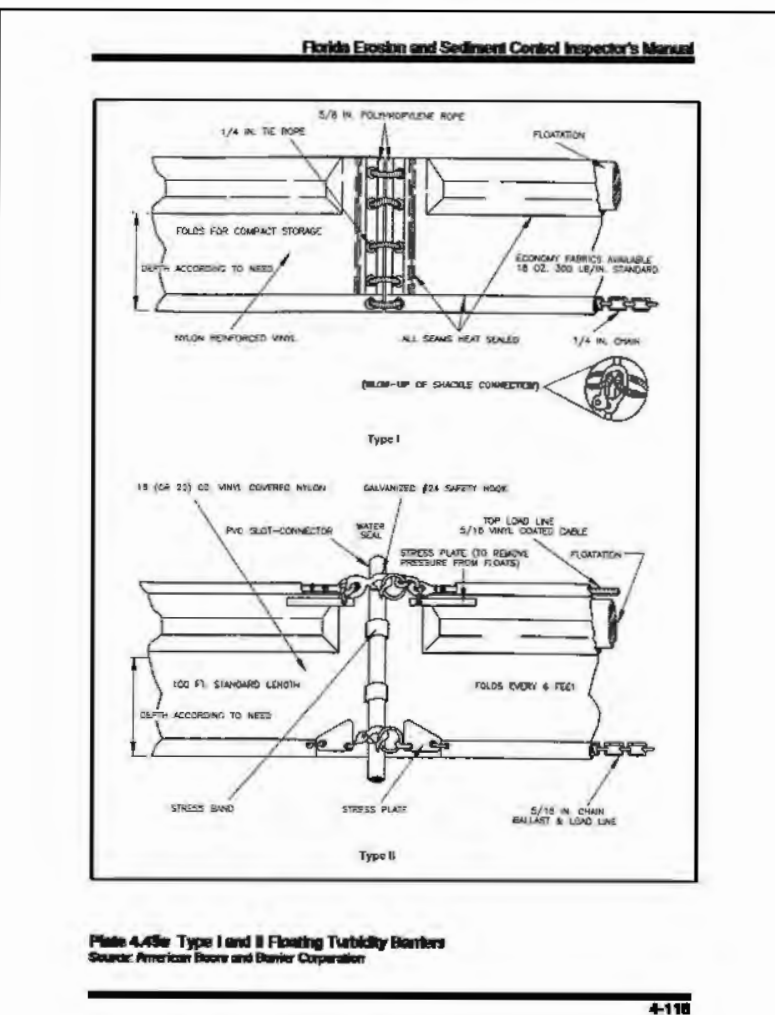
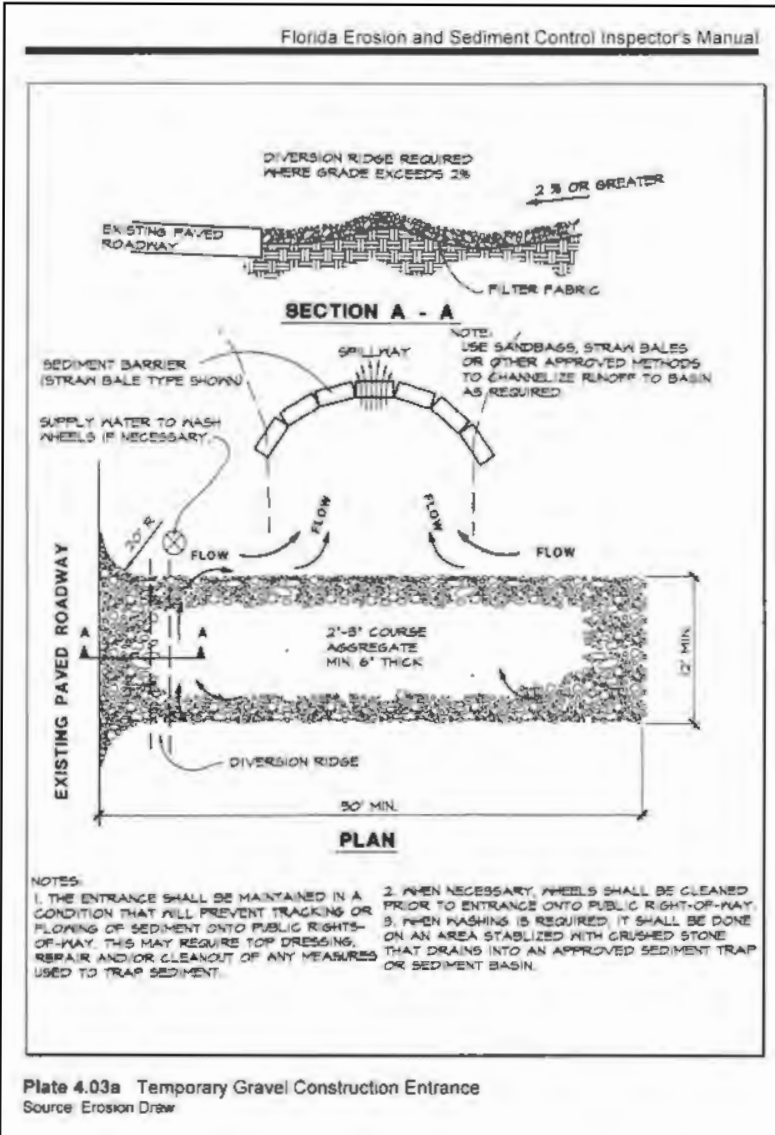
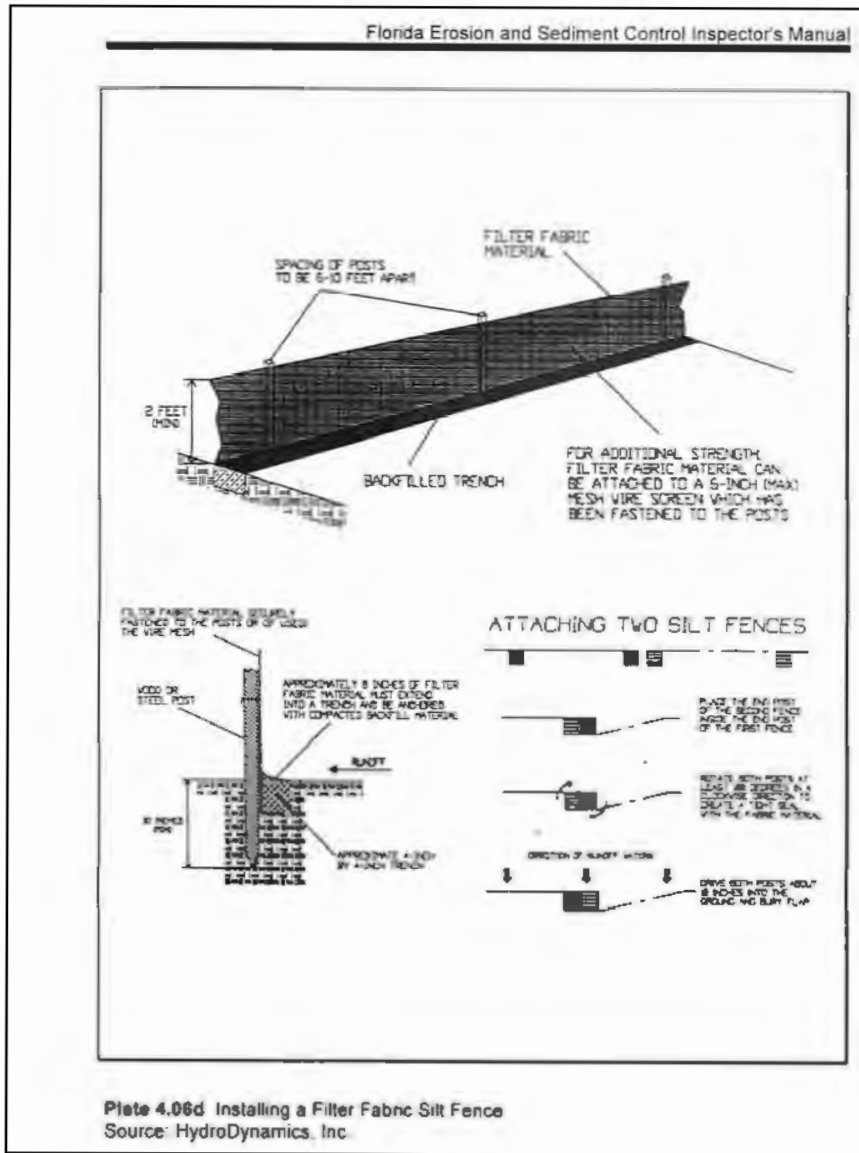
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Checked by: Mgr
Date: 11/05/19
Appr. by: Mgr

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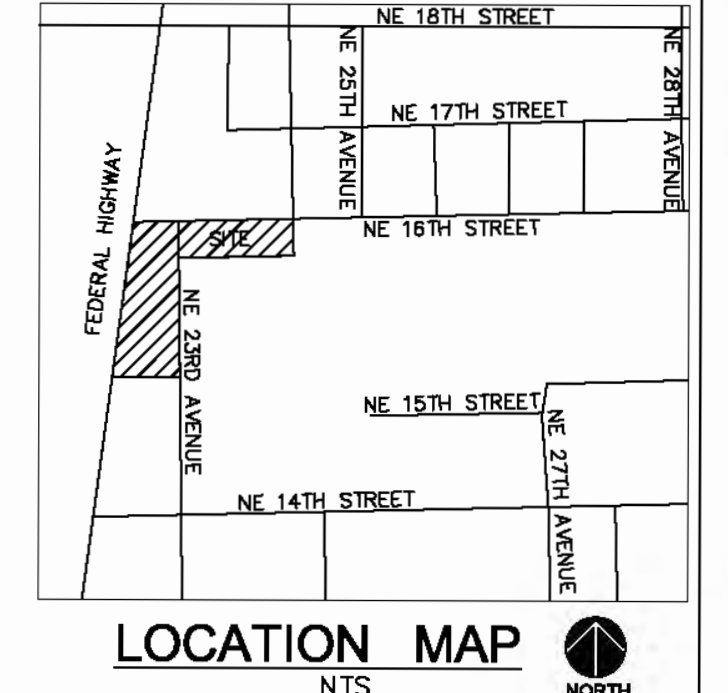
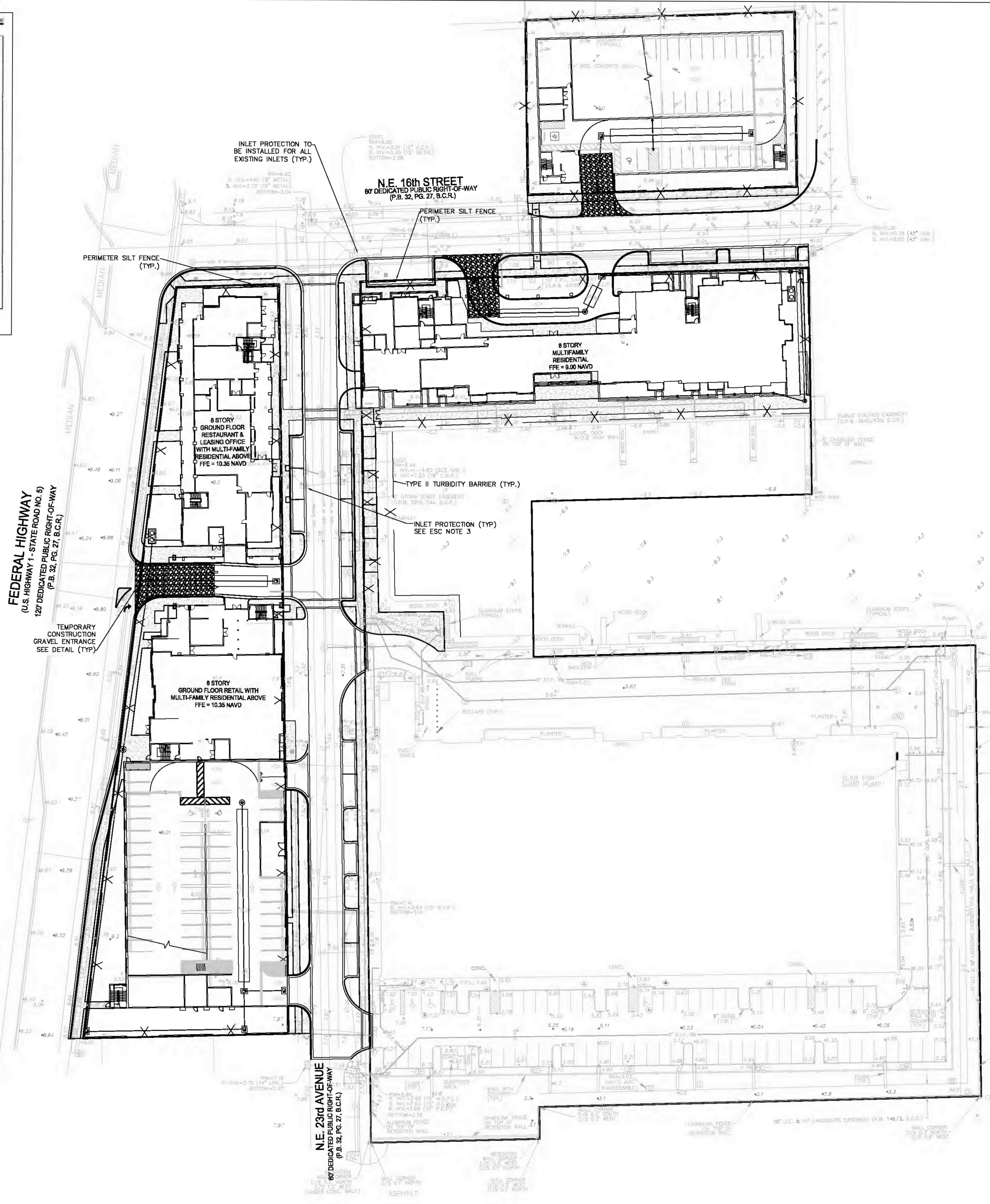
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PZ21-1300006
1/26/2022



NPDES
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- ESC NOTES:**
1. THIS PLAN REFLECTS THE ENGINEER'S SUGGESTION FOR EROSION AND SEDIMENT CONTROL. SITE OPERATOR TO MODIFY PLAN AS NEEDED TO MAINTAIN "BEST MANAGEMENT PRACTICES" DURING CONSTRUCTION.
 2. AT ALL TIMES DURING CONSTRUCTION, ALL STORMWATER MUST REMAIN ONSITE. NO DISCHARGE INTO THE PUBLIC RIGHT OF WAY OR ADJOINING PROPERTIES IS ALLOWED.
 3. DRAINAGE STRUCTURES INSTALLED TO BE PROTECTED WITH FILTER FABRIC AND/OR PERIMETER SILT FENCE.
 4. PROVIDE FILTER FABRIC OR OTHER METHOD OF SEDIMENT PROTECTION FOR ANY EXISTING CATCH BASIN/INLET WITHIN 100 FEET OF THE PROJECT AREA.
 5. ANY SEDIMENT THAT IS TRACKED ON TO ROADS MUST BE SWEEPED UP IMMEDIATELY.
 6. SEDIMENT SHALL NOT BE REMOVED BY WASHING/FLUSHING WITH WATER AT THE RIGHT OF WAY.
 7. PRIOR TO START OF CONSTRUCTION, AN ENGINEERING ROUGH INSPECTION MUST BE SCHEDULED TO VERIFY EROSION AND SEDIMENTATION CONTROL IS SETUP PROPERLY AND SO INSPECTOR CAN MONITOR SITE FOR CONSTRUCTION MITIGATION.

FLYNN ENGINEERING
241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
Ebf 6576

Sheet Title
CONCEPTUAL EROSION & SEDIMENT CONTROL PLAN

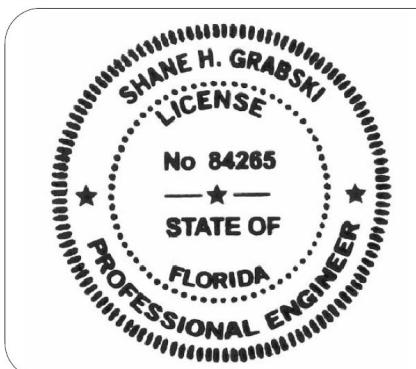
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POMPANO BEACH, FLORIDA 33062



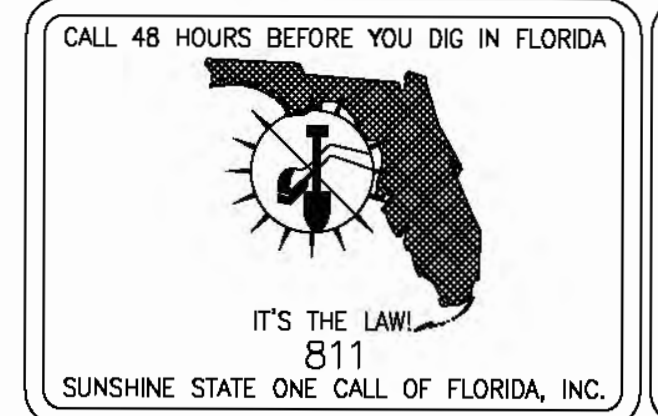
Revisions

No.	Description

Phase:
DRC DOCUMENTS
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Date: 2021.12.02 18:56:31 -0500



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VERTICAL DATUM CONVERSION
GRADING SHOWN UTILIZES N.A.V.D. 88
N.G.V.D. 29
N.A.V.D. 88
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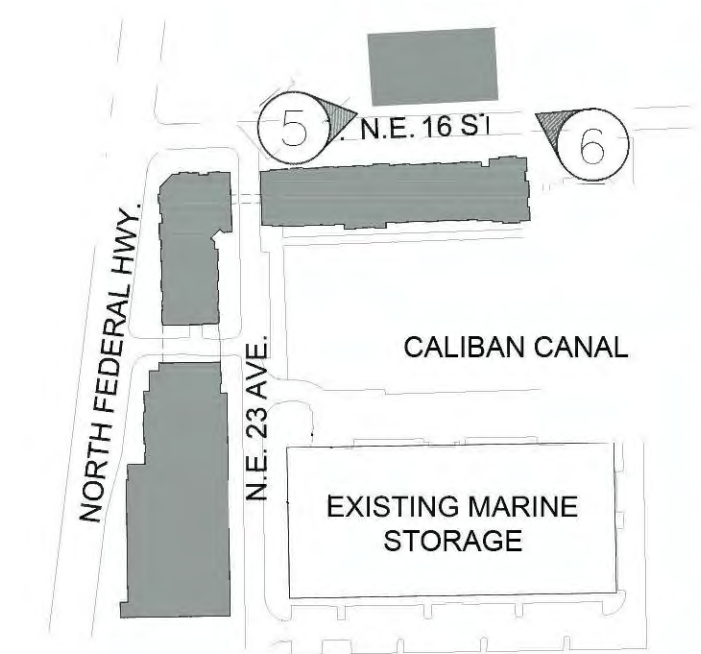
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Rev. No.: 12
Drawn by: MDI
Proj. Mgr.: Z
Appr. by: ESC
PZ21-13009.006
1/26/2022



5 VIEW LOOKING WEST FROM 16TH ST



6 VIEW LOOKING NORTH EAST FROM CORNER OF NE 16TH ST & NE 24TH TERR



KEYPLAN
SCALE: N.T.S.

MAJOR SITE PLAN RESUBMITTAL #1 11/12/201	BY

HARBORSIDE AT
HIDDEN HARBOUR
FOR:
AMP IV-HIDDEN HARBOUR, LLC
LOCATED AT:
POMPANO BEACH, FLORIDA

BEATRIZ M. HERNANDEZ
AR0094576

MSA ARCHITECTS, INC.
AACC000895
8950 SW 74th COURT
MIAMI, FLORIDA 33156
(305) 273-9911

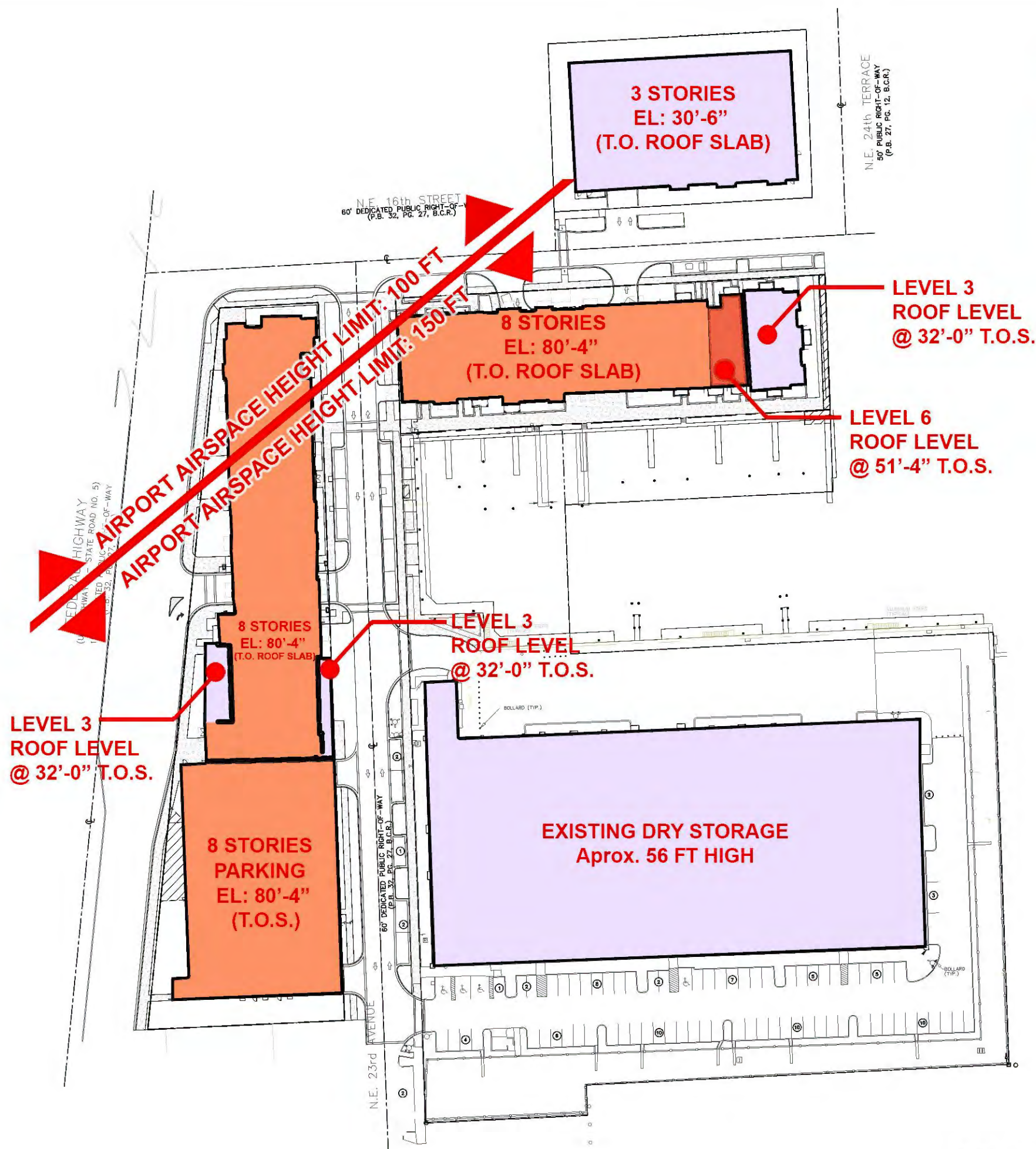
MSA ARCHITECTS
ARCHITECTURE & PLANNING

ARCHITECT'S BUILDING CODE STATEMENT: TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.
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DRAWN	-/-
DATE	
SCALE	AS SHOWN
JOB NO.	1828
SHEET	

RENDERING

NO. TO SCALE: **P&Z** SHEET NUMBER: **PZ21-13000006-3.7**
1/26/2022



LEGEND

- 8 STORIES
- 6 STORIES
- 1-3 STORIES

P & Z

PZ21-13000006

1/26/2022

AIRPORT AIRSPACE HEIGHT LIMIT DIAGRAM
SCALE: N.T.S.

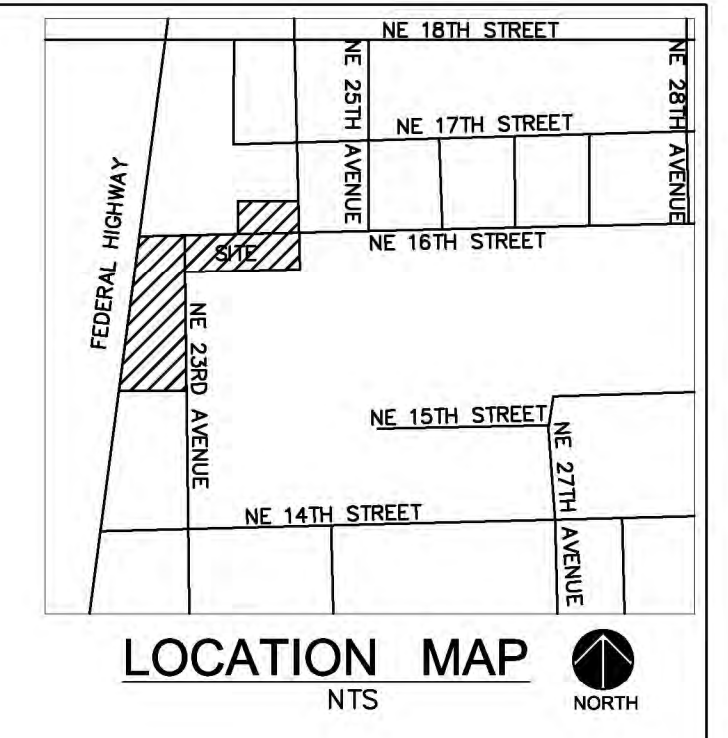
<p style="font-weight: bold; font-size: 12px;">MSA ARCHITECTS</p> <p style="font-size: 8px;">ARCHITECTURE & PLANNING</p> <p style="font-size: 8px;">FOR: AMP IV-HIDDEN HARBOUR, LLC LOCATED AT: POMPANO BEACH, FLORIDA</p> <p style="font-size: 8px;">BEATRIZ M. HERNANDEZ AR0094576</p>	<p style="font-size: 8px;">ARCHITECT'S BUILDING CODE STATEMENT TO THE BEST OF THE ARCHITECT'S KNOWLEDGE THE PLANS AND SPECIFICATIONS COMPLY WITH THE FLORIDA BUILDING CODE SIXTH EDITION (2017) AND THE APPLICABLE FIRE SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY AND CHAPTER 633 FLORIDA STATUTES.</p> <p style="font-size: 8px;">NOTE: - ALL BUILDINGS SHALL INCORPORATE A - ALL SYSTEMS IN BOTH BUILDING - ALL FOR FDC AND ALL CIVIL SITE - ALL</p> <p style="font-size: 8px;">DRAWN: -/-/ DATE: -/-/ SCALE: AS SHOWN JOB NO.: 1828 SHEET NO.: SHEET TITLE: DIAGRAMS SHEET NUMBER: EX - K</p>
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Drawing name: F:\2005_jobs\05-0606.06\05-0606.06 SITE PD.dwg
 Dec 02, 2021 - 6:37pm

FEDERAL HIGHWAY
 (U.S. HIGHWAY 1 - STATE ROAD NO. 5)
 120' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)

NE 16th STREET
 60' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)

N.E. 23rd AVENUE
 60' DEDICATED PUBLIC RIGHT-OF-WAY
 (P.B. 32, PG. 27, B.C.R.)



FLYNN ENGINEERING
 241 COMMERCIAL BLVD., LAUDERDALE-BY-THE-SEA, FL 33308
 PHONE: (954) 522-1004 | WWW.FLYNNENGINEERING.COM
 EBY 6578

Sheet Title
TRUCK EXHIBIT

Job Title
HIDDEN HARBOR
 POMPANO BEACH, FLORIDA 33062



Revisions

Phase:
 DRC
 DOCUMENTS

Shane H. Grabski

Digitally signed by Shane H. Grabski
 DN: cn=US, o=Flynn Engineering Services P.A., email=shg@flynn-engineering.com, c=FL, ou=Shane H. Grabski
 Date: 2021.12.02 18:58:05 -0500

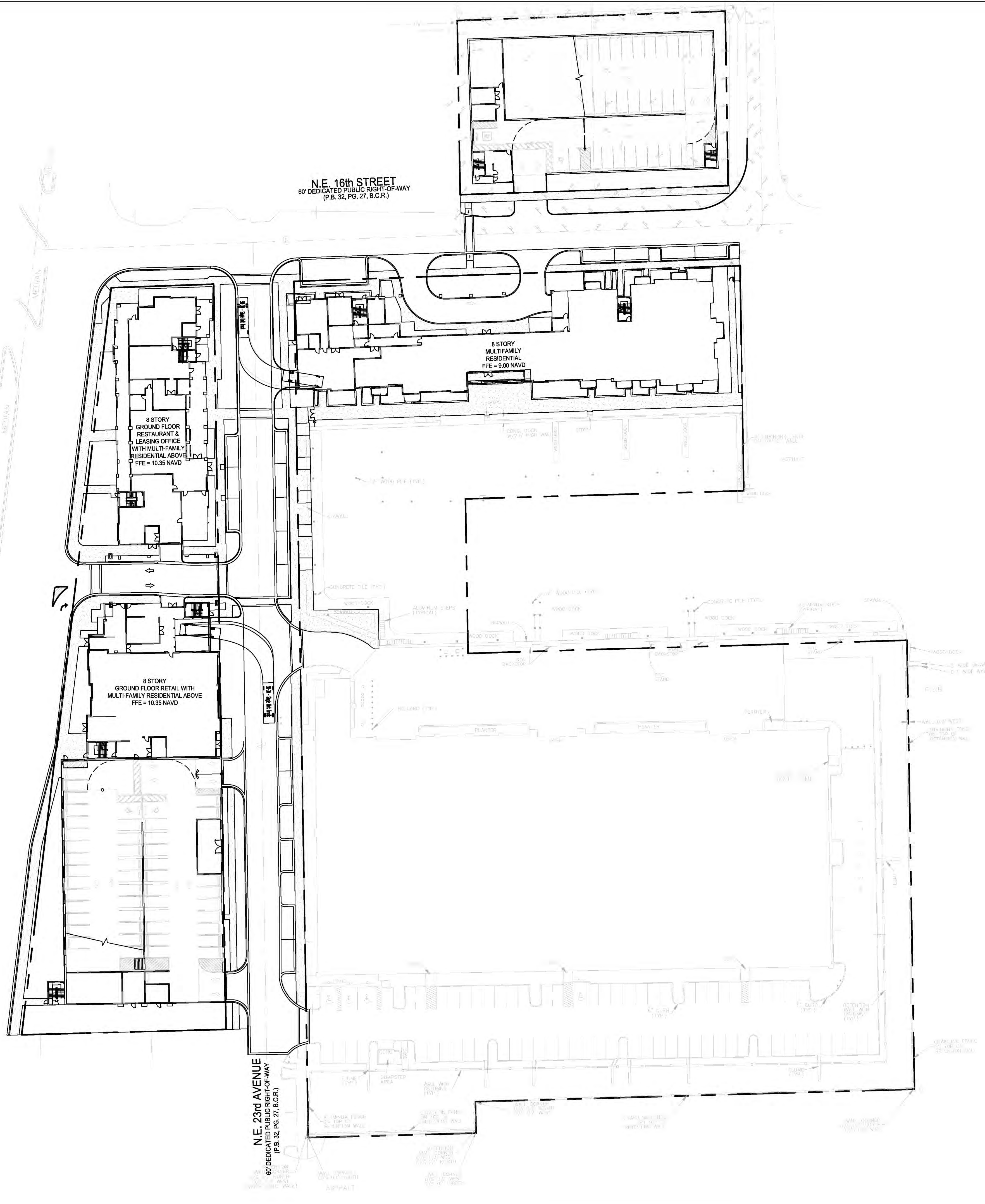
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 Date: 09/28/21

Job No. 05-0606.07
 Date: 12/21/21

Drawn by SHG
 Project Manager SHG
 Date: 12/21/21

Sheet No. TX-1
 of X

- LEGEND:**
- 0.00 PROPOSED ELEVATION (NAVD)
 - 2.56 EXISTING ELEVATION (NAVD)
 - PROPOSED CATCH BASIN
 - PROPOSED PLUG
 - TEE
 - WATER METER
 - DOUBLE DETECTOR CHECK W/ WAFER CHECK VALVE ON DOWNSTREAM SIDE
 - REDUCED PRESSURE BACKFLOW PREVENTOR
 - DIRECTIONAL FLOW ARROW AND GRAVITY SEWER
 - PROPOSED MANHOLE
 - W - WATER MAIN
 - FM - SANITARY FORCE MAIN
 - VALVE
 - FIRE HYDRANT
 - SIAMASE CONNECTION
 - CLEANOUT
 - EDGE OF PROPOSED PAVEMENT (ASPHALT)
 - DIRECTION OF SURFACE DRAINAGE
 - SAMPLE POINT
 - EXIST. WATER MAIN
 - EXIST. UTILITY LINE TO BE REMOVED



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY SHANE H. GRABSKI, P.E. ON Dec 02, 2021

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PZZT-1300006
 1/26/2022