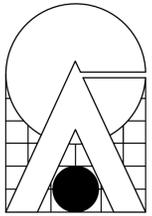


BLANCHE ELY HOUSE RENOVATION

CITY OF POMPANO BEACH

1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA



CARTAYA & ASSOCIATES ARCHITECTS P.A.

2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

REGAL AA 0001388

PROJECT: BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

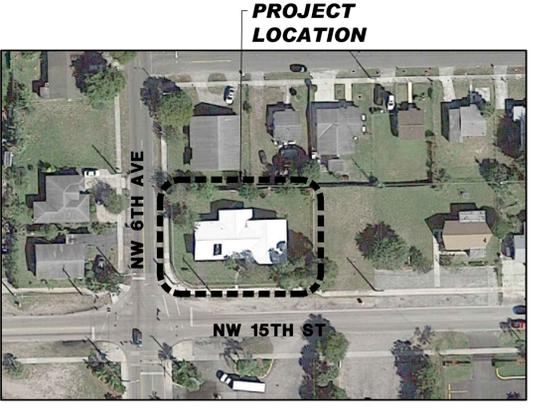
THESE PLANS, SPECIFICATIONS, AND NOTES ARE THE PROPERTY OF CARTAYA & ASSOCIATES ARCHITECTS P.A. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION FROM CARTAYA & ASSOCIATES ARCHITECTS P.A. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT'S OFFICE. ALL DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS AND NOTIFY THE ARCHITECT IMMEDIATELY PRIOR TO THE BEGINNING OF THE WORK. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE DIMENSIONS.

REVISIONS
Δ 02/17 B.D. COMMENTS

DATE: JUNE 27, 2017
DRAWN BY: J.S.
CHECKED BY: J.J.

TITLE: COVER SHEET
JOB NO: 1720

SHEET: COV
1 OF 1

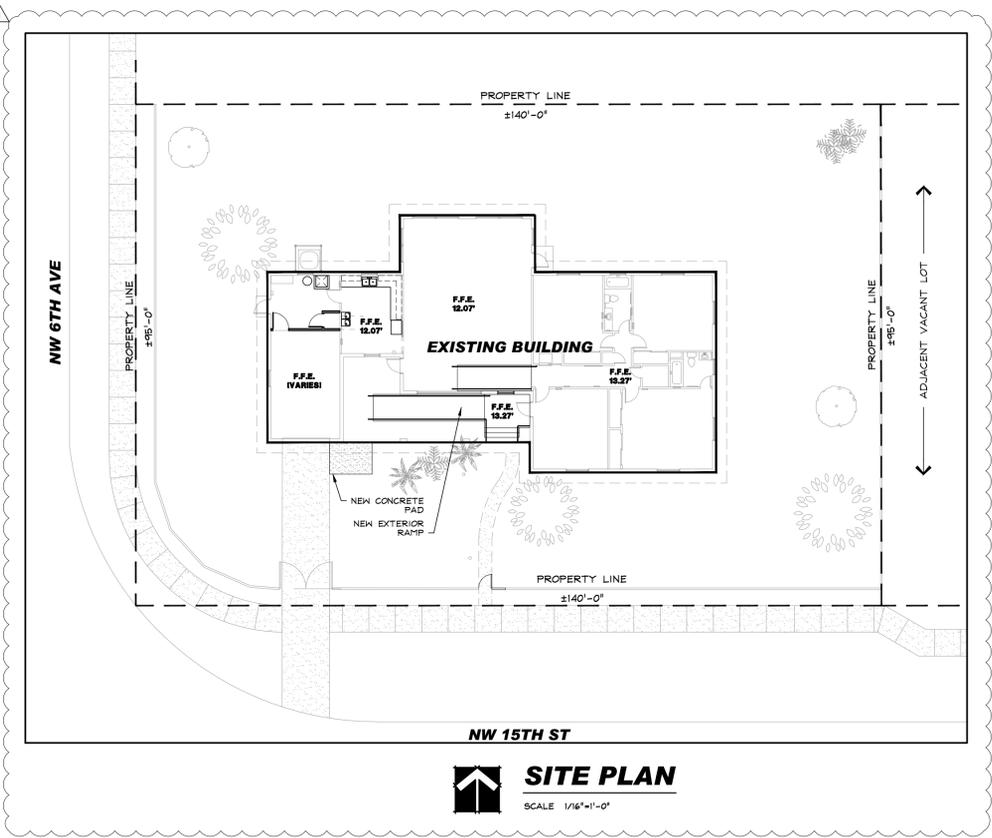


LOCATION PLAN
SCALE: N.T.S.

LEGAL DESCRIPTION

ALL OF LOTS 15, 16, AND 17 BLOCK 2, OF THE PLAT OF " SANDERS PARK" AS RECORDED IN PLAT BOOK 31, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE DESCRIBED LAND HEREON LYING IN THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA CONTAINING 19,866 SQUARE FEET (0.456 ACRES). MORE OR LESS.



SITE PLAN
SCALE: 1/16"=1'-0"

- GENERAL NOTES**
- WHERE REQUIRED FOR NEW WORK, PREPARE EXISTING CONDITION TO RECEIVE NEW WORK.
 - ANY DISRUPTION IN CONTINUITY OF EXISTING UTILITIES TO THIS BUILDING OR FACILITIES IN THE AREA SHALL BE COORDINATED WITH THE OWNER ONE WEEK IN ADVANCE OF DISRUPTION. UTILITIES SHALL BE RESTORED IMMEDIATELY.
 - DUE TO THE NATURE OF WORK INVOLVED IN RENOVATIONS, UNFORESEEN CONDITIONS MAY ARISE DURING CONSTRUCTION. ANY UNFORESEEN CONDITION THAT AFFECTS THE PROGRESS OF THE WORK SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND OWNER FOR REVIEW AND RESOLUTION.
 - GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL COMPLETE ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF APPLICABLE LAWS, CODES, REGULATIONS AND BEST STANDARDS OR PRACTICE AND SAFETY.
 - EXISTING CONDITIONS HAVE BEEN DRAWN FROM LIMITED FIELD MEASUREMENTS AND OBSERVATIONS. GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS PRIOR TO EXECUTION OF CONSTRUCTION. NOTIFY ARCHITECT AND OWNER OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
 - GENERAL CONTRACTOR SHALL CLEAR PROJECT SITE OF ALL TRASH, RUBBISH AND DEBRIS AT LEAST WEEKLY. DISPOSE OF ALL WASTE MATERIAL IN A LEGAL MANNER. USE OF BUILDING TRASH DUMPSTER IS NOT PERMITTED. GENERAL CONTRACTOR SHALL PROVIDE HIS OWN DUMPSTER.
 - GENERAL CONTRACTOR TO PROVIDE MEASURES TO CONTROL DUST IN THE BUILDING AND ON THE SITE.
 - GENERAL CONTRACTOR SHALL MAINTAIN THE INTEGRITY OF ALL SYSTEMS IN AND AROUND THE AREA OF WORK DURING CONSTRUCTION.
 - GENERAL CONTRACTOR SHALL PROTECT ALL EXISTING FINISHES, SURFACES, FIXTURES, ETC. IN OR AROUND THE WORK AREA THAT ARE TO REMAIN. ANY ITEMS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT NO COST TO OWNER.
 - INSTALL ALL ITEMS IN STRICT ACCORDANCE WITH MANUFACTURERS PRINTED INSTRUCTIONS AND REVIEWED SUBMITTALS. UPON COMPLETION PERFORM ALL REQUIRED TESTS AND OBTAIN ALL REQUIRED APPROVALS.

DRAWING INDEX

COV	COVER SHEET SURVEY 1 OF 2 SURVEY 2 OF 2		
ARCHITECTURE		STRUCTURE	ELECTRICAL
LS-1	LIFE SAFETY PLAN	S0-101	GENERAL NOTES
D-1	DEMOLITION - GROUND LEVEL FLOOR PLAN	S1-101	FOUNDATION AND FRAMING PLAN
A-1	GROUND FLOOR PLAN	S2-101	SECTIONS AND DETAILS
A-2	REFLECTED CEILING PLAN, INTERIOR ELEVATIONS, DETAILS AND SCHEDULES	S2-102	SECTIONS AND DETAILS
A-3	EXTERIOR ELEVATIONS	MECHANICAL	PLUMBING
		M-1	INDEX, DETAILS, SCHEDULES, LEGEND AND NOTES
		M-2	Mechanical INDEX, LEGEND AND NOTES
			P-2
			P-3

CARTAYA & ASSOCIATES ARCHITECTS, P.A. (ARCHITECTURE)
2400 E. COMMERCIAL BLVD. SUITE 201 FT. LAUDERDALE, FL. 33308 954-771-2724

THORNTON TOMASETTI, INC. (STRUCTURE)
101 NE 3RD AVE, FORT LAUDERDALE, FL 33301 954-903-9300

DELTA G CONSULTING ENGINEERS (MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION)
707 NE 3RD AVE #200, FORT LAUDERDALE, FL 33304 954-527-1112

PERMIT SET - 06/27/2017

Y:\2017 Proj\6658\1720\ARCH\1720_A-C_COV.dwg, 8/28/2017 10:54:32 AM, ees@cmrto

LEGEND:

A/C	AIR CONDITIONER
B.C.R	BROWARD COUNTY RECORDS
BLDG.	BUILDING
BM	BENCHMARK
CB	CATCH BASIN
C.B.S	CONCRETE BLOCK STRUCTURE
CMP	CORRUGATED METAL PIPE
CONC.	CONCRETE
D.B.	DEED BOOK
DIP	DUCTILE IRON PIPE
ELEV.	ELEVATION
F.F.	FINISHED FLOOR
ICV	IRRIGATION CONTROL VALVE
INV.	INVERT
IR/C	IRON ROD AND CAP
LB	FLORIDA LICENSED BUSINESS NUMBER
O.R.B	OFFICIAL RECORDS BOOK
PK/D	PARKER-KALON NAIL AND DISC
R/W	RIGHT OF WAY
P.B.	PLAT BOOK
PG.	PAGE
TYP.	TYPICAL
	A/C UNIT
	BENCHMARK
	CATCH BASIN
	CONCRETE LIGHT POLE
	CONCRETE UTILITY POLE
	DOUBLE POST SIGN
	DECORATIVE LIGHT POLE
	NATURAL GAS VALVE
	GUY ANCHOR
	HANDICAP PARKING
	PALM TREE
	STORM DRAIN MANHOLE
	SHADE TREE
	SINGLE POST SIGN
	SANITARY SEWER CLEANOUT
	SPRINKLER HEAD
	SANITARY SEWER MANHOLE
	CONCRETE SPAN POLE
	WOOD UTILITY POLE
	WATER VALVE
	WOOD FENCE
	METAL FENCE
	OVERHEAD LINES

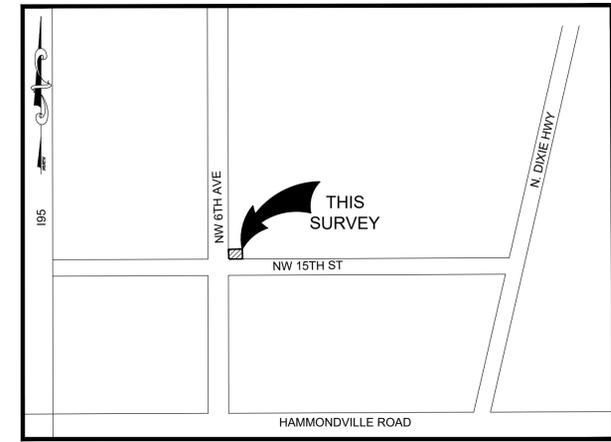
LEGAL DESCRIPTION:

ALL OF LOTS 15 AND 16, BLOCK 2, OF THE PLAT OF "SANDERS PARK" AS RECORDED IN PLAT BOOK 31, PAGE 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF THE DESCRIBED LAND HEREON LYING IN THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA CONTAINING 13,866 SQUARE FEET (0.318 ACRES), MORE OR LESS.

SURVEY NOTES:

1. THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY CLIENT.
2. UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
3. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
4. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS OR OTHER INSTRUMENTS OF RECORD.
5. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.
6. BEARINGS SHOWN HEREON ARE ASSUMED AND ARE BASED ON A REFERENCE BEARING OF SOUTH 88°17'32" WEST ALONG THE SOUTH LINE OF SANDERS PARK PLAT, P.B 31, PG. 49, OF THE PUBLIC RECORDS OF BROWARD COUNTY.
7. IT IS A VIOLATION OF THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
8. THIS SURVEY IS CLASSIFIED AS COMMERCIAL/HIGH RISK AND EXCEEDS THE MINIMUM RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 10,000 FEET AS REQUIRED BY THE STANDARDS OF PRACTICE (5J-17, F.A.C.). THE ACCURACY OBTAINED BY MEASUREMENT AND CALCULATION OF A CLOSED GEOMETRIC FIGURE WAS FOUND TO EXCEED THIS REQUIREMENT.
9. THE INTENDED DISPLAY SCALE OF THIS SURVEY IS 1" = 10' OR SMALLER.
10. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS +/- 0.02' FOR HARD SURFACE ELEVATIONS AND 0.1' FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL LOCATION ACCURACY IS +/- 0.1'.
11. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL WHICH MAY HAVE BEEN ALTERED FOR CLARITY. ALL MAPPED FEATURES SHOWN HEREON WERE OBTAINED BY KEITH & ASSOCIATES, INC. FOR THE PURPOSE OF THIS SURVEY. DISTANCES SHOWN HEREON ARE IN U.S. FEET.
12. THE HORIZONTAL DATUM FOR THIS SURVEY IS THE NORTH AMERICAN DATUM OF 1983 WITH THE NATIONAL SPATIAL REFERENCE SYSTEM 2011 ADJUSTMENT APPLIED (83/NSRS2011), TRANSVERSE MERCATOR, FLORIDA EAST ZONE.
13. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 1988). ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARKS "023", A BRASS DISK IN CONCRETE LOCATED 73 FEET WEST OF THE CENTERLINE OF NW THIRD AVENUE AND 35 FEET NORTH OF THE CENTERLINE OF NW 15TH STREET (ELEVATION=15.23'), AND "Y 225", A BRASS DISK ON A METAL PIPE LOCATED 67 FEET SOUTH OF THE EXTENDED CENTERLINE OF NW 15TH STREET AND 52.5 FEET EAST OF THE EAST RAIL OF THE FLORIDA EAST COAST RAILROAD TRACK (ELEVATION=19.18').
14. THE OWNERSHIP OF FENCES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
15. THE LANDS SHOWN WITHIN THE BOUNDARY ARE LOCATED IN FEMA FLOOD ZONE "X" (0.2% ANNUAL CHANCE) PER FLOOD MAP NUMBER 12011C0357H, PANEL 357, WITH AN EFFECTIVE DATE OF AUGUST 18, 2014.



LOCATION SKETCH

NOT TO SCALE

CERTIFICATION:

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON AUGUST 31, 2017 MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC.
CONSULTING ENGINEERS

LEE POWERS
PROFESSIONAL SURVEYOR AND MAPPER
REGISTRATION No. 6805
STATE OF FLORIDA

DATE	REVISION	BY
08/31/17	ADD FEMA FLOOD ZONE NOTE	LP

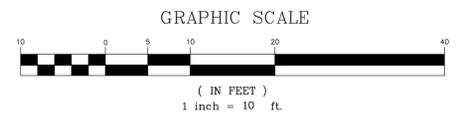
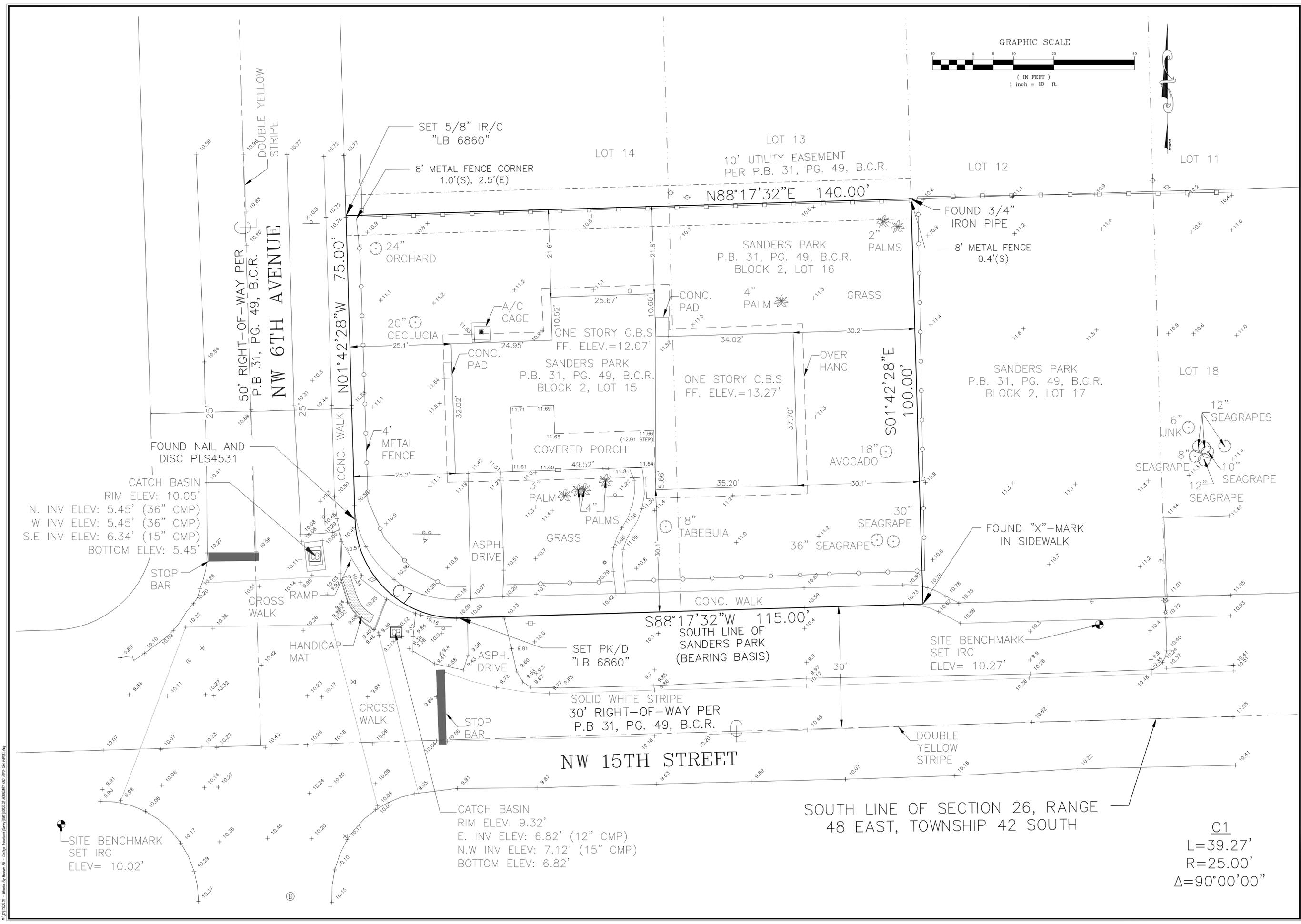
DATE	08/31/17
SCALE	1" = 10'
FIELD BOOK	693
DRAWN BY	EZ
CHECKED BY	LP

KEITH & ASSOCIATES, INC.
consulting engineers
301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@keith-associates.com LB NO. 6860

**BLANCHE ELY MUSEUM
BOUNDARY AND TOPOGRAPHIC SURVEY**

A PORTION OF
SECTION 26, TOWNSHIP 18 SOUTH, RANGE 42 EAST
P.B 31, PG. 49
CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA

SHEET	1	OF	2
PROJECT NUMBER	10020.02		



DATE	REVISION	BY

DATE	08/31/17
SCALE	1" = 10'
FIELD BOOK	693
DRAWN BY	EZ
CHECKED BY	LP

KEITH ASSOCIATES, INC.
consulting engineers
301 EAST ATLANTIC BOULEVARD
POMPANO BEACH, FLORIDA 33060-6643
(954) 788-3400 FAX (954) 788-3500
EMAIL: mail@keith-associates.com LB NO. 6860

BLANCHE ELY MUSEUM
BOUNDARY AND TOPOGRAPHIC SURVEY

A PORTION OF
SECTION 26, TOWNSHIP 42 SOUTH, RANGE 42 EAST
P.B. 31 PG. 49
CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA

C1
L=39.27'
R=25.00'
Δ=90°00'00"

SOUTH LINE OF SECTION 26, RANGE
48 EAST, TOWNSHIP 42 SOUTH

NW 15TH STREET

NW 6TH AVENUE

S88°17'32"W 115.00'
SOUTH LINE OF
SANDERS PARK
(BEARING BASIS)

N88°17'32"E 140.00'

S01°42'28"E
100.00'

N01°42'28"W 75.00'

50' RIGHT-OF-WAY PER
P.B. 31, PG. 49, B.C.R.

30' RIGHT-OF-WAY PER
P.B. 31, PG. 49, B.C.R.

SET 5/8" IR/C
"LB 6860"
8' METAL FENCE CORNER
1.0'(S), 2.5'(E)

FOUND 3/4"
IRON PIPE
8' METAL FENCE
0.4'(S)

FOUND NAIL AND
DISC PLS4531

FOUND "X"-MARK
IN SIDEWALK

CATCH BASIN
RIM ELEV: 9.32'
E. INV ELEV: 6.82' (12" CMP)
N.W INV ELEV: 7.12' (15" CMP)
BOTTOM ELEV: 6.82'

CATCH BASIN
RIM ELEV: 10.05'
N. INV ELEV: 5.45' (36" CMP)
W INV ELEV: 5.45' (36" CMP)
S.E INV ELEV: 6.34' (15" CMP)
BOTTOM ELEV: 5.45'

SITE BENCHMARK
SET IRC
ELEV= 10.02'

SITE BENCHMARK
SET IRC
ELEV= 10.27'

STOP BAR

STOP BAR

SET PK/D
"LB 6860"

CROSS WALK

CONC. WALK

ASPH. DRIVE

ASPH. DRIVE

GRASS

36" SEAGRAPE

30" SEAGRAPE

18" AVOCADO

18" TABEBUIA

GRASS

PALM

4" PALMS

COVERED PORCH

CONC. PAD

ONE STORY C.B.S.
FF. ELEV.=13.27'

SANDERS PARK
P.B. 31, PG. 49, B.C.R.
BLOCK 2, LOT 15

SANDERS PARK
P.B. 31, PG. 49, B.C.R.
BLOCK 2, LOT 16

4" PALM

GRASS

2" PALMS

8' METAL FENCE
0.4'(S)

FOUND 3/4"
IRON PIPE

LOT 12

LOT 13

LOT 14

LOT 11

LOT 18

SANDERS PARK
P.B. 31, PG. 49, B.C.R.
BLOCK 2, LOT 17

12" SEAGRAPES

6" UNK

8" SEAGRAPE

12" SEAGRAPE

10" SEAGRAPE

12" SEAGRAPE

11.5+

11.4+

11.3+

11.2+

11.1+

11.0+

11.0

11.0

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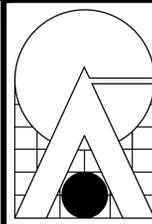
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CARTAYA & ASSOCIATES ARCHITECTS P.A.

2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

BEAU
AA 0001388

PROJECT:
BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

REVISIONS:
1 02/27/17 B.D. COMMENTS

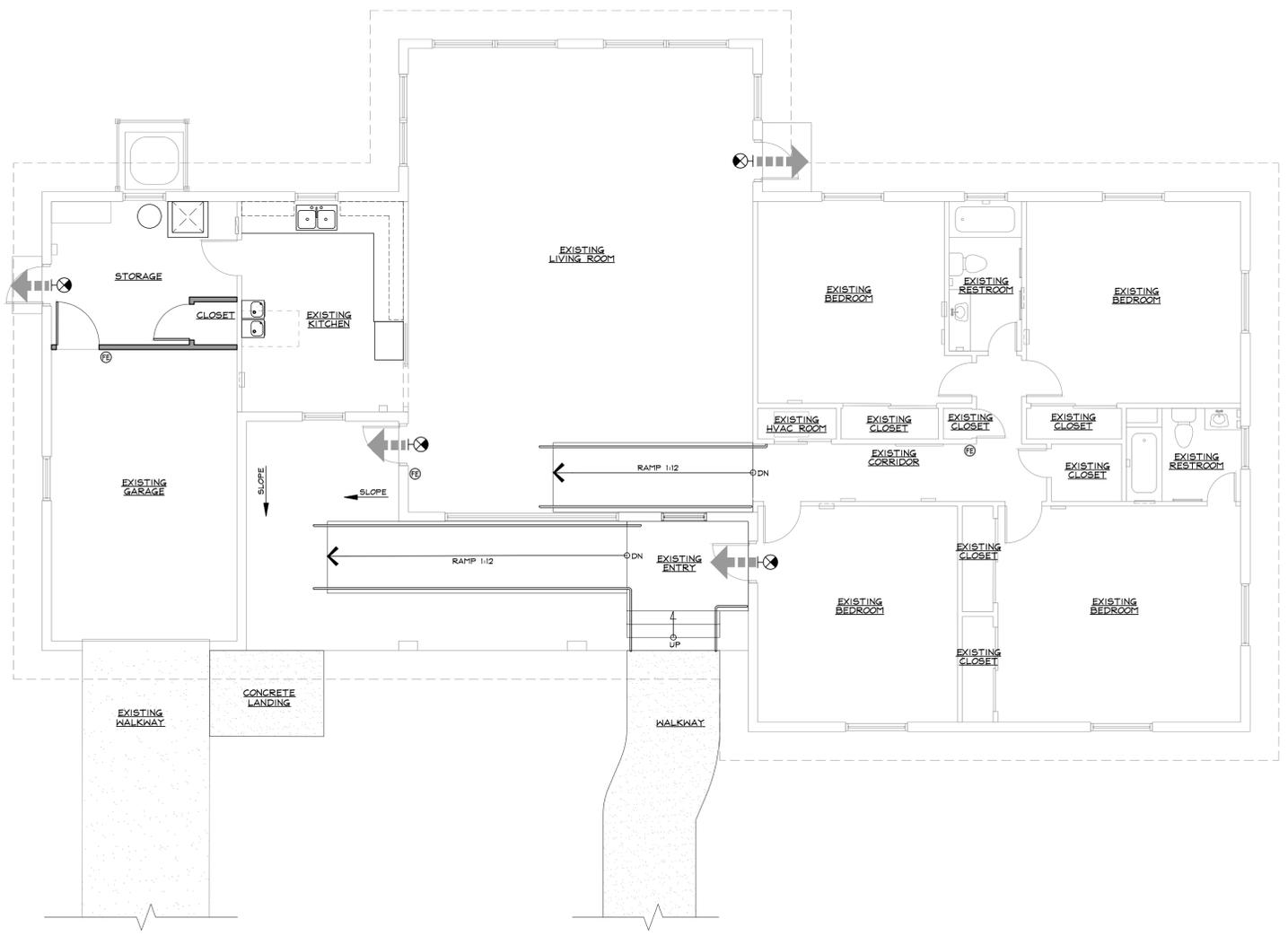
DATE: JUNE 27, 2017
DRAWN BY: LS
CHECKED BY: JJ

JOB NO: 1720

LS-1
1 of 1

PHASE 1	
APPLICABLE CODES	
<ul style="list-style-type: none"> FLORIDA BUILDING CODE-EXISTING 2014 5TH EDITION FLORIDA BUILDING CODE-RESIDENTIAL 2014 5TH EDITION. FLORIDA FIRE PREVENTION CODE 5TH EDITION 	
AREAS	
AIR CONDITIONED:	= 2,915 S.F.
NOT AIR CONDITIONED:	= 265 S.F.
TOTAL RENOVATION AREA:	= 3,180 S.F.
OCCUPANCY CLASSIFICATION	
ALTERATION LEVEL 2 - PHASE 1	
SITE ELEVATIONS	
FLOOD ZONE "X"	

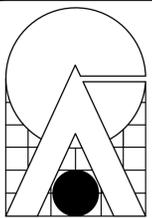
PHASE 2	
TYPE OF CONSTRUCTION: V-B	
OCCUPANCY CLASSIFICATION	
ASSEMBLY A-3	
PLUMBING FIXTURES	
OCCUPANCY CALCULATION:	
ASSEMBLY - GALLERY AND MUSEUM	1,252 SF/30 NET = 42
BUSINESS - REMAINING USABLE AREA	846 SF/100 GROSS = 9
TOTAL OCCUPANCY	51
REQUIRED PLUMBING FIXTURES:	
WATER CLOSETS	1 MALE 1 FEMALE
LAVATORIES	1
DRINKING FOUNTAINS	1
SERVICE SINK	1



LIFE SAFETY PLAN
SCALE 3/16" = 1'-0"

PERMIT SET - 06/27/2017

Y:\2017 Proj\66581720\ARCH\1720_LS-LIFE SAFETY PLAN.dwg, 5/29/2017 11:11:23 AM, eescanro



CARTAYA & ASSOCIATES ARCHITECTS P.A.

2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

SEAL
AA 0001888

PROJECT: **BLANCHE ELY HOUSE RENOVATION**
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

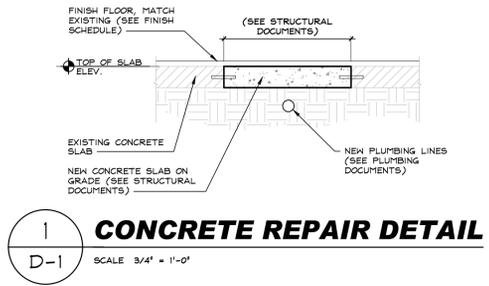
PERMIT SET - 06/27/2017
TITLE: **DEMOLITION - FLOOR PLAN**
DATE: JUNE 27, 2017
DRAWN BY: IJS
CHECKED BY: JJ

SHEET: **D-1**
1 OF 1

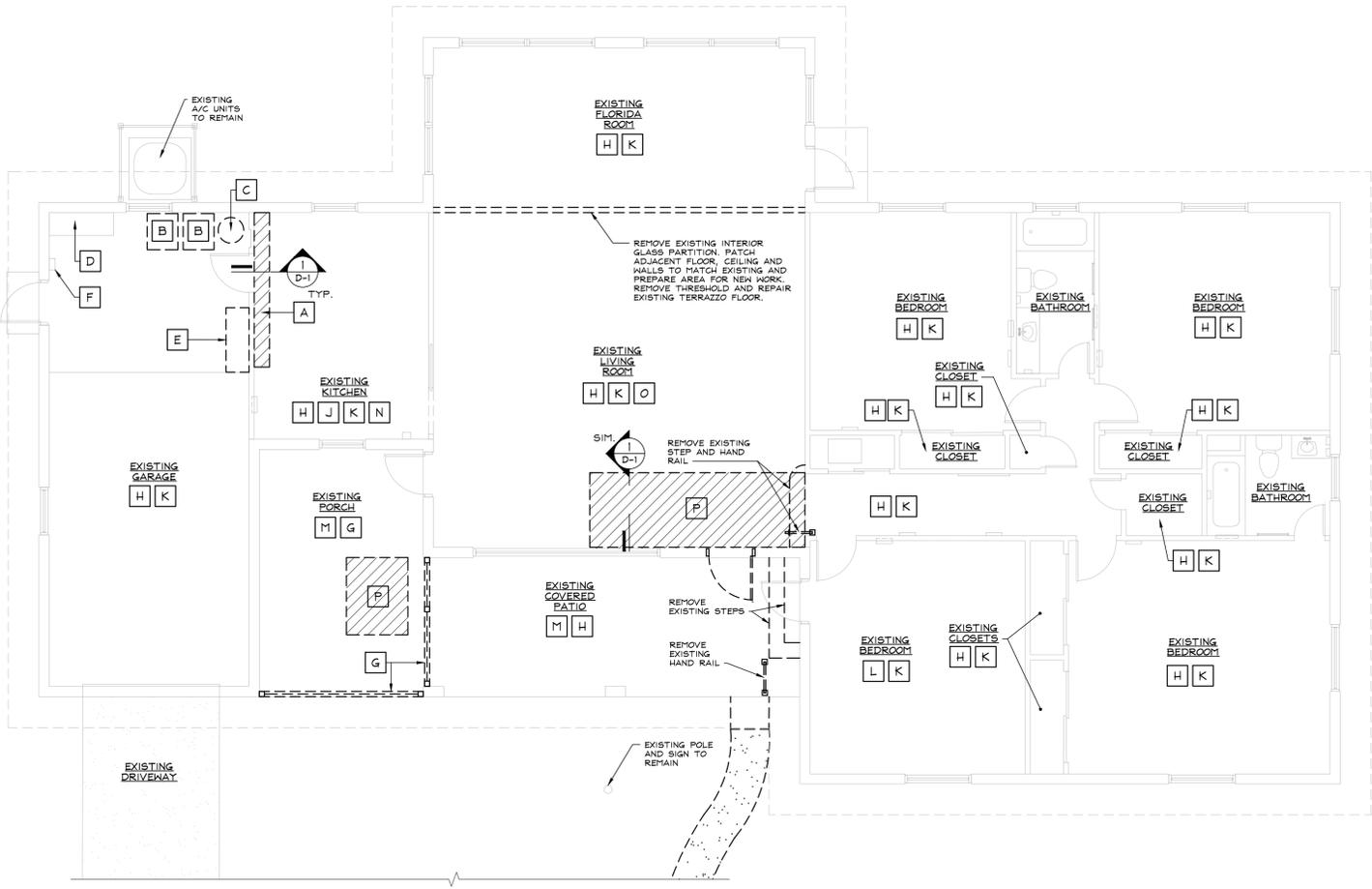
DEMOLITION GENERAL NOTES

- PROTECT EXISTING FLOORING, WALLS, CEILING, ETC THAT ARE TO REMAIN AT OR ADJACENT TO THE WORK AREA.
- REMOVE ANY OBSTRUCTIONS AND APPURTENANCES, WHETHER NOTED ON DEMOLITION DRAWINGS OR NOT, IF REQUIRED TO ACCOMMODATE NEW CONSTRUCTION. ALL ITEMS NOTED TO BE REMOVED SHALL BE REMOVED IN THEIR ENTIRETY WITH ALL ASSOCIATED APPURTENANCES.
- ALL AFFECTED SURFACES SHALL BE REPAIRED AS REQUIRED TO MATCH ADJACENT OR ADJOINING AREAS OF NEW CONSTRUCTION IN A SEAMLESS MANNER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COORDINATION AND PHASING OF DEMOLITION WORK AND NEW WORK TO AVOID UNNECESSARY DISRUPTION TO OWNERS FACILITY.
- ITEMS NOTED TO BE REMOVED FOR RE-USE SHALL BE CAREFULLY REMOVED AND STORED WITHOUT DAMAGE.
- CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND
- REPORT ANY DISCREPANCIES TO THE ARCHITECT AND OWNER.
- THE DEMOLITION PLAN IS GENERAL IN NATURE AND DOES NOT ATTEMPT TO INDICATE SMALLER INDIVIDUAL ITEMS WHICH MAY ALSO NEED TO BE REMOVED. THEREFORE THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE WHETHER SUCH NON-SPECIFIED ITEMS EXIST AND ARE TO BE REMOVED TO ACHIEVE THE OVERALL INTENT. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO BIDDING INCLUDING MECHANICAL, ELECTRICAL AND PLUMBING AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- LOCATE ALL EXISTING UTILITIES PRIOR TO START OF WORK.
- ALL CAPPED PLUMBING INCLUDING WATER & SEWER SHALL BE PRESSURE TESTED AND INSPECTED PRIOR TO COVERING THEM.
- PROTECT ALL EXISTING AREAS NOT INCLUDED FOR DEMOLITION FROM DUST AND DAMAGE, INCLUDING TEMPORARY ENCLOSURES DUST FILTERS AT ALL RETURN GRILLES AT MECHANICAL CHASE OR OTHER SUITABLE METHODS. ANY DAMAGE OCCURRING DURING DEMOLITION IS TO BE CORRECTED BY THE GENERAL CONTRACTOR AT THE TIME OF DAMAGE TO MATCH EXISTING CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- IT IS RESPONSIBILITY OF GENERAL CONTRACTOR TO REMOVE AND DISPOSE ANY TRASH.

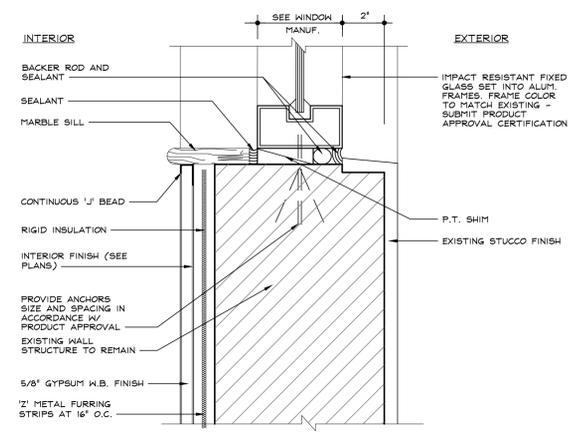
	EXISTING WALLS OR PARTITIONS TO REMAIN.		EXISTING DOOR AND FRAME TO REMAIN.
	EXISTING WALL TO BE REMOVED		EXISTING WINDOW AND FRAME TO REMAIN.
	APPROXIMATE EXTENT OF EXISTING CONCRETE SLABS TO BE REMOVED		EXISTING ROLL-UP DOOR TO REMAIN.
	EXISTING DOOR AND FRAME TO BE REMOVED		



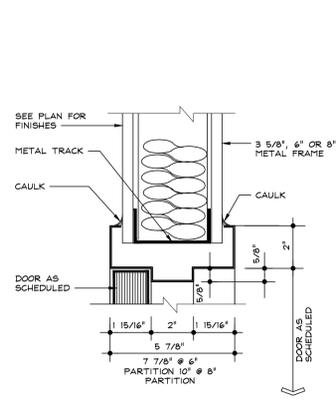
A	EXISTING CONCRETE SLAB TO BE REMOVED TO ACCOMMODATE NEW PLUMBING LINES.
B	EXISTING WASHER AND DRYER TO BE REMOVED. CAP PLUMBING LINES.
C	EXISTING WATER HEATER TO BE REMOVED AND REPLACED WITH NEW. (SEE PLUMBING DOCUMENTS).
D	EXISTING CABINETS TO REMAIN.
E	EXISTING CABINETS TO BE REMOVED.
F	IRRIGATION CONTROL TO REMAIN (SEE ELECTRICAL DOCUMENTS).
G	EXISTING SCREEN AND SCREEN FRAMING AT WALL AND ROOF TO BE REMOVED.
H	PATCH EXISTING GYPSUM W.B. CEILINGS AND PREPARE AREA FOR NEW WORK.
J	EXISTING VINYL FLOOR AND VINYL BASE TO BE REMOVED. PREPARE AREA FOR NEW WORK.
K	PATCH EXISTING GYPSUM W.B. WALLS AND PREPARE AREA FOR NEW WORK.
L	REMOVE AND REPLACE GYPSUM W.B. CEILING AND PREPARE AREA FOR NEW WORK.
M	REMOVE EXISTING FLOOR FINISH AS REQUIRED FOR ACCOMMODATE NEW RAMP. PATCH AND REPLACE FLOOR FINISH TO MATCH ADJACENT FINISH. PROVIDE POSITIVE SLOPE TO DRAIN.
N	PATCH EXISTING GYPSUM W.B. SOFFIT AND PREPARE AREA FOR NEW WORK.
O	PATCH EXISTING FLOOR FINISH AND PREPARE AREA FOR NEW WORK.
P	EXISTING CONCRETE SLAB TO BE REMOVED TO ACCOMMODATE NEW CONCRETE RAMP.



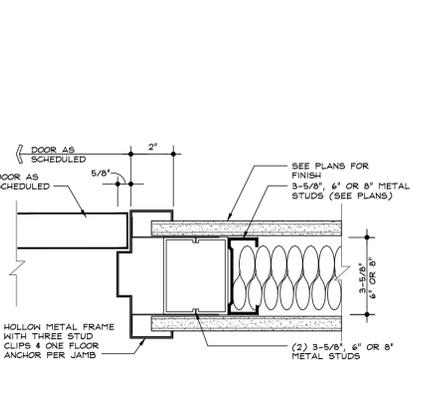
DEMOLITION - FLOOR PLAN
SCALE 3/16"=1'-0"



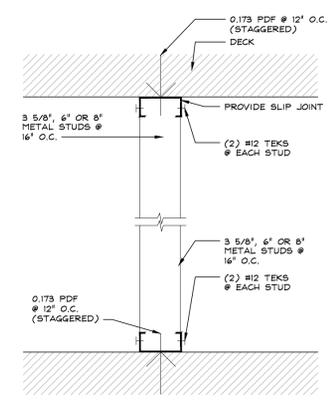
1 EXTERIOR WINDOW SILL DETAIL
SCALE 3" = 1'-0"



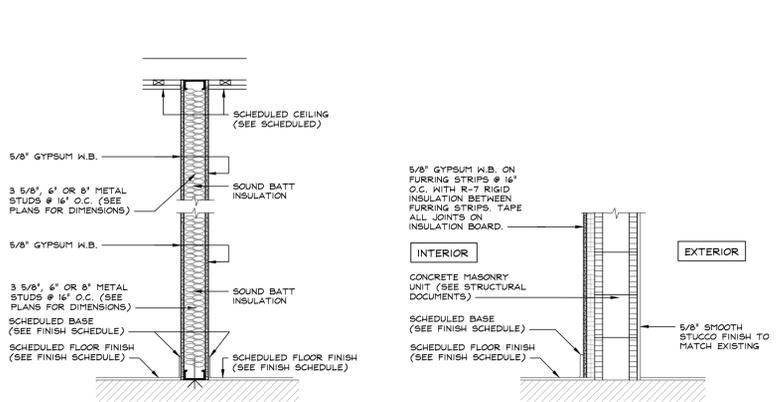
4 INTERIOR DOOR HEADER DETAIL
SCALE 3" = 1'-0"



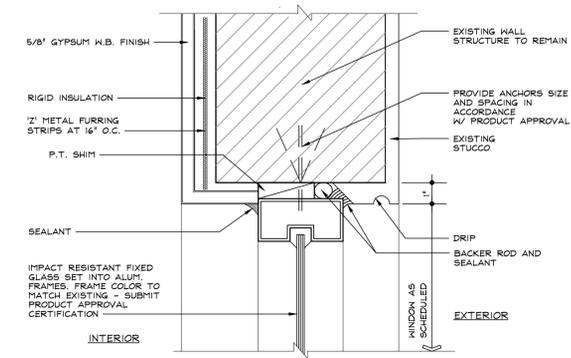
5 INTERIOR DOOR JAMB DETAIL
SCALE 3" = 1'-0"



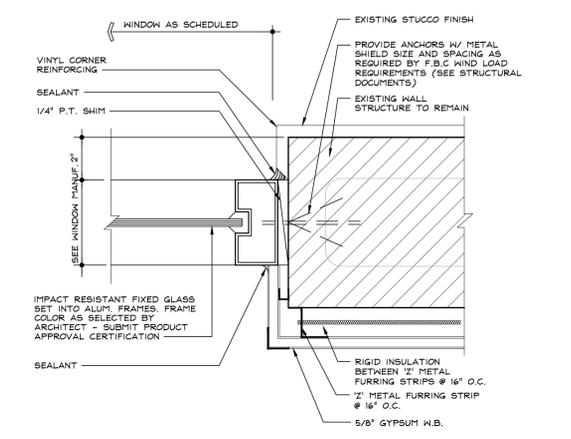
TYPICAL PARTITION FASTENING @ FLOOR
N.T.S.



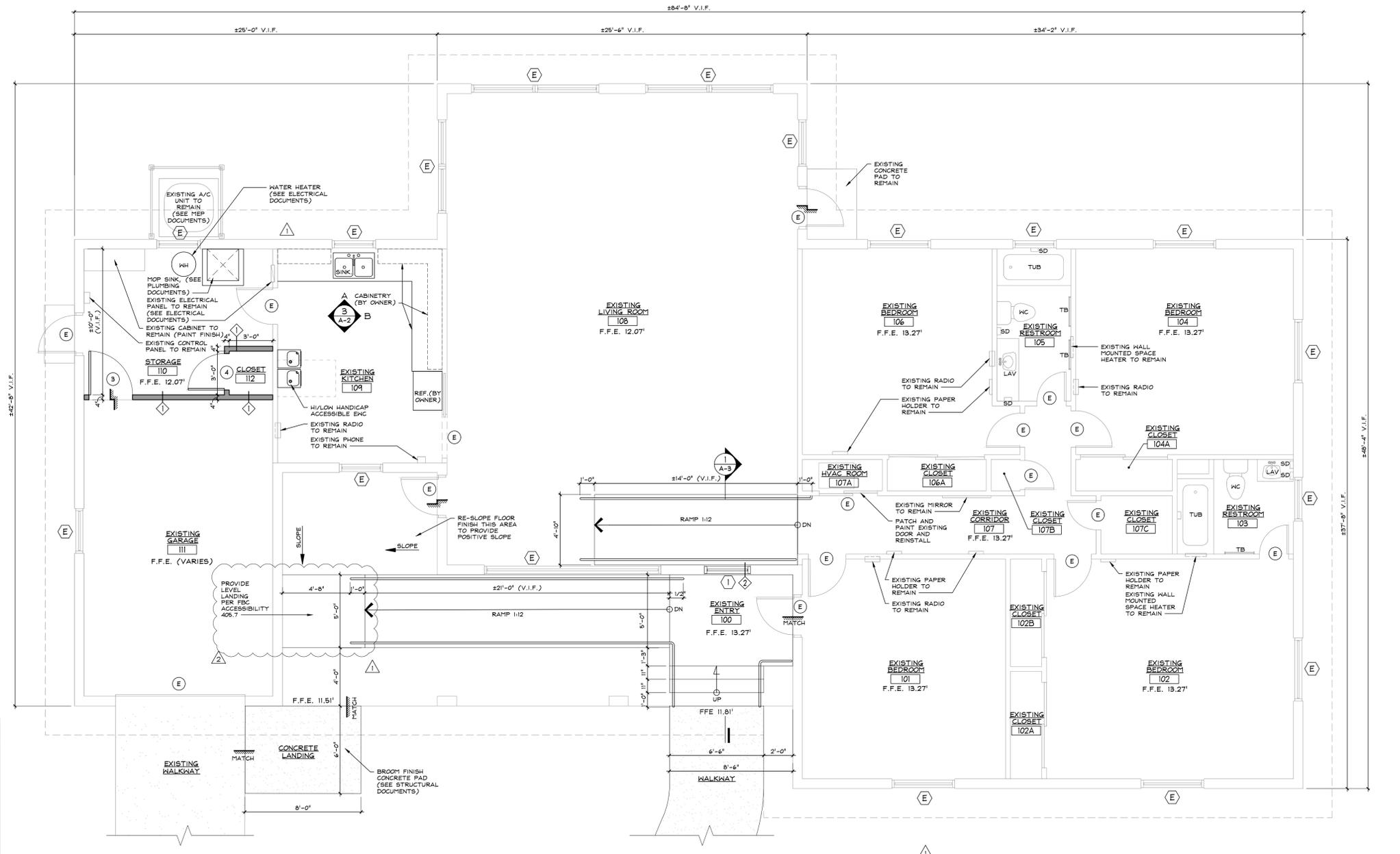
WALL TYPES
SCALE 3/4" = 1'-0"



2 EXTERIOR WINDOW HEAD DETAIL
SCALE 3" = 1'-0"



3 EXTERIOR WINDOW JAMB DETAIL
SCALE 3" = 1'-0"



FLOOR PLAN LEGEND		
[Symbol]	EXISTING COLUMNS/WALL AND PARTITION	FD FLOOR DRAIN
[Symbol]	NEW WALL OR PARTITION	FE FIRE EXTINGUISHER
[Symbol]	PARTITION, SEE WALL TYPES	FEC FIRE EXTINGUISHER CABINET
[Symbol]	INDICATES DOOR NUMBER, SEE DOOR SCHEDULE A-2	M.E.P. MECHANICAL, ELECTRICAL & PLUMBING
[Symbol]	INDICATES ELEVATIONS AND SECTIONS	M.O. MASONRY OPENING
[Symbol]	EW C ELECTRIC WATER COOLER	M.R. MOISTURE RESISTANT
		TYP. TYPICAL
		V.I.F. VERIFY IN FIELD
		E EXISTING

FLOOR PLAN
SCALE 1/4" = 1'-0"
NOTE: VERIFY ALL DIMENSIONS AT FIELD.

ALL LANDSCAPING PLANS SHALL BE PROVIDED IN PHASE II.



2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

RELU AA 0001388

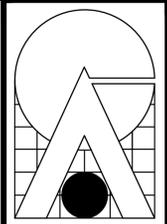
BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PERMIT SET - 06/27/2017

DATE: JUNE 27, 2017
DRAWN BY: JS
CHECKED BY: JJ

TITLE: FLOOR PLAN
JOB NO: 1720

SHEET: A-1
1 OF 3



CARTAYA & ASSOCIATES ARCHITECTS P.A.

2400 E. COMMERCIAL BLVD. SUITE 201
FT. LAUDERDALE, FLORIDA 33308
954-771-2724

RELU AA 0001388

BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PERMIT SET - 06/27/2017

REVISIONS
1. 6/27/17 B.D. COMMENTS
2. 6/27/17 B.D. COMMENTS

DATE: JUNE 27, 2017
DRAWN BY: J.S.
CHECKED BY: J.J.

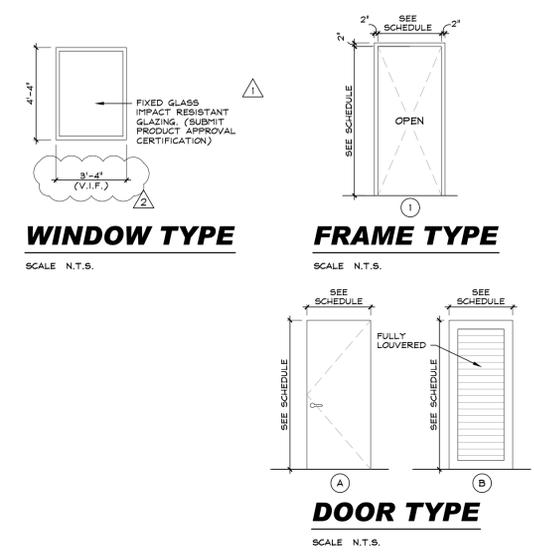
JOB NO. **1720**

SHEET: **A-2**
2 OF 3

FINISH SCHEDULE						
NO.	ROOM	FLOOR	BASE	WALLS	CEILING	REMARKS
100	EXISTING ENTRY	CONCRETE BROOM FINISH	-	PATCH AND PAINT EXTERIOR WALL	PATCH AND PAINT EXTERIOR CEILING	-
101	EXISTING BEDROOM	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
102	EXISTING BEDROOM	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
102A	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
102B	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
103	EXISTING RESTROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
104	EXISTING BEDROOM	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
104A	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
105	EXISTING RESTROOM	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
106	EXISTING BEDROOM	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
106A	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
107	EXISTING CORRIDOR	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
107A	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
107B	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
107C	EXISTING CLOSET	PATCH AND REFINISH EXISTING WOOD FLOOR	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
108	EXISTING LIVING ROOM	PATCH AND REFINISH EXISTING TERRAZO	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
109	EXISTING KITCHEN	VINYL	VINYL COVE	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
110	STORAGE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
111	EXISTING GARAGE	EXISTING TO REMAIN	EXISTING TO REMAIN	PAINTED EXISTING GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-
112	CLOSET	EXISTING TO REMAIN	VINYL	PAINTED GYPSUM W.B.	PAINTED EXISTING GYPSUM W.B.	-

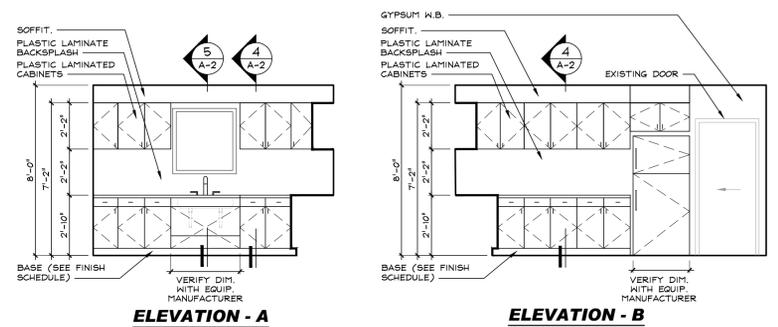
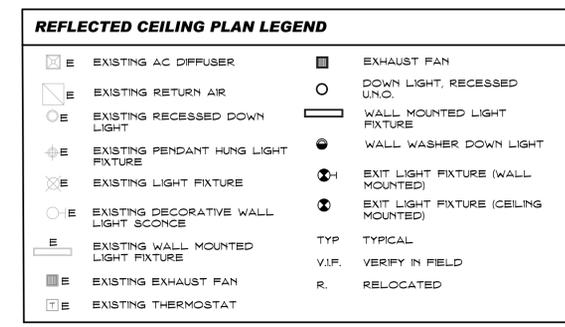
DOOR SCHEDULE									
NO.	SIZE	DOOR		FRAME		THRESHOLD	CLOSER	FIRE RATED	REMARKS
		MATERIAL	ELEV.	MATERIAL	ELEV.				
1	EXISTING TO REMAIN	-	-	-	-	-	-	-	-
2	NOT USED	-	-	-	-	-	-	-	-
3	3'-0" x 7'-0" x 1'-3/4"	WOOD	A	WOOD	I	-	-	-	-
4	2'-6" x 7'-0" x 1'-3/4"	WOOD	A	WOOD	I	-	-	-	-

NOTES:
 1. PATCH AND PAINT ALL INTERNAL AND EXTERNAL DOORS AND DOOR FRAMES.
 2. PATCH AND PAINT ALL EXISTING CLOSET DOORS AND CLOSET SHELVING. ASSURE PROPER INSTALLATION OF ALL CLOSET DOORS.
 3. REMOVE AND REPLACE THRESHOLDS AS REQUIRED.

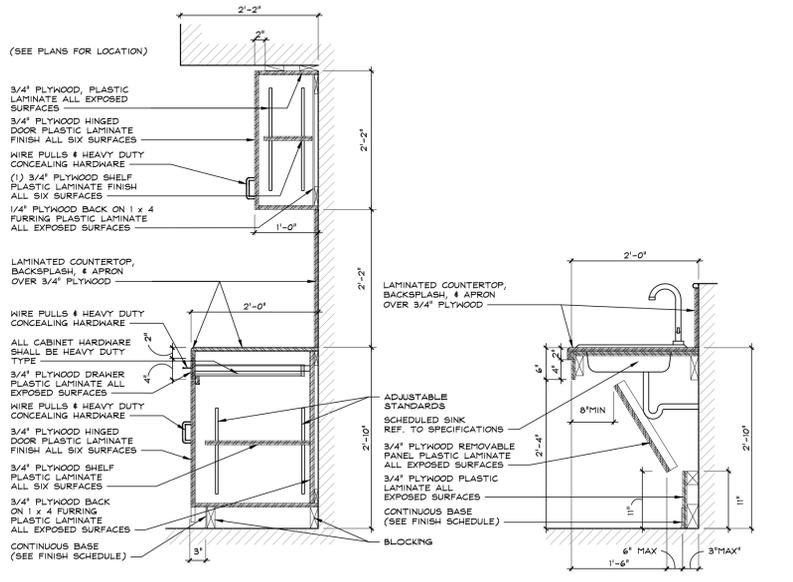


1 NOT USED
A-2 SCALE 1/4" = 1'-0"

2 NOT USED
A-2 SCALE 1/4" = 1'-0"

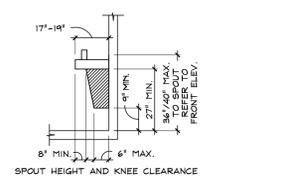


3 PARTIAL ELEVATIONS
A-2 SCALE 1/4" = 1'-0"

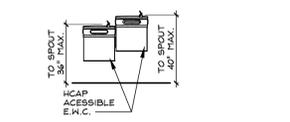


4 SECTION
A-2 SCALE 3/4" = 1'-0"

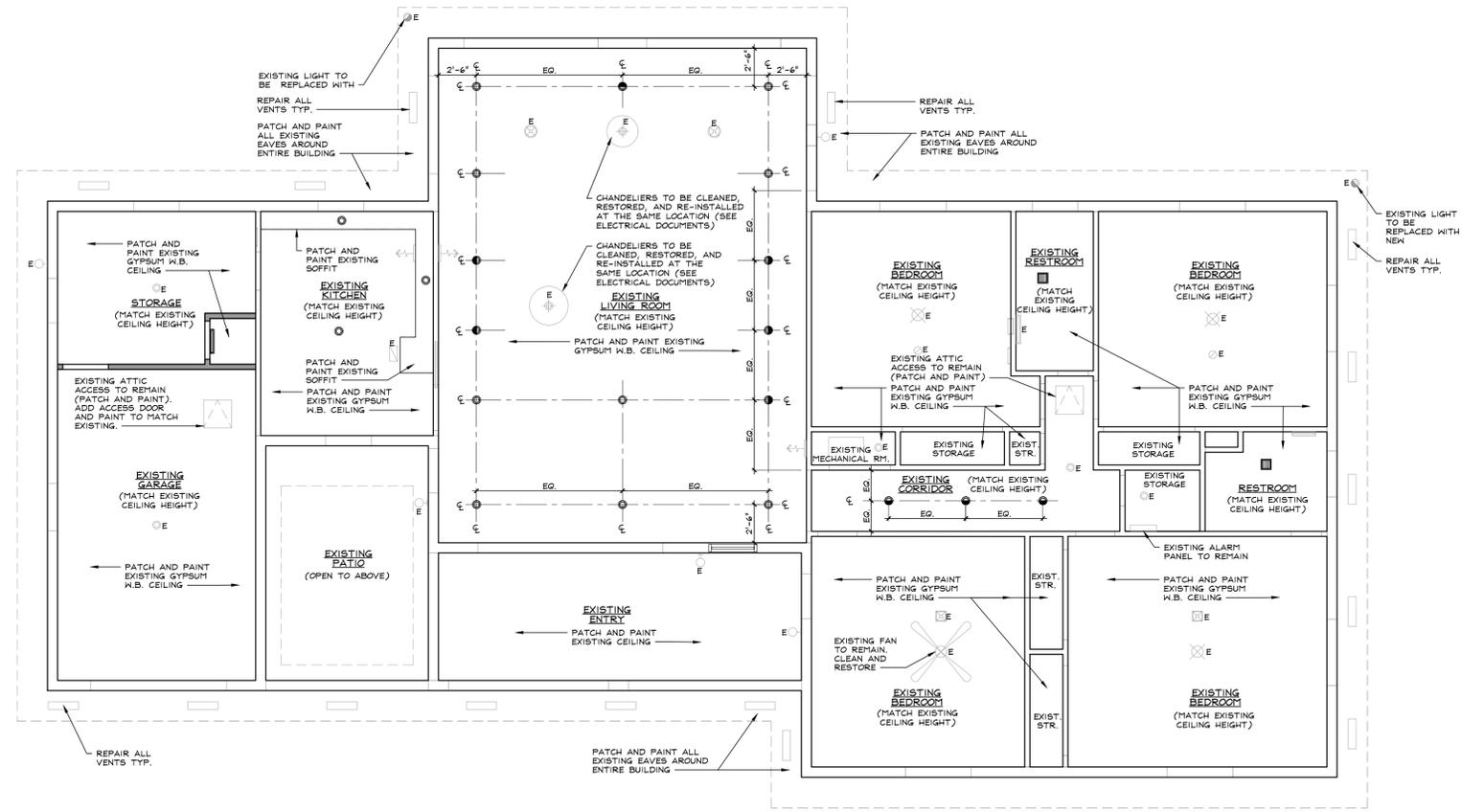
5 SECTION
A-2 SCALE 3/4" = 1'-0"



HANDICAP APPROVED WATER COOLER CLEARANCES



CLEAR FLOOR SPACE AT HANDICAP WATER COOLER



REFLECTED CEILING PLAN
SCALE 3/16" = 1'-0"

GR GENERAL REQUIREMENTS

GR-1 AS USED IN THESE GENERAL NOTES:
 "DRAWINGS" MEANS THE LATEST STRUCTURAL DESIGN DRAWINGS, UON.
 "SPECIFICATIONS" MEANS THE LATEST PROJECT SPECIFICATIONS, UON.
 "CONTRACT DOCUMENTS" IS DEFINED AS THE DESIGN DRAWINGS AND THE SPECIFICATIONS
 "SER" IS DEFINED AS THE STRUCTURAL ENGINEER OF RECORD FOR THE STRUCTURE IN ITS FINAL CONDITION.
 "DESIGN PROFESSIONALS" IS DEFINED AS THE OWNER'S ARCHITECT AND SER.
 "MEP" INCLUDES, BUT IS NOT LIMITED TO MECHANICAL, ELECTRICAL, PLUMBING, FIRE PROTECTION.
 "CONTRACTOR" IS DEFINED TO INCLUDE ANY OF THE FOLLOWING: GENERAL CONTRACTOR AND THEIR SUBCONTRACTORS, CONSTRUCTION MANAGER AND THEIR SUBCONTRACTORS, STRUCTURAL STEEL FABRICATOR OR STRUCTURAL STEEL ERECTOR.
 "BASE BUILDING STRUCTURE" IS DEFINED AS THE STRUCTURAL FRAME DESIGNED BY THORNTON TOMASETTI.
 "STRUCTURE IN ITS FINAL CONDITION" MEANS ALL STRUCTURAL ELEMENTS SHOWN ON THE STRUCTURAL CONTRACT DOCUMENTS ARE INSTALLED AND COMPLETELY CONNECTED AND INSPECTED WITH NO OUTSTANDING NON-COMPLIANCE ISSUES.
 "DELEGATED DESIGN" MEANS A SCOPE OF WORK THAT MEETS PERFORMANCE CRITERIA ESTABLISHED IN THE CONTRACT DOCUMENTS AND IS TO BE COMPLETED BY THE CONTRACTOR'S LICENSED ENGINEER.

GR-2 THE CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF THE STRUCTURAL WORK WITH THE ARCHITECTURAL, CIVIL, MEP CONTRACT DOCUMENTS, AS WELL AS ANY OTHER APPLICABLE TRADES.

GR-3 THE CONTRACTOR IS RESPONSIBLE FOR THE STABILITY OF THE STRUCTURE UNTIL THE CONSTRUCTION OF THE STRUCTURE REACHES ITS FINAL CONDITION.

GR-4 THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE DESIGN, INSTALLATION, AND REMOVAL OF TEMPORARY BRACING AND CONSTRUCTION SUPPORTS, FOR NEW AND EXISTING STRUCTURES, AS NECESSARY TO COMPLETE THE PROJECT. NO PORTION OF THE PROJECT WHILE UNDER CONSTRUCTION IS INTENDED TO BE STABLE IN THE ABSENCE OF THE CONTRACTOR'S TEMPORARY SUPPORTS AND BRACES. CONTRACTOR SHALL RETAIN A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED TO DESIGN TEMPORARY BRACING AND CONSTRUCTION SUPPORTS.

GR-5 THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS AND COORDINATE WITH THE STRUCTURAL DRAWINGS, ARCHITECTURAL DRAWINGS, DRAWINGS FROM OTHER CONSULTANTS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS.

GR-6 IN CASES OF CONFLICT BETWEEN DRAWINGS AND/OR SPECIFICATIONS AND OTHER DISCIPLINES OR EXISTING CONDITIONS, CONTRACTOR SHALL NOTIFY THE DESIGN PROFESSIONALS AND OBTAIN CLARIFICATION PRIOR TO BIDDING AND PROCEEDING WITH WORK.

GR-7 APPLY DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS WHERE CONDITIONS ARE SIMILAR TO THOSE INDICATED BY DETAIL, DETAIL TITLE OR NOTE.

GR-8 ONLY USE DIMENSIONS INDICATED ON THE DRAWINGS. DO NOT SCALE DRAWINGS.

GR-9 ASSUME EQUAL SPACING BETWEEN ESTABLISHED DIMENSIONS, IF NOT INDICATED ON DRAWINGS.

GR-10 THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITIES FROM DAMAGE.

GR-11 THE CONTRACTOR SHALL VERIFY THAT CONSTRUCTION LOADS DO NOT EXCEED THE CAPACITY OF THE STRUCTURE AT THE TIME THE LOAD IS APPLIED.

GR-12 THE CONTRACTOR SHALL COORDINATE THE BOTTOM OF BASE PLATE ELEVATIONS WITH THE AS-BUILT TOP OF SUPPORT ELEVATIONS.

GR-13 THE CONTRACTOR SHALL VERIFY ALL OPENING SIZES AND LOCATIONS WITH OTHER DISCIPLINES. THE DRAWINGS DO NOT SHOW ALL OPENINGS REQUIRED. ADDITIONAL OPENINGS, BLOCKOUTS AND SLEEVES MAY BE REQUIRED BY OTHER DISCIPLINES AND SHALL BE CONSTRUCTED USING THE TYPICAL DETAILS AND/OR THE CRITERIA INDICATED ON THE DRAWINGS. OPENINGS REQUIRED BUT NOT SHOWN ON THE STRUCTURAL DRAWINGS MUST BE APPROVED BY THE SER.

GR-14 ELEVATIONS INDICATED ON STRUCTURAL DRAWINGS ARE BASED ON A PROJECT DATUM INDICATED ON THE ARCHITECTURAL DRAWINGS.

CD CODES AND DESIGN CRITERIA

CD-1 PERFORM ALL CONSTRUCTION IN CONFORMANCE WITH THE BUILDING AND DESIGN CODES REFERENCED WITHIN THESE DOCUMENTS. THE PROJECT DOCUMENTS REFER TO THE FOLLOWING CODES AND STANDARDS, UON:
 FLORIDA BUILDING CODE FBC (5TH EDITION) 2014.
 STRUCTURAL CONCRETE:
 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE"
 THE AMERICAN CONCRETE INSTITUTE (ACI 318-11)
 CONCRETE MASONRY:
 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES"
 THE AMERICAN CONCRETE INSTITUTE (ACI 530-11)
 STRUCTURAL STEEL:
 "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", MARCH 2011 14TH EDITION CONFORMING TO THE PROVISIONS OF LOAD RESISTANCE FACTOR DESIGN.
 BY THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC-LRFD)

CD-2 LIVE LOADS:
 FLOORS 100 LBS./SQ. FT.

CD-3 WIND LOAD DESIGN DATA:
 MAIN WIND FORCE RESISTING SYSTEM
 BASIC WIND SPEED, V 170 MPH
 EXPOSURE C
 WIND IMPORTANCE FACTOR (IW) 1.0
 OCCUPANCY/RISK CATEGORY II

DE DEMOLITION

DE-1 THE CONTRACTOR IS FULLY RESPONSIBLE FOR THE MEANS AND METHODS OF DEMOLITION AND THE INTEGRITY AND STABILITY OF THE EXISTING STRUCTURE DURING DEMOLITION UNTIL THE WORK IS COMPLETED. THE CONTRACTOR SHALL PROVIDE SHORING IN REQUIRED LOCATIONS WHERE EXISTING CONSTRUCTION TO REMAIN WILL BE AFFECTED BY DEMOLITION. CONTRACTOR SHALL RETAIN A PROFESSIONAL LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED TO DESIGN SHORING.

DE-2 THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO ANY STRUCTURAL ELEMENTS WHICH ARE TO REMAIN AND THAT HAVE BEEN DAMAGED DURING THE DEMOLITION PROCESS TO THE COMPLETE SATISFACTION OF THE OWNER. THE REPAIRS SHALL BE AT NO EXPENSE TO THE OWNER. ALL REPAIR WORK SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND SUBMITTED TO THE SER FOR REVIEW AND APPROVAL PRIOR TO COMMENCING REPAIR WORK.

DE-3 ALL EXISTING FRAMING IS INDICATED FOR REFERENCE ONLY AND IS TO BE FIELD VERIFIED BY THE CONTRACTOR. VERIFY THE EXACT EXTENT OF DEMOLITION AT THE SITE. DETERMINE THE NATURE AND EXTENT OF DEMOLITION THAT WILL BE NECESSARY BY COMPARING THE CONTRACT DOCUMENTS WITH THE EXISTING CONSTRUCTION. IMMEDIATELY NOTIFY THE DESIGN PROFESSIONALS OF ANY INCONSISTENCIES.

DE-4 THE CONTRACTOR SHALL USE THE STRUCTURAL CONTRACT DOCUMENTS IN CONJUNCTION WITH THE ARCHITECTURAL AND MEP DEMOLITION CONTRACT DOCUMENTS. IN THE EVENT OF CONFLICTS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONALS.

DE-5 THE CONTRACTOR SHALL USE QUALIFIED, EXPERIENCED PERSONNEL FOR DEMOLITION AND REMOVAL OPERATIONS. PERFORM DEMOLITION AND REMOVAL OPERATIONS IN A CAREFUL AND ORDERLY MANNER TO PREVENT HAZARDS TO PERSONS, DAMAGE TO PROPERTY, AND THE SPREADING OF DUST AND DEBRIS.

DE-6 DO NOT PERMIT PORTIONS OF THE STRUCTURE TO FALL NOR DEBRIS TO DROP EXCEPT BY METHODS WHICH WILL INSURE INTEGRITY OF THE STRUCTURE.

DE-7 PRIOR TO THE START OF WORK, VERIFY THAT THE SCOPE OF DEMOLITION INDICATED ON THE CONTRACT DOCUMENTS SHALL NOT DAMAGE, CUT OR DISRUPT SERVICE OF ANY MECHANICAL SYSTEM, ELECTRICAL SYSTEM OR UTILITY EMBEDDED IN THE EXISTING STRUCTURE.

DE-8 DO NOT REMOVE MORE OF THE EXISTING STRUCTURE THAN INDICATED ON CONTRACT DOCUMENTS. DO NOT DAMAGE, MAR, CUT OR DEFACE THE REMAINING STRUCTURE OR MATERIALS TO BE REUSED.

DE-9 THE CONTRACTOR SHALL INCLUDE IN HIS BID THE COST OF REMOVING DEMOLISHED MATERIALS FROM THE SITE IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES, AND REGULATIONS.

DE-10 WHERE NEW OPENINGS IN EXISTING CONCRETE SLABS OR WALLS ARE TO BE CREATED, THE DEMOLITION CONTRACTOR SHALL CORE HOLES AT THE OUTSIDE CORNERS OF THE NEW OPENING PRIOR TO DEMOLITION. SAW-CUT AND DEMOLISH SLAB OR WALL ONLY AFTER THE INSTALLATION OF ALL REQUIRED NEW STRUCTURAL FRAMING AND/OR REINFORCEMENT IN PLAN OR SECTION, UON. SAW CUTTING SHALL BE STRAIGHT AND SHALL NOT EXTEND INTO EXISTING SLAB OR WALL TO REMAIN NOR BEYOND THE HOLES CORED AT THE CORNERS OF THE NEW OPENING.

DI DELEGATED DESIGN ITEMS

DI-1 THE CONTRACTOR SHALL EMPLOY OR RETAIN A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THIS PROJECT IS LOCATED TO DESIGN AND DETAIL DELEGATED DESIGN ITEMS TO MEET THE PERFORMANCE AND DESIGN CRITERIA ESTABLISHED AS PART OF THE BASE BUILDING STRUCTURE INDICATED IN THE CONTRACT DOCUMENTS INCLUDING BUT NOT LIMITED TO:
 METAL RAILINGS & HANDRAILS
 AWNINGS & CANOPIES

SU SUBMITTALS

SU-1 TWENTY WORKING DAYS PRIOR TO SUBMITTING SHOP DRAWINGS, THE CONTRACTOR SHALL SUBMIT FOR SER'S REVIEW A SCHEDULE WHICH DETAILS THE ESTIMATED QUANTITY OF SHOP DRAWINGS AND THE DATE THE SHOP DRAWINGS WILL BE RECEIVED BY THE SER. THE SER SHALL HAVE THE OPPORTUNITY TO REVIEW THE PROPOSED SCHEDULE AND SUBMIT COMMENTS TO THE CONTRACTOR. THE FINAL SHOP DRAWING SCHEDULE SHALL BE DEVELOPED AND SUBMITTED TO THE SER. IN ACCORDANCE WITH THE SHOP DRAWING SCHEDULE, THE SER WILL RETURN THE SHOP DRAWING ITEMS WITHIN TEN WORKING DAYS AFTER HAVING RECEIVED THE ELECTRONIC SHOP DRAWING.

SU-2 THE CONTRACTOR IS TO REVIEW EACH SUBMITTAL PRIOR TO FORWARDING TO DESIGN PROFESSIONALS. THE CONTRACTOR IS TO STAMP EACH SUBMITTAL VERIFYING THAT THE FOLLOWING IS ADDRESSED:
 1. THE SHOP DRAWING IS REQUESTED.
 2. THE SHOP DRAWING IS BASED ON THE LATEST DESIGN.
 3. THE DESIGN PROFESSIONALS' COMMENTS FROM ANY PREVIOUS SUBMITTALS ARE ADDRESSED.
 4. THE WORK IS COORDINATED AMONG ALL CONSTRUCTION TRADES.
 5. REVISIONS FROM PREVIOUS SUBMITTALS ARE CLEARLY MARKED BY CIRCLING OR CLOUDS.
 6. SUBMITTAL IS COMPLETE.
 7. SUBMITTAL DOES NOT INCLUDE SUBSTITUTION REQUEST.
 8. SUBMITTAL SHALL INCLUDE A STAMP INDICATING PROJECT NAME AND LOCATION, SUBMITTAL NUMBER, SPECIFICATION SECTION NUMBER.

THE SER SHALL RETURN, WITHOUT COMMENT, SUBMITTALS WHICH THE CONTRACTOR HAS NOT STAMPED OR WHICH DO NOT MEET THE ABOVE REQUIREMENTS. THE SER'S REVIEW OF SUBMITTALS SHALL BE FOR GENERAL CONFORMANCE WITH THE DESIGN INTENT. NO WORK SHALL BE STARTED WITHOUT SUCH REVIEW.

SU-3 FOR COMPONENTS THAT REQUIRE ENGINEERING BY THE CONTRACTOR, PROVIDE A NOTE ON EACH SHOP DRAWING, WRITTEN AND SIGNED BY THE SUPPLIER'S ENGINEER, INDICATING THAT THE SHOP DRAWING IS IN CONFORMANCE WITH THE CALCULATIONS OF THE CONTRACTOR'S ENGINEER.

SU-4 THE FOLLOWING ITEMS REQUIRE SUBMITTALS FOR STRUCTURAL REVIEW AS OUTLINED IN THE SPECIFICATIONS:
 032000 S CALC CONCRETE REINFORCING LAYOUT
 033000 S CALC CONCRETE MIX DESIGNS
 055200 S CALC METAL RAILINGS & HANDRAILS
 105300 S CALC AWNINGS & CANOPIES
 S = SHOP DRAWINGS REQUIRED
 CALC = SUPPORTING CALCULATIONS REQUIRED, SEALED AND SIGNED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED.

FN FOUNDATIONS

FN-1 FOUNDATIONS HAVE BEEN DESIGNED BASED ON THE FOLLOWING DESIGN VALUES:
 ASSUMED NET ALLOWABLE BEARING CAPACITY: 2,000 PSF

FN-2 CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY PROTECT ALL EXCAVATION, WHERE NECESSARY, SHEET AND SHORE THE EXCAVATION WITH ALL REQUIRED TIEBACKS AND BRACING AS DETERMINED BY CONTRACTOR'S ENGINEER.

FN-3 DO NOT BACKFILL AGAINST CANTILEVER RETAINING WALLS UNTIL THE CONCRETE HAS ATTAINED 100% OF ITS DESIGN STRENGTH.

FN-4 PLAN TOLERANCE FOR FOOTINGS IS 2% OF FOOTING DIMENSION BUT NO GREATER THAN 2 INCHES.

CM CONCRETE MATERIALS

CM-1 CONCRETE STRENGTH SHALL MEET THE FOLLOWING 28-DAY COMPRESSIVE STRENGTHS (F' C), UON:
 ALL CONCRETE (FOOTINGS, SLAB, BEAMS) 4,000 PSI

CM-2 PROVIDE NORMALWEIGHT CONCRETE WITH CURED DENSITY OF 145 +/- 5 PCF, AND AGGREGATE CONFORMING TO ASTM C33, UON, WHERE INDICATED, PROVIDE LIGHTWEIGHT CONCRETE WITH CURED DENSITY OF 112 +/- 3 PCF AND AGGREGATE CONFORMING TO ASTM C330.

CM-3 THE USE OF CALCIUM CHLORIDE AND OTHER CHLORIDE CONTAINING AGENTS IS PROHIBITED. THE USE OF RECYCLED CONCRETE IS PROHIBITED. PLACEMENT WITHIN AND CONTACT BETWEEN ALUMINUM ITEMS, INCLUDING ALUMINUM CONDUIT, AND CONCRETE IS PROHIBITED.

CM-4 ALL CAST-IN-PLACE CONCRETE WILL EXPERIENCE DIFFERING VARIATIONS OF CRACKING, ANY ELEMENT EXPOSED TO DIRECT WEATHER AND/OR TEMPERATURE VARIATIONS DURING CONSTRUCTION OR IN THE FINAL CONDITION IS TO BE TREATED AND REGULARLY MAINTAINED TO PREVENT PROPAGATION OF CRACKS AND WATER PENETRATION. THE CONTRACTOR SHALL DEVELOP A REGULAR MAINTENANCE PROGRAM AND SUBMIT IT TO THE OWNER.

RE CONCRETE REINFORCEMENT

RE-1 ALL CONCRETE SHALL INCLUDE REINFORCEMENT. IF REINFORCEMENT IS NOT SPECIFICALLY INDICATED ON THE DRAWINGS VERIFY WITH THE SER.

RE-2 REINFORCEMENT SHALL CONFORM TO THE FOLLOWING STANDARDS AND MATERIAL PROPERTIES UON:
 DEFORMED BARS: ASTM A615 GRADE 60
 WELDABLE DEFORMED BARS: ASTM A706
 EPOXY COATED DEFORMED BARS: ASTM A615 / A775
 WELDED WIRE REINFORCEMENT: ASTM A1064
 EPOXY COATED WELDED WIRE REINFORCEMENT: ASTM A1064 / A884

RE-3 DETAIL REINFORCEMENT BASED ON THE PROJECT REQUIREMENTS, ACI-318 AND ACI-315, UON.

RE-4 WHERE A 90-DEG, 135 -DEG OR 180-DEG HOOK IS GRAPHICALLY INDICATED, PROVIDE CORRESPONDING ACI STANDARD HOOKS UON.

RE-5 DOWELS SHALL MATCH SIZE AND SPACING OF MAIN REINFORCEMENT UON.

RE-6 REINFORCEMENT SHALL HAVE CONCRETE PROTECTION (CLEAR COVER) PER ACI 318 UNLESS OTHERWISE INDICATED ON THE DRAWINGS.

RE-7 LAP REINFORCEMENT ONLY AT LOCATIONS AS SPECIFICALLY DETAILED ON THE DRAWINGS EXCEPT REINFORCEMENT MARKED AS CONTINUOUS CAN BE SPICED AT LOCATIONS DETERMINED BY CONTRACTOR USING TENSION LAP SPLICES (LTS). SEE LAP SPLICE AND EMBEDMENT SCHEDULE.

RE-8 UNLESS OTHERWISE NOTED ALL LAP SPLICES ARE TO BE TENSION LAP SPLICES PER LAP SPLICE AND EMBEDMENT SCHEDULE.

RE-9 PROVIDE EPOXY COATED REINFORCEMENT AND ACCESSORIES IN AREAS OF DIRECT EXPOSURE TO THE ENVIRONMENT, CHEMICALS, OR DE-ICING FOR THE AREAS INDICATED ON THE DRAWINGS.

MA MASONRY

MA-1 LOAD BEARING, NON-LOAD BEARING, AND BACKUP WALL, CONCRETE MASONRY CONSTRUCTION SHALL CONFORM TO THE FOLLOWING MATERIAL STANDARDS:
 CONCRETE BLOCK: ASTM C90, NORMALWEIGHT (135 PCF) (MINIMUM 28 DAY COMPRESSIVE STRENGTH 1900 PSI FOR S OR M OR 2150 PSI FOR N)
 MORTAR: ASTM C270, TYPE S, M OR N PORTLAND CEMENT / LIME ONLY BY PROPORTION
 MORTAR USAGE (UON ON DRAWINGS): USE TYPE S OR M MORTAR WHEN MASONRY IS IN DIRECT CONTACT WITH SOIL; USE TYPE S MORTAR FOR ALL EXTERIOR AND INTERIOR LOAD-BEARING WALLS; USE TYPE N MORTAR FOR ALL EXTERIOR AND INTERIOR NON-LOAD-BEARING WALLS
 GROUT: ASTM C476 BY PROPORTION (MINIMUM 28 DAY COMPRESSIVE STRENGTH 2000 PSI)
 REINFORCEMENT: ASTM A615, GRADE 60
 JOINT REINFORCEMENT: ASTM A1064, TRUSS OR LADDER TYPE
 EXTERIOR JT REINF: GALVANIZE PER ASTM A153
 INTERIOR JT REINF: GALVANIZE PER ASTM A641
 TYPICAL RELATIVE HUMIDITY >75% GALVANIZE PER ASTM A153
 ADHESIVE ANCHORS: HIT-HY 70 BY HILTI, TULSA, OK

MA-2 THE MINIMUM COMPRESSIVE STRENGTH OF THE MASONRY (F' M) SHALL BE 1,500 PSI UON, VERIFIED BY THE UNIT STRENGTH METHOD IN ACCORDANCE WITH THE ABOVE REFERENCED SPECIFICATIONS.

MA-3 CALCIUM CHLORIDE SHALL NOT BE USED IN MORTAR OR GROUT.

MA-4 PROVIDE FULL FACE SHELL MORTAR COVERAGE ON MASONRY UNIT HORIZONTAL AND VERTICAL (BED AND HEAD) FACE SHELL JOINTS.

MA-5 PROVIDE FULL MORTAR COVERAGE ON WEBS AROUND ALL GROUTED CELLS.

MA-6 LAY MASONRY UNITS IN RUNNING BOND UON WITH UNITS DESIGNED TO ALIGN WITH WEBS IN EACH COURSE.

MA-7 REFER TO PLANS AND DETAILS FOR BONDED JOINT REQUIREMENTS AT WALL CORNERS AND INTERSECTIONS. WHERE INDICATED ON DRAWINGS, INTERLOCK WALLS WITH METAL TIES, ANCHORS OR PREFABRICATED JOINT REINFORCEMENT UON ON DRAWINGS OR IN SPECIFICATIONS.

MA-8 GROUT SOLID CELLS WITH REINFORCEMENT. GROUT SOLID CELLS IN BELOW GRADE CONSTRUCTION WHERE MASONRY IS IN CONTACT WITH SOIL.

MA-9 GROUT MINIMUM OF ONE (1) CELL WITH REINFORCEMENT AT EACH SIDE OF ALL OPENINGS. SEE DRAWINGS FOR ADDITIONAL REINFORCEMENT REQUIREMENTS.

MA-10 WHERE STRAP ANCHORS ARE REQUIRED BY DRAWINGS OR SPECIFICATIONS, LOCATE THEM AT DIFFERENT BED JOINTS THAN THOSE RECEIVING HORIZONTAL JOINT REINFORCEMENT.

MA-11 WHERE REQUIRED, LAP HORIZONTAL JOINT REINFORCEMENT BY AT LEAST 6 INCHES.

MA-12 PLACE GROUT BY THE LOW-LIFT METHOD. MAXIMUM GROUT POUR SHALL BE 4 FEET.

PA POST-INSTALLED ANCHORS

PA-1 ADHESIVE ANCHOR SYSTEMS USED FOR DESIGN:
 SEISMIC DESIGN CATEGORY A - F
 ADHESIVE: HILTI HIT-HY 200 HILTI, TULSA, OK
 THREADED ROD: HILTI HAS
 OVERHEAD AND/OR CONSTANT TENSION ADHESIVE ANCHOR INSTALLATIONS NOT SHOWN ON THE DRAWINGS SHALL NOT BE PERMITTED UNLESS EACH CONDITION IS REVIEWED AND APPROVED IN WRITING BY THE SER.

PA-2 PROOF TESTING OF ADHESIVE ANCHORS SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. UNLESS NOTED OTHERWISE, ADHESIVE ANCHOR PROOF TENSION LOADS SHALL BE PER THE ADHESIVE ANCHOR PROOF TENSION SCHEDULES.

PA-3 FIELD DRILLED EXPANSION ANCHOR SYSTEMS USED FOR DESIGN:
 SEISMIC DESIGN CATEGORY A - F
 KWIK BOLT T2 HILTI, TULSA, OK
 SEISMIC DESIGN CATEGORY A - B AT LOCATIONS SPECIFICALLY NOTED IN DETAILS ONLY HILTI, TULSA, OK

PA-4 PROOF TESTING OF EXPANSION ANCHORS SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS. UNLESS NOTED OTHERWISE, EXPANSION ANCHOR PROOF TORQUE LOADS SHALL BE PER THE EXPANSION ANCHOR PROOF TORQUE SCHEDULES.

PA-5 FIELD DRILLED THREADED SCREW ANCHOR SYSTEMS USED FOR DESIGN:
 HUS-EZ HILTI, TULSA, OK

PA-6 ALTERNATIVE SYSTEM EQUIVALENT TO OR EXCEEDING THE PROPERTIES OF THE SYSTEMS ABOVE WILL BE CONSIDERED AS A SUBSTITUTION REQUEST. SEE PROJECT SPECIFICATIONS.

PA-7 ANCHORS ARE TO BE MINIMUM 3/4" DIAMETER WITH A MINIMUM EMBEDMENT OF 6", UON.

PA-8 INSTALL ANCHORS TO MEET THE REQUIREMENTS INDICATED IN THE CONTRACT DOCUMENTS AND THE CURRENT MANUFACTURER'S PUBLISHED INSTALLATION INSTRUCTIONS (MPII).

PA-9 LOCATE, BY NON-DESTRUCTIVE MEANS, AND AVOID ALL EXISTING REINFORCEMENT PRIOR TO INSTALLATION OF ANCHORS. IF EXISTING REINFORCING LAYOUT PROHIBITS THE INSTALLATION OF ANCHORS AS INDICATED ON THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE DESIGN PROFESSIONALS.

PA-10 INSTALL MASONRY ANCHORS IN SOLID MASONRY OR IN HOLLOW MASONRY THAT HAS BEEN GROUTED SOLID AT LEAST ONE COURSE ABOVE AND ONE COURSE BELOW THE ANCHOR, UON.

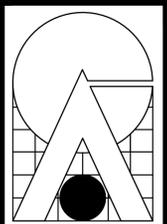
PA-11 SEE PROJECT SPECIFICATIONS FOR POST-INSTALLED ANCHOR INSPECTION REQUIREMENTS.

WD WOOD

WD-1 WOOD IN CONTACT WITH CONCRETE OR MASONRY, AND AT OTHER LOCATIONS AS SHOWN ON THE DRAWINGS, SHALL BE PROTECTED PER FBC REQUIREMENTS OR PRESSURE-TREATED IN ACCORDANCE WITH AMERICAN WOOD-PRESERVERS' ASSOCIATION STANDARDS.

WD-2 PLYWOOD FLOOR, WALL AND ROOF SHEATHING ARE DESIGNED AS DIAPHRAGMS AND SHALL COMPLY WITH APPLICABLE PROVISIONS OF THE FBC. UNLESS OTHERWISE SHOWN, SPAN-RATED PANELS SHALL BE FASTENED TO NOMINAL 2X SOUTHERN PINE FRAMING SPACED UP TO 24" O.C. IN ACCORDANCE WITH THE FOLLOWING:
 ROOF SHEATHING PANELS THICKNESS SHALL BE AS NOTED ON THE DRAWING AND FASTENED WITH GALVANIZED 8D RING SHANK NAILS AT 4" O.C. EDGE AND 4" O.C. ELSEWHERE.

WD-3 WOOD FRAMING CONNECTORS HAVE CONNECTOR MODEL NUMBERS AS SHOWN BY SIMPSON STRONG TIE. NO SUBSTITUTIONS, UNLESS SHOWN OTHERWISE, INSTALL SIZE AND NUMBER OF FASTENERS SHOWN IN LATEST SIMPSON CATALOG. ALLS CONNECTORS TO HOT-DIPPED GALVANIZED.



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PROFESSIONAL ENGINEER
 DEER WASHING, P.E.
 FL LICENSE NO. P.E. 55303
 C# 7519

PROJECT: **BLANCHE ELY HOUSE RENOVATION**
 CITY OF POMPANO BEACH
 1500 NW 6TH AVENUE
 POMPANO BEACH, FLORIDA

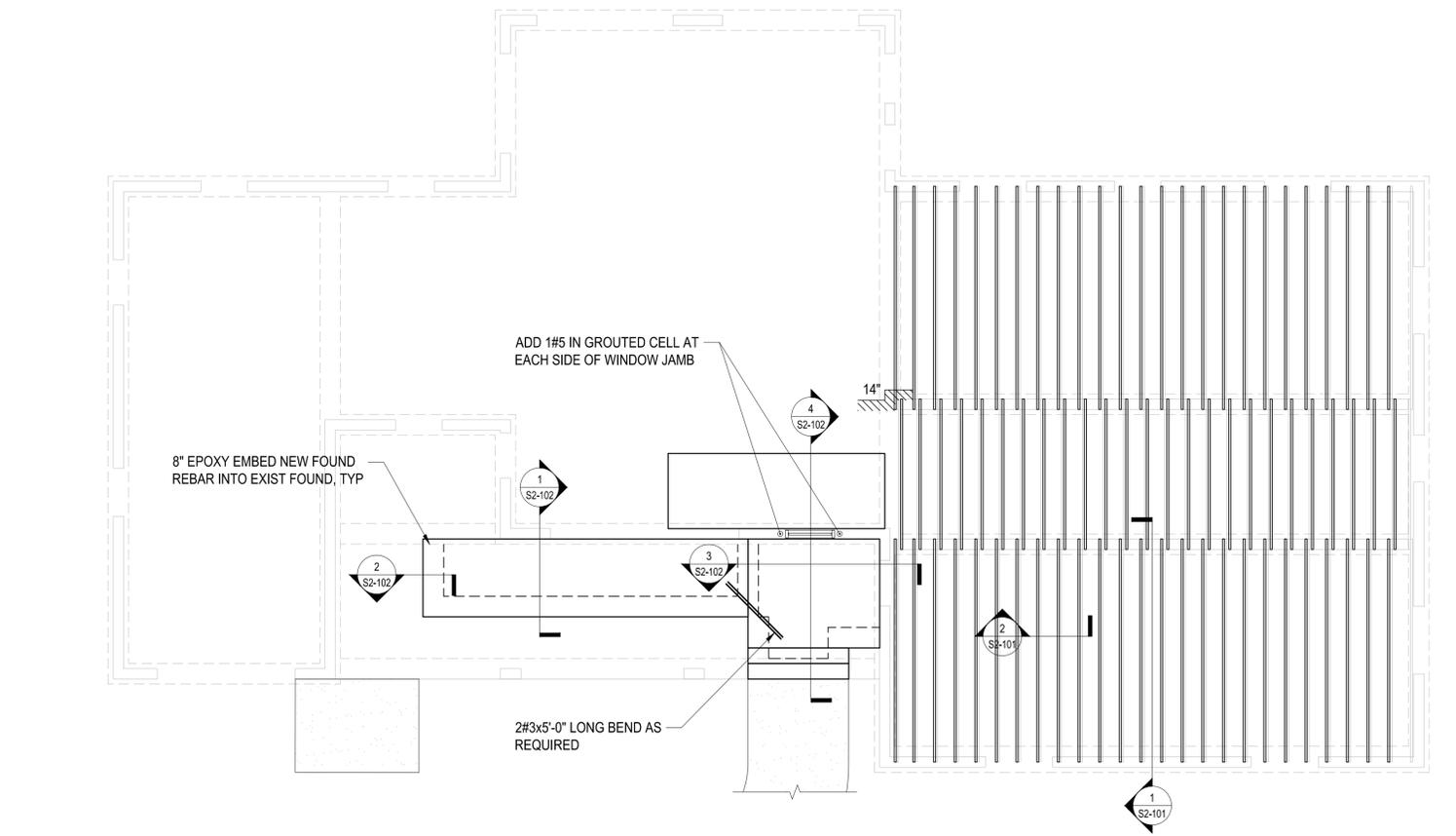
PERMIT SET - 06/27/2017

DATE: JUNE 27, 2017
 DRAWN BY: MCR
 CHECKED BY: HCB

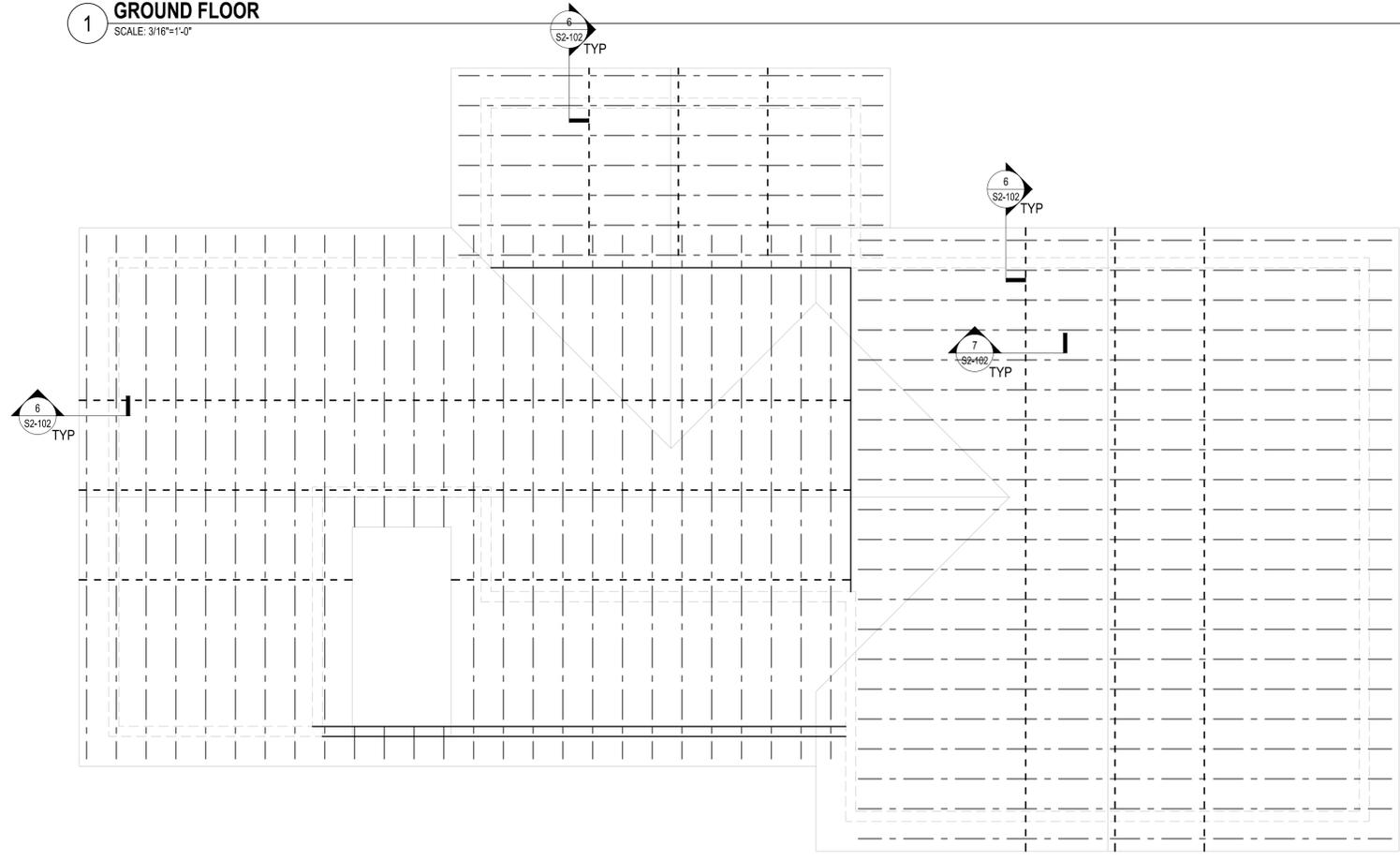
TITLE: **GENERAL NOTES**
 SHEET: **50-101**
 JOB NO: **K17033.00**

Thornton Tomasetti
 Thornton Tomasetti, Inc.
 101 NE 3rd Avenue, Suite 1170
 Fort Lauderdale, FL 33301-1199
 T 954.903.9300 F 954.903.9301

TO THE BEST OF OUR KNOWLEDGE, THE PLANS, DETAILS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.



1 GROUND FLOOR
SCALE: 3/16"=1'-0"



2 ROOF
SCALE: 3/16"=1'-0"

TO THE BEST OF OUR KNOWLEDGE, THE PLANS, DETAILS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

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PERMIT SET - 06/27/2017

TITLE: FOUNDATION AND FRAMING PLAN

JOB NO
K17033.00

DATE: JUNE 27, 2017

DRAWN BY: MCR

CHECKED BY: HCB

REVISIONS

PROJECT:

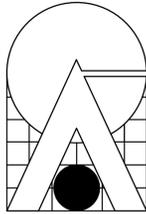
BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

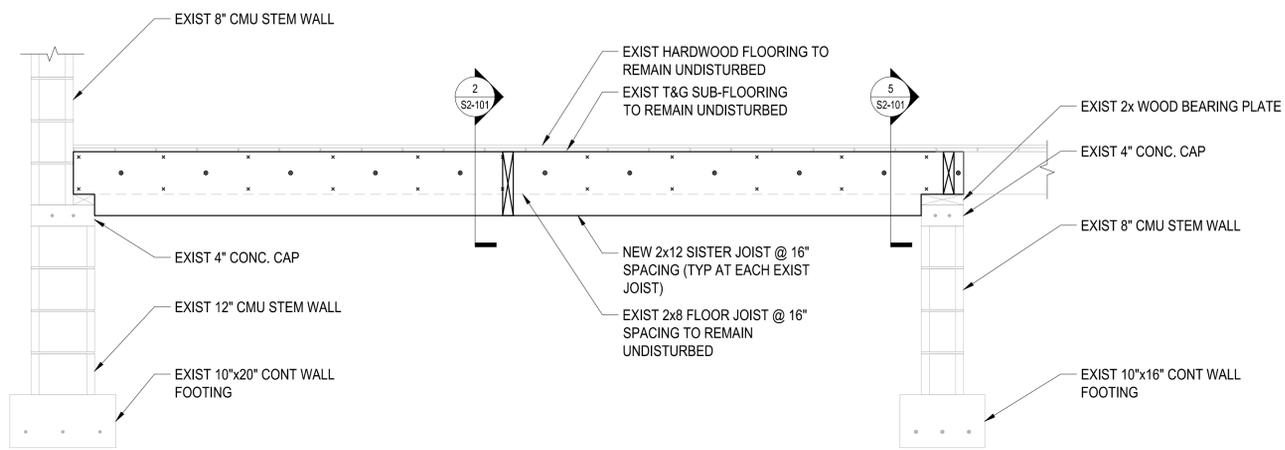
PROFESSIONAL ENGINEER
DREW WASSINK, P.E.
FL LICENSE NO. P.E. 55303
EXP. 7/19

SEAL

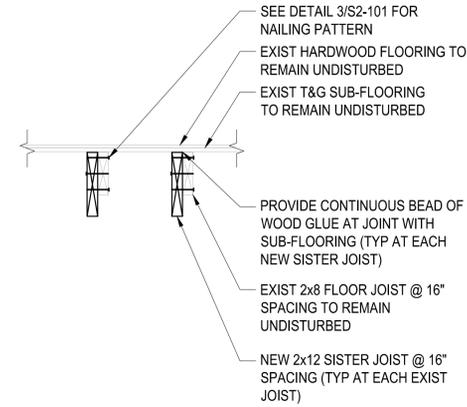
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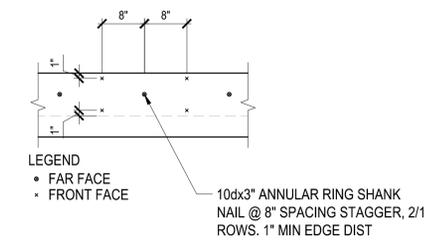




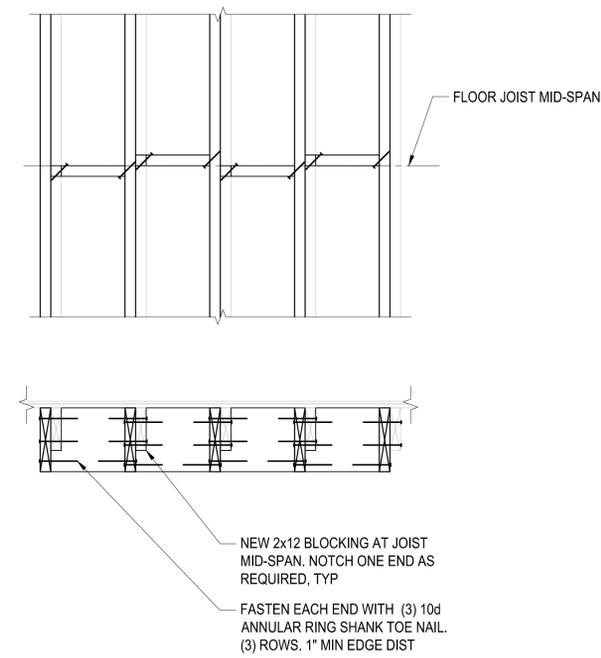
1 TYP SISTER SECTION AT FLOOR JOIST
SCALE: 3/4"=1'-0"



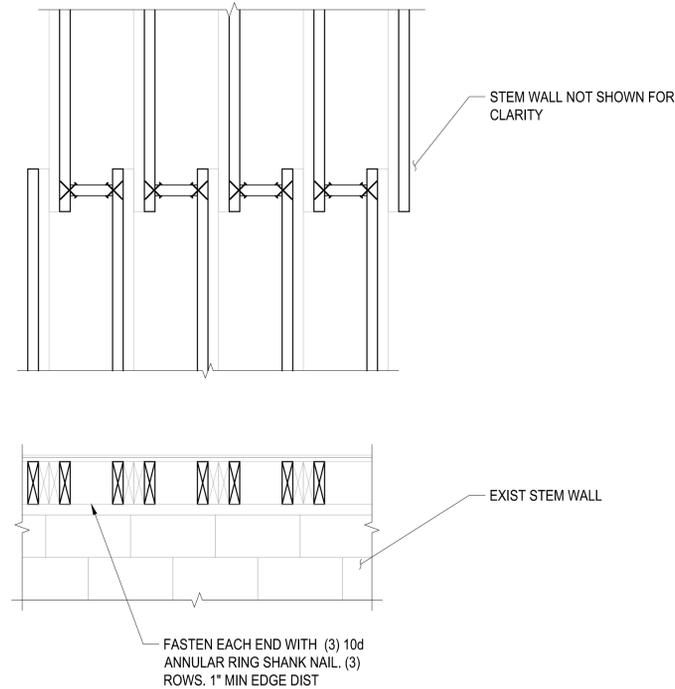
2 NAILING SECTION
SCALE: 3/4"=1'-0"



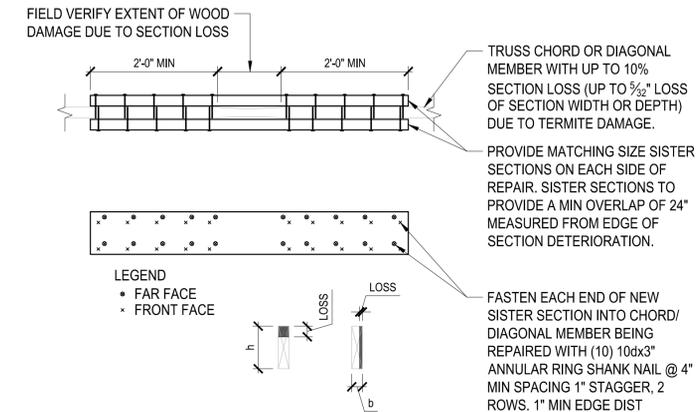
3 SISTER JOIST NAILING PATTERN
SCALE: 3/4"=1'-0"



4 BLOCKING AT JOIST MID-SPAN
SCALE: 3/4"=1'-0"



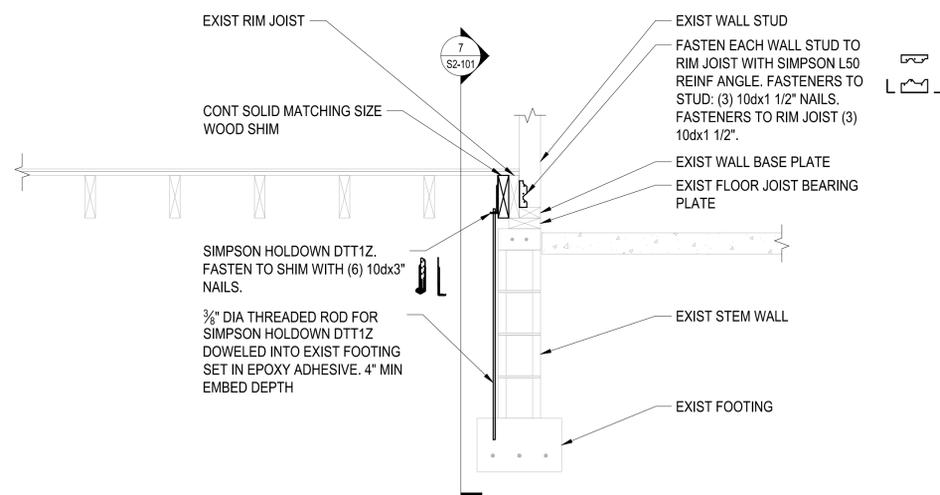
4 BLOCKING AT JOIST ENDS OVER INTERIOR STEM WALL FOOTINGS ONLY
SCALE: 3/4"=1'-0"



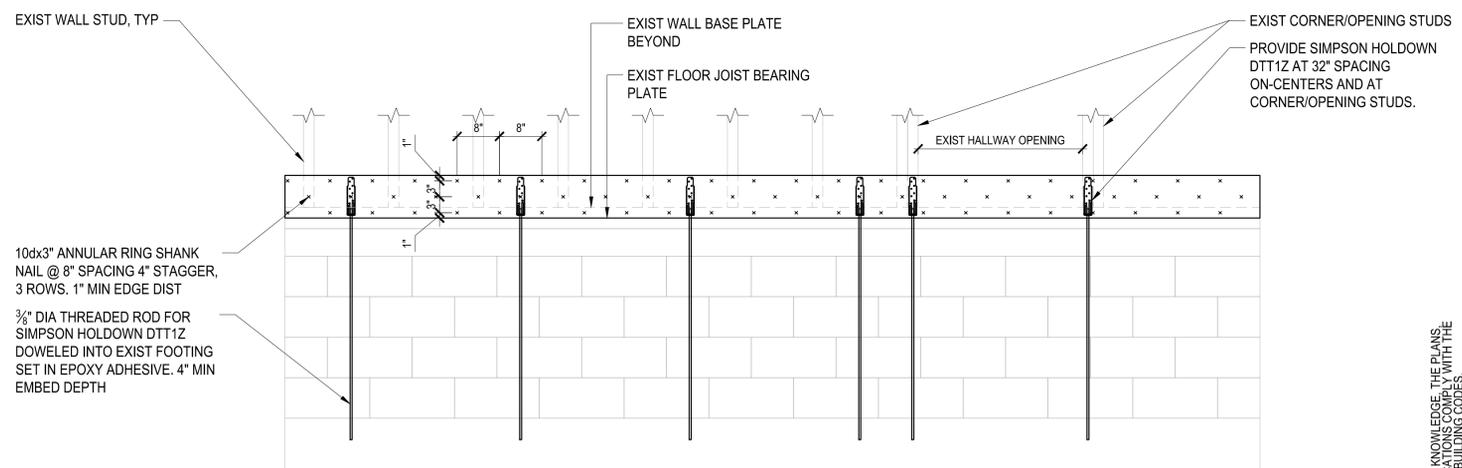
DETAIL NOTES:

1. TRUSS MEMBER REPAIRS SHALL NOT COMMENCE UNTIL A CERTIFIED TERMITE INSPECTOR HAS INSPECTED, IDENTIFIED, LOCATED, AND TREATED (IF REQUIRED) TRUSSES FOR DAMAGE, EITHER FROM PREVIOUS OR ONGOING TERMITE INFESTATION.
2. CONTRACTOR SHALL CONDUCT LIMITED REPAIRS TO TRUSS CHORDS AND DIAGONAL MEMBERS WITH UP TO 10% SECTION LOSS (UP TO 1/2" LOSS OF SECTION WIDTH OR DEPTH).
3. CONTRACTOR SHALL CONTACT THE ENGINEER IF TRUSS CHORDS OR DIAGONAL MEMBERS ARE FOUND WITH SECTION LOSS THAT EXCEEDS 10% OF THE SECTION (EXCEEDS 1/2" LOSS OF SECTION WIDTH OR DEPTH).

5 WOOD TRUSS REPAIR DETAIL
SCALE: 3/4"=1'-0"



6 SECTION
SCALE: 3/4"=1'-0"



7 PARTIAL ELEVATION
SCALE: 3/4"=1'-0"

TO THE BEST OF OUR KNOWLEDGE, THE PLANS, DETAILS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

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TITLE: SECTIONS AND DETAILS

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PROFESSIONAL ENGINEER
DERRICK WASSINK, P.E.
FL LICENSE NO. P.E. 55303
C.A.# 7519

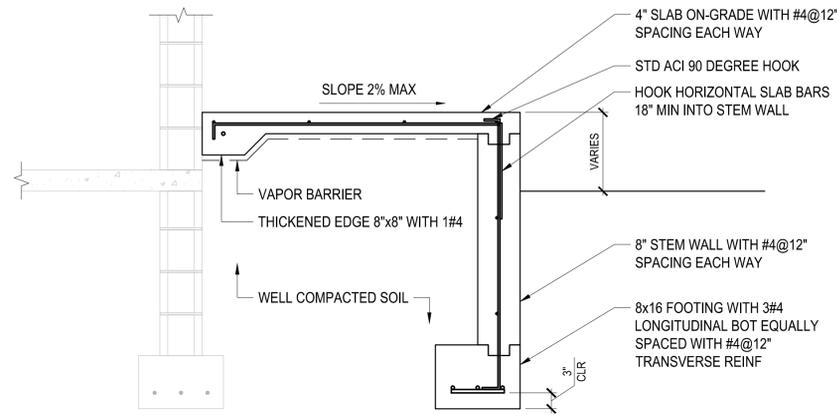
PROJECT: **BLANCHE ELY HOUSE RENOVATION**
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

REVISIONS:
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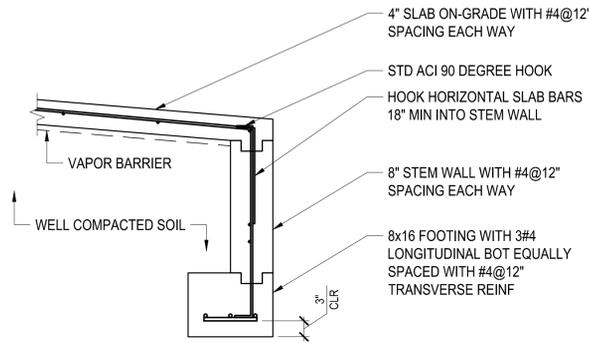
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K17033.00

SHEET:
S2-101

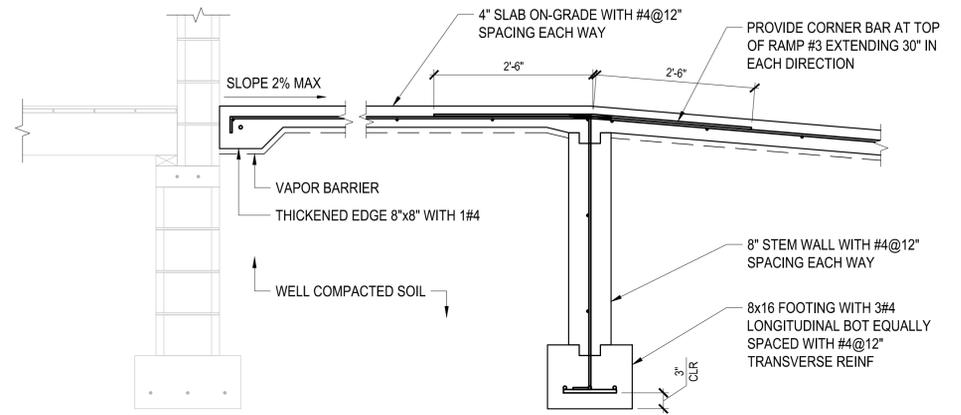
PERMIT SET - 06/27/2017



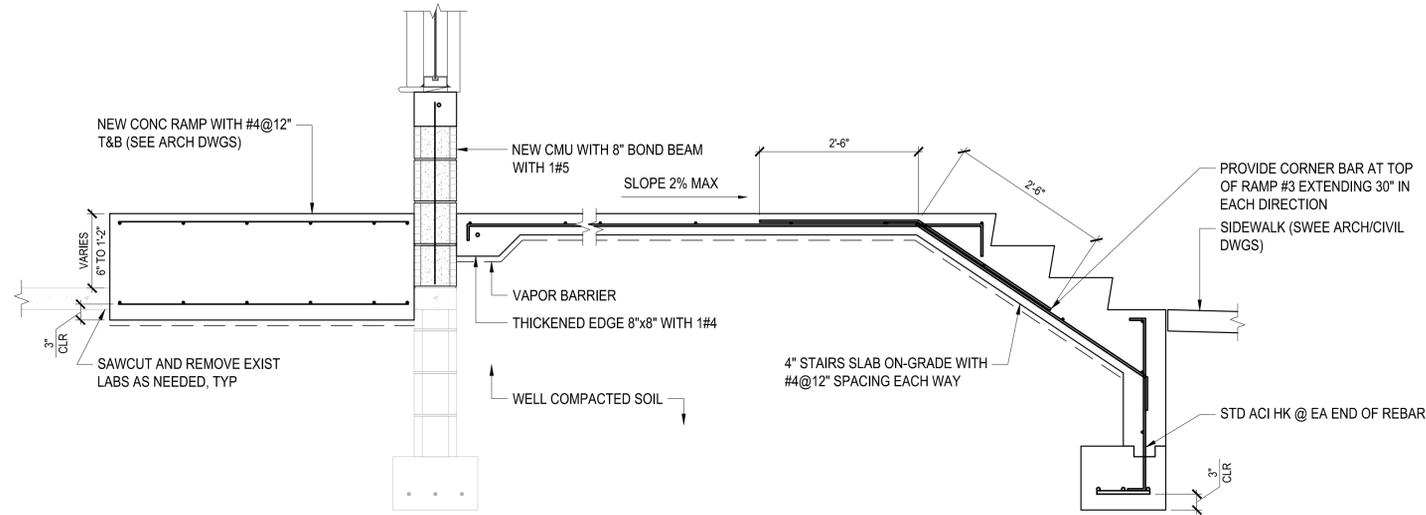
1 SECTION
SCALE: 3/4"=1'-0"



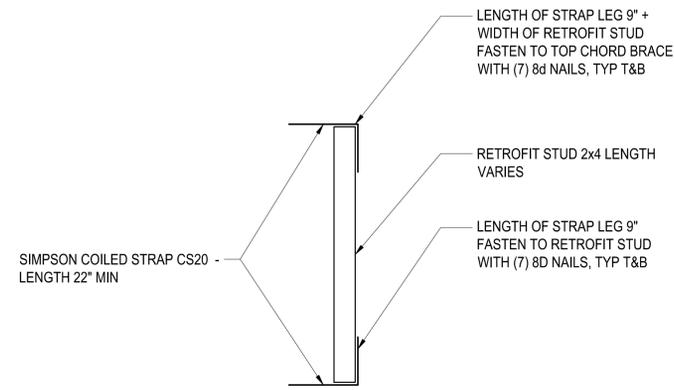
2 SECTION
SCALE: 3/4"=1'-0"



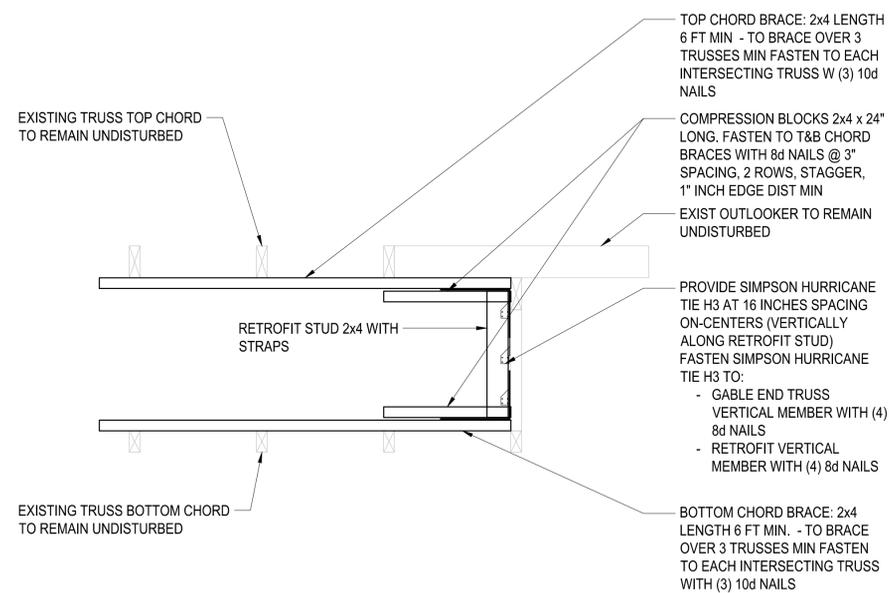
3 SECTION
SCALE: 3/4"=1'-0"



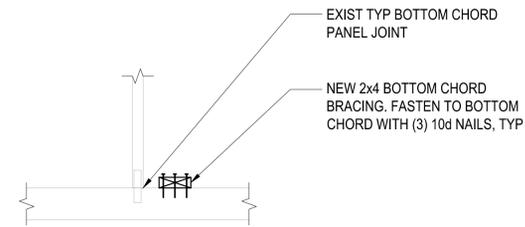
4 SECTION
SCALE: 3/4"=1'-0"



5 RETOFOIT STUD DETAIL
SCALE: NOT TO SCALE



6 TYPICAL GABLE END WALL BRACING DETAIL
SCALE: NOT TO SCALE



7 TRUSS BOTTOM CHORD BRACING DETAIL
SCALE: NOT TO SCALE

TO THE BEST OF OUR KNOWLEDGE, THE PLANS, DETAILS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE BUILDING CODES.

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TITLE: SECTIONS AND DETAILS

JOB NO: K17033.00

DATE: JUNE 27, 2017
DRAWN BY: MCR
CHECKED BY: HGB

REVISIONS:

PERMIT SET - 06/27/2017

PROJECT:

BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PROFESSIONAL ENGINEER
DEREK WASSING, P.E.
FL LICENSE NO.: P.E. 55303
LAW 7519

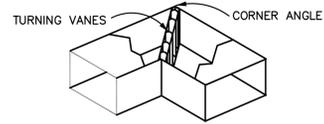
SCALE:

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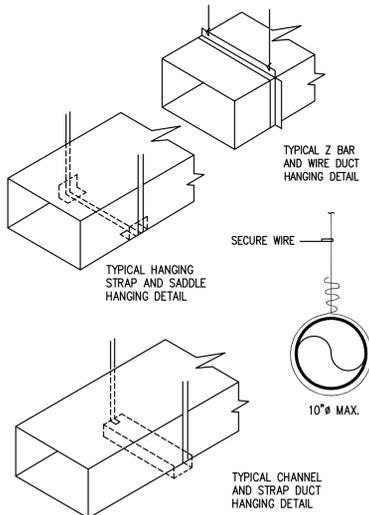
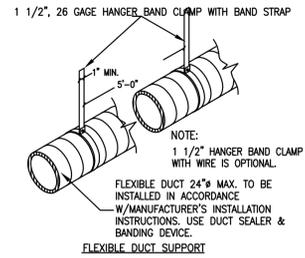
DUCT ELBOW DETAIL



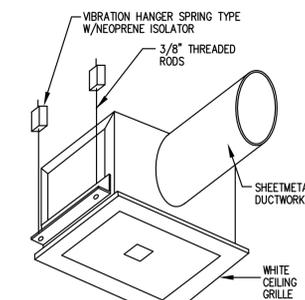
DUCT HANGING METHODS

22 GA HANGER STRAPS		
DUCT SIZE	HANGER SIZE	MAX SPACING
UP THRU 2 SF	1" x 3/16"	8'-0"
2 THRU 4 SF	1" x 1/8"	8'-0"
4 THRU 10 SF	1" x 1/4"	6'-0"

NOTE: HANG DUCT ACCORDING TO SMACNA STANDARDS



CABINET CEILING FAN DETAIL



SPLIT SYSTEM SCHEDULE (UNITS ARE EXISTING TO REMAIN, FOR REFERENCE PURPOSES ONLY)

AIR HANDLING UNIT										AIR COOLED CONDENSING UNIT					SYSTEM DATA											
MARK	MFR MODEL	CFM	ESP	FAN HP	HEATER KW	WT LBS	MCA	FUSE	VOLTS-PH-HZ	L X W X H	MARK	MFR MODEL	WT LBS	COMPRESSOR QTY.	RLA	LRA	UNIT MCA	MAX FUSE	CAPACITY TON	SEER	REF. LINES SUCTION LIQUID	DIMENSIONS L X W X H				
AHU-1(E)	GOODMAN ARUF80D	1900	300	0.5	3/4	3.8	1	N/A	33	35	208-230/1/60	N/A	CU-1(E)	GOODMAN GSX130611AB	N/A	1	26.4	134	23.5	60	55.5	38.0	13.0	N/A	N/A	N/A
GENERAL NOTES:										AHU - PROVIDE THE FOLLOWING:					CU - PROVIDE THE FOLLOWING:											
1. DESIGN CONDITIONS: 79.1F DB - 66.9F WB. 2. SIZE AND RUN REFRIGERANT PIPING AS MFR'S LATEST PUBLISHED RECOMMENDATIONS. 3. INSULATE REFRIGERANT SUCTION LINE WITH 3/4" FIRE RETARDANT ARMAFLEX. 4. PROVIDE PROPER VIBRATION ISOLATORS AS PER ISOLATION MFR'S RECOMMENDATIONS. 5. PROVIDE HURRICANE TIE-DOWN KIT FOR NEW CONDENSING UNIT.										1. AHU MOTORIZED DAMPER 2. STAINLESS STEEL DRAIN PAN 3. WATER LEVEL ON/OFF SWITCH PER FMC 307.2.3.1 4. DOUBLE WALL CONSTRUCTION 5. PHASE MONITOR					1. SINGLE POINT POWER 2. NON FUSED DISCONNECT SWITCH 3. PHASE MONITOR 4. COIL GUARD 5. COATED CONDENSER COIL 6. LIQUID DRIERS											

EXHAUST EQUIPMENT SCHEDULE

MARK	SELECTION BASED ON MAKE	MODEL NO.	TYPE	AREA SERVED	CFM	ESP IN WG	PWR W	RPM	VOLTS-PH-HZ	DRIVE	INLET SONES	UNIT WEIGHT	REMARKS
EF1	GREENHECK	SP-B90	CEILING	RESTROOM 102	70	0.25	21	700	115-1-60	DIRECT	1.3	12	1
EF2	GREENHECK	SP-A200	CEILING	STORAGE/MOP SINK	150	0.5	50	900	115-1-60	DIRECT	4.3	26	1

GENERAL FAN NOTES:

- PROVIDE MOTOR STARTERS, DISCONNECTS AND ALL ASSOCIATED CONTROLS ON ALL FANS.
- PROVIDE BACKDRAFT DAMPERS FOR ALL EXHAUST FANS.
- FIELD ADJUST OPENINGS WITH EXISTING STRUCTURE.
- COORDINATE WITH ELECTRICAL CONTRACTOR BEFORE BIDDING OR ORDERING ANY EQUIPMENT.
- SEE GENERAL, AIR CONDITIONING, DUCTWORK, AND COORDINATION NOTES FOR OTHER FIELD SUPPLIED ITEMS.
- PROVIDE FACTORY FAN MOUNTING SUPPORTS - LEGS, CURBS, HANGING CLIPS, VIBRATION ISOLATORS, ETC.
- PROVIDE WITH EXTERIOR WALL CAP.

REMARKS:

- INTERLOCK W/ LIGHT

AIR DEVICE SCHEDULE

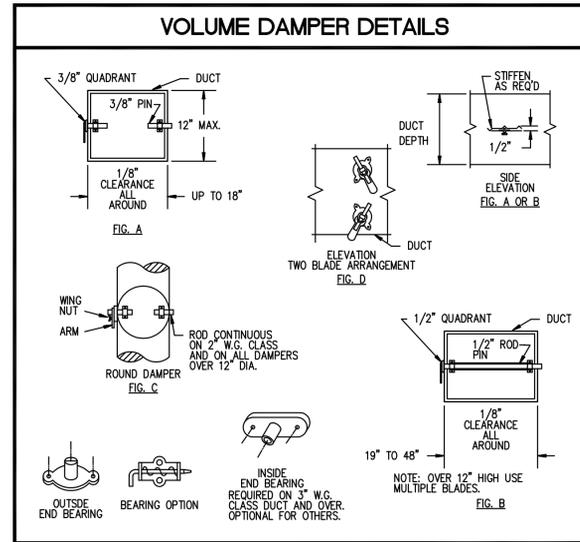
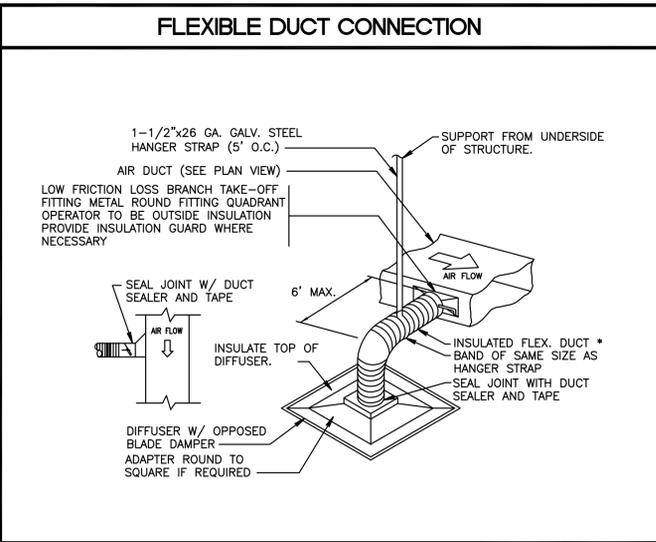
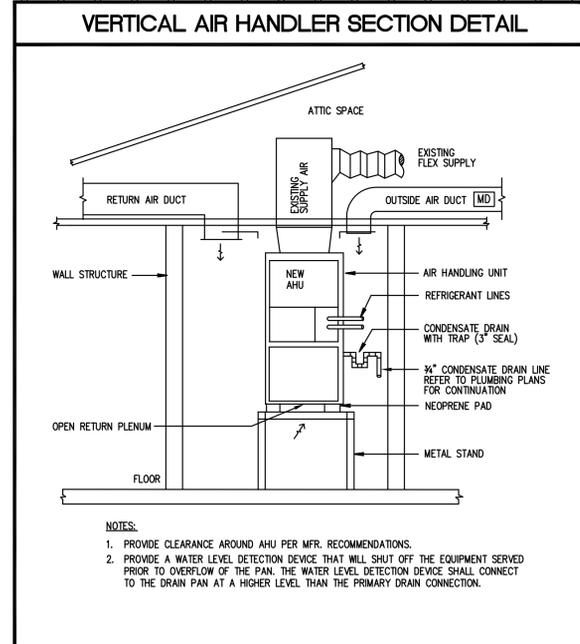
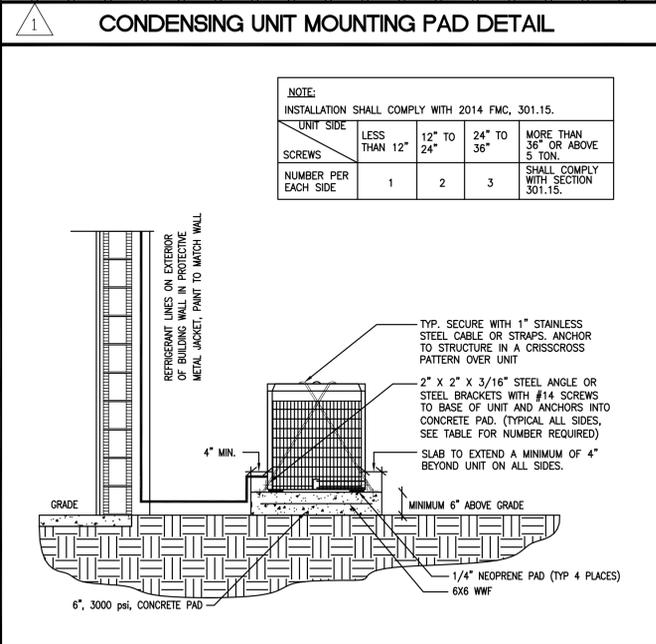
TAG	MFR & MODEL	SIZE	CFM	NOTES
Q	TITUS TMR-AA PRICE RDA	8" 8"	0-150 151-300	ROUND DIFFUSER WITH ADJUSTABLE CENTER CONE
S	TITUS 250-AA PRICE CVD	6x4	0-60	SURFACE MOUNT 1-WAY LOUVERED FACE
R	TITUS 350FL PRICE 630	8x6 10x10 14x14 24x12 20x20	0-190 191-320 850 880 1260	SURFACE MOUNTED RETURN GRILLE NC LEVEL < 30

1. ALL FINISHES TO BE WHITE UNLESS OTHERWISE DIRECTED BY THE OWNER OR ARCHITECT.

2. DIFFUSERS SHALL BE 4-WAY UNLESS OTHERWISE SHOWN ON PLAN.

3. COORDINATE FRAME TYPE WITH ARCHITECTURAL CEILING PLAN.

4. PROVIDE ALL AIR DEVICES IN HARD CEILINGS WITH OPPOSED BLADE DAMPERS.



- ### AIR DEVICE/ DUCTWORK NOTES
- REFER TO ARCHITECTURAL PLANS FOR CEILING TYPE.
 - PROVIDE OFF WHITE FINISH (SUBJECT TO ARCHITECT'S APPROVAL).
 - ALL DUCTWORK WHERE ALLOWED BY LOCAL CODES AND CEILING RATING SHALL BE 1" LOW PRESSURE DUCT, SEAL CLASS "C" AND AS FOLLOWS:
 - S/A & R/A - 1-1/2" THICK FIBERGLASS DUCT BOARD WITH VAPOR BARRIER (R-6 MIN) JOHNS MANVILLE MAT-FACED MICRO AIRE OR EQUIVALENT.
 - FLEXIBLE AIR DUCT SHALL BE UL 181 RATED. SUCH DUCTS SHALL BE LISTED AND LABELED AS CLASS 0 OR CLASS 1 FLEXIBLE DUCTS. FLEXIBLE DUCT INSULATION TO BE R-6 MINIMUM.
 - EXHAUST AIR DUCTWORK - GALVANIZED SHEETMETAL PROVIDE BACKDRAFT DAMPER.
 - OUTSIDE AIR DUCTWORK - ROUND METAL SNAPLOCK.
 - ALL DUCTWORK AND DIFFUSERS SHALL BE RATED FOR THE USE, PRESSURE AND TEMPERATURE SPECIFIED AND AS REQUIRED BY THE CEILING SYSTEM RATING.
 - ALL DUCTWORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH "SMACNA" STANDARDS AND LOCAL BUILDING CODES.
 - ALL DUCT SIZES ARE CLEAR INSIDE DIMENSIONS.
 - SEAL ALL DUCTS, JOINTS & SEAMS IN AN APPROVED MANNER AND INSURE AGAINST LEAKAGE.

- ### MECHANICAL EQUIPMENT NOTES
- ALL MECHANICAL EQUIPMENT SHALL BE ARI & U.L. LISTED WHERE APPLICABLE AND RATED FOR REQUIRED SERVICE, PRESSURES, TEMPERATURES, AND PROVIDED WITH ALL NECESSARY TRANSFORMERS, SEALS, VALVES, CONNECTIONS, ETC. TO FUNCTION PROPERLY.
 - PROVIDE BACKDRAFT DAMPERS ON ALL EXHAUST FANS.
 - PROVIDE VIBRATION ISOLATORS ON ALL MECHANICAL EQUIPMENT AS CALLED FOR IN THE SPECIFICATIONS. IF NOT SPECIFIED, AS RECOMMENDED BY MANUFACTURER FOR QUIET OPERATION (WITH 99% ISOLATION EFFICIENCY).
 - THERMOSTAT LOCATION SHALL BE APPROVED BY OWNER AND ENGINEER BEFORE INSTALLATION. INSTALL THERMOSTAT 48" TO 54" A.F.F. AS PER A.D.A. REQUIREMENTS WHERE APPLICABLE.
 - MECHANICAL CONTRACTOR SHALL COORDINATE WITH ELECTRICAL CONTRACTOR ALL REQUIREMENTS FOR JUNCTION BOXES, CONDUITS, CONTROL WIRING, POWER, ETC. AND DEFINE RESPONSIBILITIES AND SCOPE OF WORK FOR EACH TRADE PRIOR TO ANY PURCHASE OR INSTALLATION.
 - RUN INSULATED CONDENSATE DRAINS AS PER PLUMBING DRAWINGS.
 - ALL PIPING AND DUCTWORK SHALL BE SLEEVED THRU WALLS, BEAMS, SLABS, ETC. AS REQUIRED AND COORDINATED WITH THE STRUCTURAL ENGINEER. REWORK BAR JOIST CROSS BRACING AND PROVIDE NECESSARY TRANSITIONS AS REQUIRED FOR DUCTWORK INSTALLATION.
 - ARMAFLEX INSULATION SHALL BE USED FOR SUCTION LINES (1/2" FOR ABOVE 40" F AND 1" FOR BELOW 40") FOR PIPING INSULATION. FILTER/DRYER AND SIGHT GLASS SHALL BE PROVIDED AT LIQUID LINES.
 - ALL INSULATION WILL HAVE FIRE/SMOKE RATING LESS THAN 25/50.
 - ALL OUTDOOR EQUIPMENT SHALL COMPLY WITH LOCAL ZONING NOISE ORDINANCES. MIN. REQUIREMENT SHALL NOT EXCEED A NOISE LEVEL OF 65 DB AS MEASURED RADIALLY 30 FT. FROM THE EQUIPMENT IN ALL DIRECTIONS.
 - FILTERS SHALL BE IN PLACE DURING CONSTRUCTION. PROVIDE A NEW SET PRIOR TO TEST AND BALANCE AND A FINAL SET AT THE END OF ONE YEAR SERVICE PERIOD.
 - PROVIDE MOTOR STARTERS AS FOLLOWS (UNLESS OTHERWISE RECOMMENDED BY MOTOR MANUFACTURER):
 - PROVIDE OVERLOAD PROTECTION - 1/3 HP AND ABOVE (ALL PHASES).
 - PROVIDE ACROSS THE LINE VOLTAGE STARTING BELOW 25 HP.

- ### TESTING AND BALANCING NOTES
- AIR DISTRIBUTION SYSTEM TESTING, ADJUSTING AND BALANCING SHALL BE PERFORMED ACCORDING TO LOCAL BUILDING CODE ON BOTH NEW AND EXISTING HVAC SYSTEMS.
 - TEST, ADJUSTMENT AND SYSTEM BALANCE SHALL BE PERFORMED BY AN ENGINEER LICENSED IN THE JURISDICTION, OR A COMPANY OR INDIVIDUAL HOLDING A CURRENT CERTIFICATION FROM A RECOGNIZED TESTING AND BALANCING ORGANIZATION.
 - ALL HVAC SYSTEMS SHALL BE BALANCED IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING STANDARDS. A WRITTEN T & B REPORT SHALL BE PROVIDED TO THE OWNER FOR HVAC SYSTEMS SERVING ZONES WITH A TOTAL AIR CONDITIONING AREA EXCEEDING 5,000 SQ. FT. OR OTHERWISE REQUESTED BY THE OWNER FOR SMALLER SPACES.
 - BALANCING PROCEDURES SHALL BE IN ACCORDANCE WITH THE NEBB PROCEDURAL STANDARDS, THE AABC NATIONAL STANDARDS, OR EQUIVALENT PROCEDURES.
 - INDEPENDENT CONTRACTOR SHALL TEST AND BALANCE ALL MECHANICAL EQUIPMENT AIR DEVICES, EXTRACTORS, DAMPERS, AHU'S & FAN RATES, ETC. TO PROVIDE THE DESIGN QUANTITIES AS SHOWN ON THE PLANS OR SCHEDULES. PROVIDE FINAL BALANCING FOR ALL SYSTEMS TO SATISFACTION OF OWNER AND ENGINEER. TAG CONTRACTOR SHALL VISIT JOB SITE DURING CONSTRUCTION TO ENSURE THAT ALL DUCTS, DAMPERS, ETC. ARE INSTALLED FOR PROPER AND QUIET AIR DELIVERY.

- ### LEGEND AND SYMBOLS
- | | | | |
|-----|---------------------------------|-----|-------------------------|
| (T) | THERMOSTAT WITH SUBBASE | AFF | ABOVE FINISHED FLOOR |
| (S) | REMOTE TEMPERATURE SENSOR | BFC | AIR HANDLING UNIT |
| (S) | SUPPLY AIR (DIRECTION OF THROW) | CC | BELOW FINISHED CEILING |
| (S) | RETURN AIR | CU | CEILING GRILLE |
| (S) | SUPPLY AIR DUCT | EL | EXHAUST AIR LOUVER |
| (S) | RETURN AIR DUCT | EF | EXHAUST FAN |
| (S) | S/A GRILLE | FC | FLORIDA BUILDING CODE |
| (S) | R/A GRILLE | MC | MOTOR CONTROLLED DAMPER |
| (S) | FLEXIBLE DUCT | MCD | MAKE-UP AIR GRILLE |
| (S) | VOLUME DAMPER | OAL | OUTSIDE/MAKE-UP LOUVER |
| (S) | MOTOR CONTROLLED DAMPER | OB | OPPOSED BLADE DAMPER |
| | | RAG | RETURN AIR GRILLE |
| | | SR | SIDEWALL REGISTER |
| | | WMS | WIRE MESH SCREEN |
- NOTE: HVAC LEGEND IS PROVIDED AS A GENERAL REFERENCE. SOME SYMBOLS SHOWN MAY NOT PERTAIN TO THIS PROJECT.

- ### GENERAL MECHANICAL NOTES
- ALL MECHANICAL SYSTEMS ARE TO BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE NFPA STANDARDS, ANSI STANDARDS, THE LOCAL BUILDING CODE, NOISE & HEIGHT ORDINANCES, PLANS AND SPECIFICATIONS.
 - QUALITY OF WORK AND MATERIALS SHALL BE IN STRICT ACCORDANCE WITH APPLICABLE LOCAL CODES, PRODUCT APPROVAL, RULES AND ORDINANCES. ANY DAMAGED EQUIPMENT SHALL BE REPLACED OR RESTORED TO ORIGINAL CONDITION.
 - THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, ACCESS PANELS, CONTROLS, DEVICES, PERMITS AND SERVICES NECESSARY FOR FURNISHING AND INSTALLING A COMPLETE, OPERABLE MECHANICAL SYSTEM.
 - ALL LOUVERS, GRILLES, PIPING, ETC. SHALL BE PAINTED TO MATCH SURROUNDING COLOR AND TEXTURES AS REQUIRED BY ARCHITECT. VERIFY COLOR AND TEXTURE WITH ARCHITECT. PAINT ALL EXPOSED MECHANICAL EQUIPMENT WITH BENJAMIN MOORE EPOXY ENAMEL 182.
 - THE CONTRACTOR SHALL PROVIDE PLASTIC OR ALUMINUM TYPE EQUIPMENT IDENTIFICATION LABELS FOR ALL MECHANICAL EQUIPMENT AS PER SCHEDULE TAGS. (SETON OR SIMILAR)
 - ALL CUTTING, PATCHING, STRUCTURAL STEEL, WEATHER PROOFING, PAINTING, AND WALL OPENINGS PROVIDED BY GENERAL CONTRACTOR.
 - ALL OPENINGS IN BUILDING STRUCTURE, FOR DUCTWORK, PIPING, ETC. TO BE 1/2" LARGER (ON ALL SIDES) THAN THE OUTSIDE DIMENSIONS. FILL VOIDS WITH FIRE RETARDANT SILICONE FOAM (I.E. CHASE-FOAM CTC PR-855 BY CHASE TECHNOLOGY CORP. OR EQUAL).
 - PROVIDE FLEXIBLE DUCT CONNECTORS, RATED AS REQUIRED, TO ALL FANS, A/C UNITS, OR MECHANICAL EQUIPMENT.
 - PROVIDE MAINTENANCE AND OPERATION MANUAL ON ALL MECHANICAL EQUIPMENT OR SYSTEMS.
 - HVAC CONTRACTOR WILL WARRANTY ALL MECHANICAL SYSTEMS, DUCTWORK, THERMOSTATS, AND ALL OTHER EQUIPMENT, PARTS AND LABOR UNDER THESE DWGS. FOR A PERIOD OF ONE (1) YEAR AFTER C.O. OF BUILDING.

- ### SUBMITTAL REQUIREMENTS
- CONTRACTOR SHALL SUBMIT (6) COPIES OF COMPLETE SHOP DRAWINGS THROUGH THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN 30 DAYS OF NOTICE TO PROCEED.
 - ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE. IF NOT, THE SUBMITTAL SHALL BE REJECTED. PROVIDE A SUMMARY SHEET SHOWING ALL SCHEDULED INFORMATION.
 - SUBSTITUTIONS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONSTRUCTION DOCUMENTS. PRODUCTS CONSIDERED TO BE EQUAL SHALL BE REVIEWED AND ACCEPTED BY THE ENGINEER, ARCHITECT AND OWNER (10) DAYS PRIOR TO BID DATE.
 - THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR PROCEEDING PRIOR TO SHOP DRAWING PROCESSING, AND ON ANY ITEM OR WORK THAT IS AT VARIANCE TO THE CONSTRUCTION DOCUMENTS.
 - SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWICE. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED.
 - CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS NOT PROCESSED PRIOR TO INSTALLATION MAY NOT BE ACCEPTED. IF ACCEPTED, IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
 - SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS - WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT - WHICH RESULT IN REQUIREMENTS OF LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION, WILL NOT BE MADE BY THIS OFFICE, UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.
 - IF CONTRACTOR SUBMITS A DIFFERENT EQUIPMENT MANUFACTURER-MODEL, THE CONTRACTOR SHALL ENSURE THAT THE SUBSTITUTION HAS EQUAL OR BETTER ENERGY AND INDOOR ENVIRONMENTAL PERFORMANCE WHEN COMPARED TO THE EQUIPMENT SPECIFIED ON THE ORIGINAL CONSTRUCTION DOCUMENT. THE PROPOSED SUBSTITUTION SHALL ALSO BE CONSISTENT WITH THE FOLLOWING REQUIREMENTS:
 - CAPACITY, EFFICIENCY, REFRIGERANT, ELECTRICAL DATA, WEIGHT, AUTOMATIC CONTROL, ANY SPECIAL NOTE OR ACCESSORY LISTED ON SCHEDULES.
- DRAWINGS/DETAILS ARE TO BE CONSIDERED DIAGRAMMATIC, NOT NECESSARILY SHOWING IN DETAIL OR TO SCALE, ALL MINOR ITEMS, UNLESS SPECIFIC DIMENSIONS ARE SHOWN. THE STRUCTURAL ARCHITECTURAL AND SITE CONDITIONS SHALL GOVERN EXACT LOCATIONS. CONTRACTOR SHALL FOLLOW LAYOUT, AND CHECK/COORDINATE DRAWINGS OF ALL TRADES.

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PJT. MGR: STEVE ROBITAILLE
 PROJECT #: 170604

GEORGE SANJUAN, P.E.
 FLORIDA LICENSE #46100

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BLANCHE ELY HOUSE RENOVATION
 CITY OF POMPANO BEACH
 1500 NW 6TH AVENUE
 POMPANO BEACH, FLORIDA

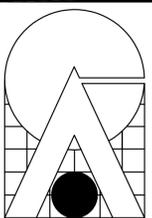
PERMIT SET - 06/27/2017

MECHANICAL INDEX, LEGEND AND NOTES

DATE: JUNE 27, 2017
 DRAWN BY: SR, BT, IL, MKG
 CHECKED BY: GSJ

JOB NO: 1720

SHEET: M-1



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SEAL: AA C001988

BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PROJECT

MECHANICAL GROUND FLOOR PLAN

TITLE

SHEET

M-2

OF

REVISIONS

DATE: JUNE 27, 2017
DRAWN BY: SR, BT, IL, MKG
CHECKED BY: GSI

JOB NO: 1720

DATE: JUNE 27, 2017

DRAWN BY: SR, BT, IL, MKG

CHECKED BY: GSI

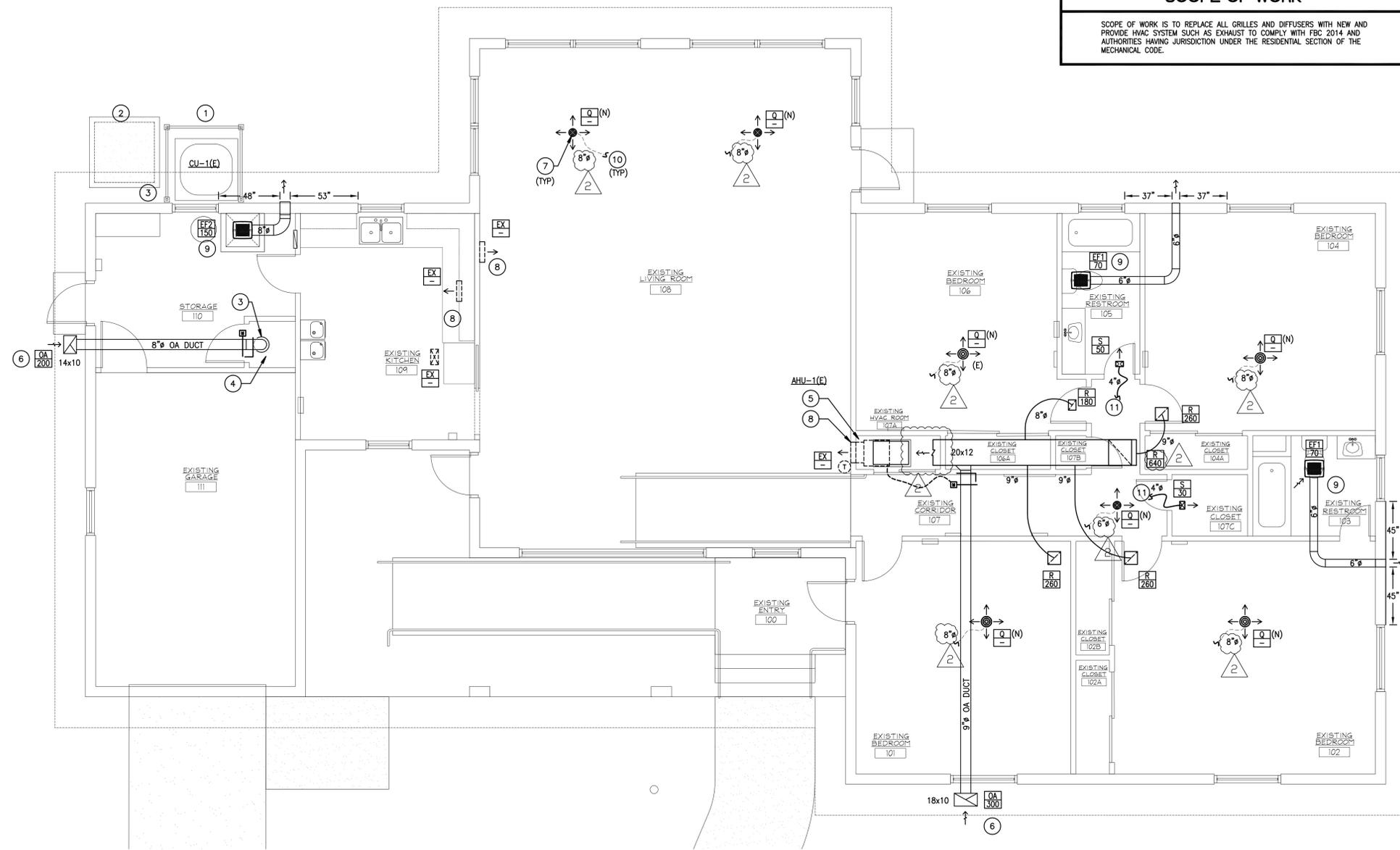
08-27-17 BLDG DEPT REVIEW

MECHANICAL KEY NOTES

- 1 EXISTING CONDENSING UNIT AND REFRIGERANT PIPING TO REMAIN.
- 2 6" POURED, REINFORCED CONCRETE PAD, MIN. 4" LARGER THAN EQUIPMENT ON ALL FOUR SIDES FOR FUTURE EXTENSION. COORDINATE SITE LOCATION WITH ARCHITECTURAL PLANS. MAINTAIN MFR.
- 3 CAP AND SEAL FOR FUTURE EXTENSION.
- 4 AC CLOSET FOR FUTURE EXTENSION.
- 5 EXISTING VERTICAL AIR HANDLER UNIT IN AIRTIGHT CLOSET ON GALVANIZED METAL STAND TO REMAIN. OPEN-ENDED BOTTOM RETURN TO REMAIN. MAINTAIN EXISTING VERTICAL SUPPLY DUCT TRUNK AND EXISTING TAP WITH SIDEWALL GRILLE.
- 6 OUTSIDE AIR INTAKE THRU NEW EAVE WITH BIRD SCREEN, SIZED AS NOTED. PROVIDE WITH VOLUME DAMPER AND MOTORIZED DAMPER IN ACCESSIBLE SERVICE LOCATION. ROUTE TO TURN DOWN INTO CLOSET AND PROVIDE WIRE MESH SCREEN.
- 7 PROVIDE ALL NEW SUPPLY AND RETURN GRILLES UNLESS NOTED OTHERWISE.
- 8 EXISTING SIDEWALL SUPPLY GRILLE TO REMAIN.
- 9 PROVIDE NEW EXHAUST FAN, ROUTED TO EXTERIOR WALL CAP. ENSURE 3'-0" CLEARANCE BETWEEN OUTLET AND OPERABLE WINDOWS.
- 10 EXISTING FLEXIBLE DUCT TO NEW DIFFUSER.
- 11 NEW FLEXIBLE DUCT TO NEAREST TRANSITION BOX.

SCOPE OF WORK

SCOPE OF WORK IS TO REPLACE ALL GRILLES AND DIFFUSERS WITH NEW AND PROVIDE HVAC SYSTEM SUCH AS EXHAUST TO COMPLY WITH FBC 2014 AND AUTHORITIES HAVING JURISDICTION UNDER THE RESIDENTIAL SECTION OF THE MECHANICAL CODE.



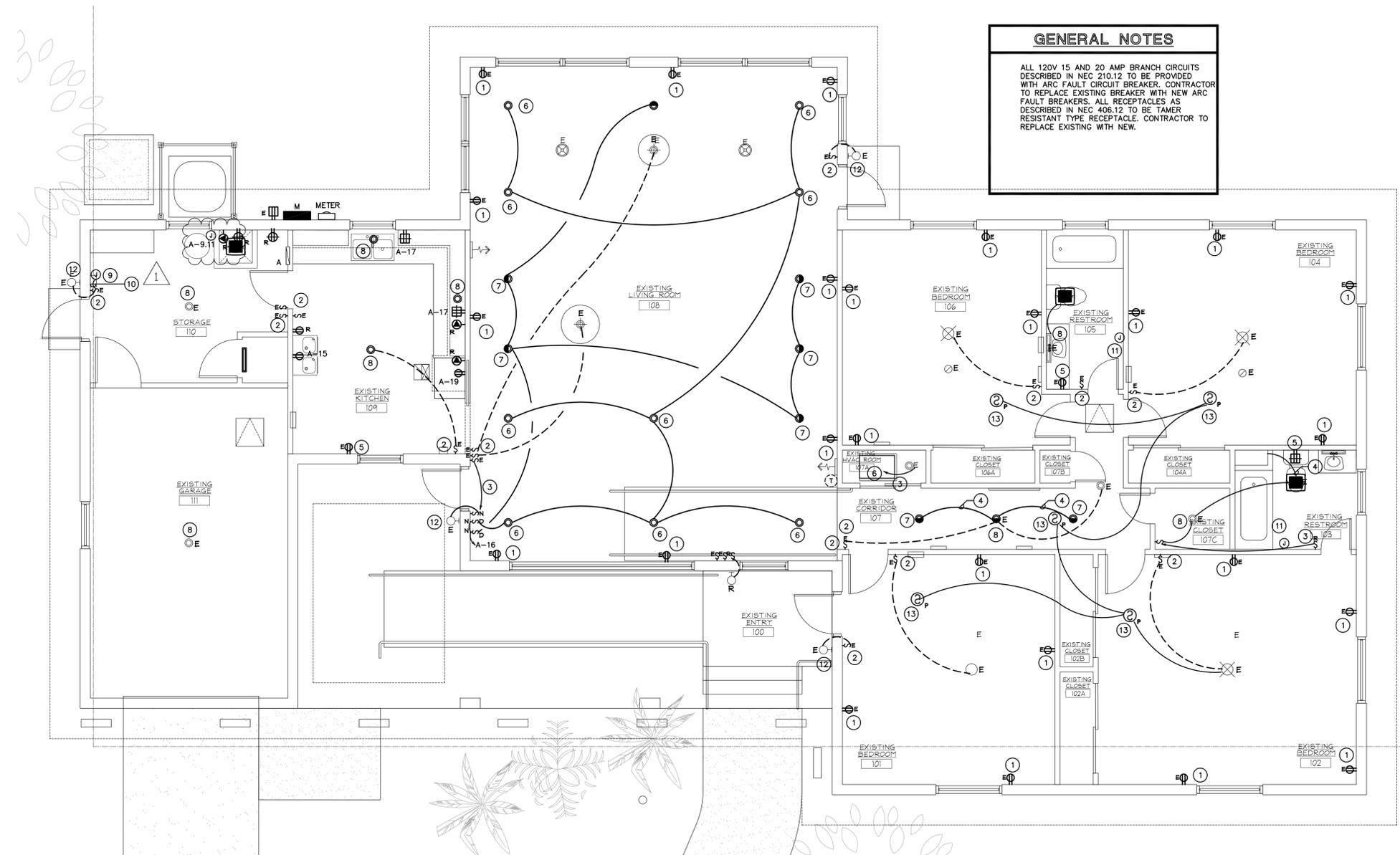
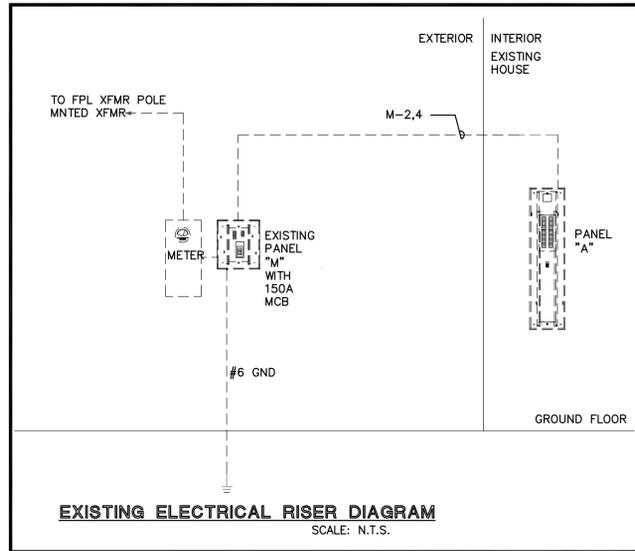
MECHANICAL GROUND FLOOR PLAN

SCALE 1/4"=1'-0"

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PROJECT #: 170604 FLORIDA LICENSE #46100

PERMIT SET - 06/27/2017



GENERAL NOTES

ALL 120V 15 AND 20 AMP BRANCH CIRCUITS DESCRIBED IN NEC 210.12 TO BE PROVIDED WITH ARC FAULT CIRCUIT BREAKER. CONTRACTOR TO REPLACE EXISTING BREAKER WITH NEW ARC FAULT BREAKERS. ALL RECEPTACLES AS DESCRIBED IN NEC 406.12 TO BE TAMER RESISTANT TYPE RECEPTACLE. CONTRACTOR TO REPLACE EXISTING WITH NEW.

ELECTRICAL GROUND FLOOR PLAN
SCALE: 1/4"=1'-0"

LOCATION: SEE FLOOR PLAN
SPEC: SQUARE D
■ EXISTING □ NEW

CKT	LOAD DESCRIPTION	WIRE	GRD.	COND.	POLE/ TRIP		KVA	C PHASE	COND.	GRD.	WIRE	TRIP	LOAD DESCRIPTION	CKT
					A PHASE	C PHASE								
1	SPACE	-	-	-	-	-	8.3	-	-	-	-	-	PANEL A	2
3	EXISTING	EX	EX	EX	20	-	0.6	1.8, 6	-	-	EX	EX	EX	4
5	AHU-1	EX	EX	EX	40	-	2.5	(2.0)	-	-	60	EX	EX	6
7	SPACE	-	-	-	-	-	2.5	(2.0)	-	-	-	-	CU-1	8
SUBTOTAL					10.8		11.7							
TOTAL KVA IS					22.5		24							
TOTAL AMPERES IS					94		94							

ALL FEEDER CALCULATIONS ARE BASED ON THHN/THWN CU NOT MORE THAN 4 CONDUCTORS IN A RACEWAY

RATED VOLTAGE= 120/240 VOLTS 1 PHASE 3 WIRE ■ EQPT. GRD. □ ISOL. GRD.

FEEDER SIZE IS: ■ CABLE = SEE RISER □ BUSWAY

MOUNTING: □ SURFACE ■ FLUSH □ FREE STANDING □ KEYED DOOR

NEUTRAL BUS IS: □ HALF SIZE ■ FULL SIZE □ K RATED (1.5) □ K RATED (2.0)

ENCLOSURE: □ NEMA 1 ■ NEMA 3R □ NEMA 4X CLASS () DIV ()

PANEL TYPE: □ FUSED ■ CB PLUG IN □ CB BOLT IN

NOTE:

LOCATION: SEE FLOOR PLAN
SPEC: SQUARE D
■ EXISTING □ NEW

CKT	LOAD DESCRIPTION	WIRE	GRD.	COND.	POLE/ TRIP		KVA	C PHASE	COND.	GRD.	WIRE	TRIP	LOAD DESCRIPTION	CKT
					A PHASE	C PHASE								
1	SPACE	-	-	-	-	-	1.0	0.8	-	-	-	-	LIGHTS/RECEPTACLES	2
3	SPACE	-	-	-	-	-	1.0	0.8	-	-	-	-	LIGHTS/RECEPTACLES	4
5	SPACE	-	-	-	-	-	1.0	0.8	-	-	-	-	LIGHTS/RECEPTACLES	6
7	SPACE	-	-	-	-	-	1.0	0.8	-	-	-	-	LIGHTS/RECEPTACLES	8
9	WATER HEATER	EX	EX	EX	30	-	2.2	1.0	-	-	-	-	LIVING RM/DOOR LIGHTS	10
11	SPACE	-	-	-	-	-	2.2	-	-	-	-	-	SPACE	12
13	SPACE	-	-	-	-	-	2.2	-	-	-	-	-	SPACE	14
15	DRINKING FOUNTAIN	EX	EX	EX	12	1/2	2.0	-	-	-	-	-	LIGHTING	16
17	SMALL APPLIANCE	EX	EX	EX	12	1/2	2.0	1.5	-	-	-	-	SPACE	18
19	REFRIGERATOR	EX	EX	EX	12	1/2	2.0	1.0	-	-	-	-	SPACE	20
SUBTOTAL					6.3		6.6							
TOTAL KVA IS					12.9		13.9							
TOTAL AMPERES IS					54		54							

ALL FEEDER CALCULATIONS ARE BASED ON THHN/THWN CU NOT MORE THAN 4 CONDUCTORS IN A RACEWAY

RATED VOLTAGE= 120/240 VOLTS 1 PHASE 3 WIRE ■ EQPT. GRD. □ ISOL. GRD.

FEEDER SIZE IS: ■ CABLE = SEE RISER □ BUSWAY

MOUNTING: □ SURFACE ■ FLUSH □ FREE STANDING □ KEYED DOOR

NEUTRAL BUS IS: □ HALF SIZE ■ FULL SIZE □ K RATED (1.5) □ K RATED (2.0)

ENCLOSURE: □ NEMA 1 ■ NEMA 3R □ NEMA 4X CLASS () DIV ()

PANEL TYPE: □ FUSED ■ CB PLUG IN □ CB BOLT IN

NOTE: ① EXISTING BREAKER TO REMAIN ② REPLACE EXISTING BREAKER WITH SPECIFIED

- KEYNOTES**
- 1 REPLACE EXISTING RECEPTACLE AND PLATE WITH NEW
 - 2 REPLACE EXISTING SWITCH AND PLATE WITH NEW
 - 3 INTERCEPT EXISTING BRANCH CIRCUIT HOMERUN ABOVE CEILING AND EXTEND TO NEW LOCATION.
 - 4 INTERCEPT EXISTING BRANCH CIRCUIT TO NEW LIGHT.
 - 5 REPLACE EXISTING RECEPTACLE WITH GFCI TYPE.
 - 6 NEW LED FIXTURE.
 - 7 NEW LED WALLWASHER DOWNLIGHT.
 - 8 REMOVE EXISTING LIGHT FIXTURE AND REPLACE WITH NEW LED TYPE.
 - 9 EXISTING IRRIGATION TIMECLOCK TO REMAIN
 - 10 REMOVE EXISTING EXPOSED ROMEX WIRE AND REPLACE WITH NEW WIRE IN MC CABLE.
 - 11 EXISTING WALL HEATER TO REMAIN. REMOVE ASSOCIATED WIRING BACK TO PANEL.
 - 12 REPLACE EXISTING EXTERIOR WALL LIGHT WITH NEW. MATCH EXISTING STYLE
 - 13 120V WITH 10 YEAR SEALED BATTERY SMOKE DETECTOR.

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PROJECT: **BLANCHE ELY HOUSE RENOVATION**
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PERMIT SET - 06/27/2017

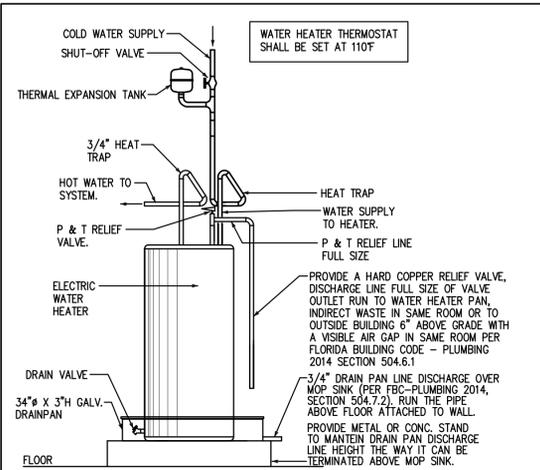
TITLE: **ELECTRICAL GROUND FLOOR PLAN**

DATE: JUNE 27, 2017
DRAWN BY: SR, BT, IL, MKG
CHECKED BY: GSJ

JOB NO: **1720**

SHEET: **E-2**

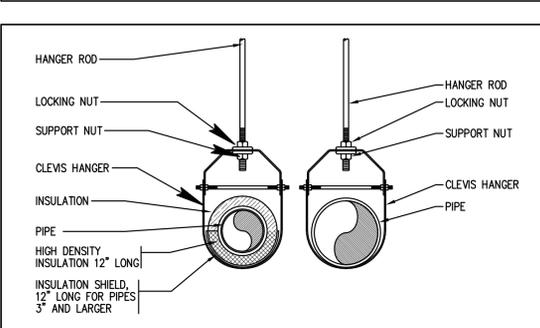
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I.D.	MANUFACTURER	MODEL	GALS.	VOLTAGE	KW	PHASE	REMARKS
EW1	A.O. SMITH**	DEN-30**	30	208	4.5	1	-

8 ELECTRIC WATER HEATER DETAIL

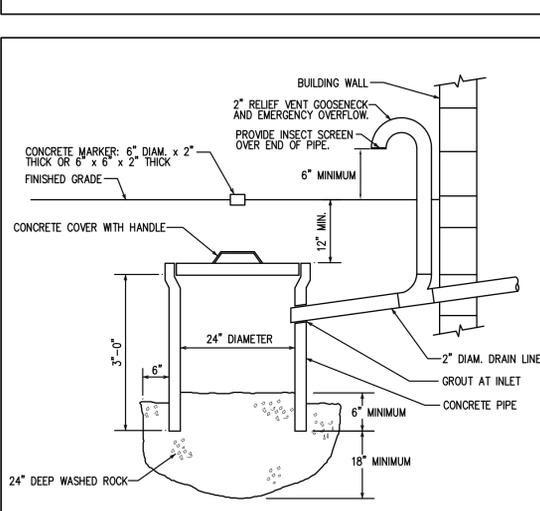
SCALE: N.T.S.



HANGER ROD SCHEDULE		HANGER ROD SPACING	
PIPE SIZE	ROD SIZE	PIPE SIZE	MAX. ALLOWABLE SPACING
UP TO 2"	3/8" DIA.	1"	7'
2 1/2" THRU 3"	1/2" DIA.	1 1/4"	8'
4" AND 5"	5/8"	1 1/2"	9'
		2"	10'

9 PIPING SUPPORT DETAIL

SCALE: N.T.S.



10 CONDENSATE DRYWELL DETAIL

SCALE: N.T.S.

7 PLUMBING FIXTURE SCHEDULE

SYMB.	FIXTURE	MODEL/ DESCRIPTION	ACCESSORIES
WC1	WATER CLOSET ADA	GERBER #WS-21-818, 'AVALANCHE ELONGATED ERGOHEIGHT, 16-7/8" HIGH TOILET, AV-21-828, HE-28-890, VITREOUS CHINA, FLOOR MOUNTED, 1.28 US GAL (4.8 L) PER FLUSH, TWO (2) PIECE, ELONGATED BOWL, DUAL-FED SIPHON JET.	CENTOCO #8205TS001, EXTRA HEAVY DUTY TOILET SEAT, SOLID PLASTIC, OPEN FRONT WITH COVER. MCGUIRE #LFBV172, POLISHED BRASS TOILET SUPPLY. PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
WC2	WATER CLOSET	GERBER #WS-21-812, 'AVALANCHE ELONGATED, 15-1/4" HIGH TOILET, AV-21-862, HE-28-890, VITREOUS CHINA, FLOOR MOUNTED, 1.28 US GAL (4.8 L) PER FLUSH, TWO (2) PIECE, ELONGATED BOWL, DUAL-FED SIPHON JET.	CENTOCO #8205TS001, HEAVY DUTY TOILET SEAT, SOLID PLASTIC, OPEN FRONT LESS COVER. MCGUIRE #LFBV172, POLISHED BRASS TOILET SUPPLY. PROVIDE FLOOR FLANGE, (SAME MATERIAL AS THE CONNECTING PIPE DRAIN), WITH ALL BRASS BOLTS AND WITH RUBBER GASKET.
LAV1	WALL HUNG ADA LAVATORY	SLOAN #SS-3065 'SLOAN' BASIN.	GERBER #C0-44-411-65-97-297, 'COMMERCIAL', TWO HANDLES FAUCET, GERBER COMMERCIAL #C0-44-411-65-97-297 TWO HANDLES FAUCET, CHROME PLATED FINISH, 4" (102 MM) CENTERSET, CAST BRASS BODY, CERAMIC DISC VALVE CARTRIDGES, CAST BRASS SPOUT, 4-5/8" (117 MM) PROJECTION REACH, WITH VANDAL RESISTANT 0.5 GPM (1.9 LPM) AERATOR OUTLET. POWERS #FLM495, POINT OF USE THERMOSTATIC MIXING VALVE, INTEGRAL CHECK AND SCREEN PREVENTS CROSS-FLOW AND CONTAMINATION. MCGUIRE #ISSA OPEN GRID DRAIN, MCGUIRE #LH1706V, POLISHED BRASS FAUCET SUPPLIES. MCGUIRE #8872CB, P-TRAP.
LAV2	COUNTERTOP LAVATORY	GERBER #13-894 'WICKER PARK' BASIN, SELF-RIMMING / DROP-IN.	GERBER #C0-44-411-65-97-297, 'COMMERCIAL', TWO HANDLES FAUCET, GERBER COMMERCIAL #C0-44-411-65-97-297 TWO HANDLES FAUCET, CHROME PLATED FINISH, 4" (102 MM) CENTERSET, CAST BRASS BODY, CERAMIC DISC VALVE CARTRIDGES, CAST BRASS SPOUT, 4-5/8" (117 MM) PROJECTION REACH, WITH VANDAL RESISTANT 0.5 GPM (1.9 LPM) AERATOR OUTLET. POWERS #FLM495, POINT OF USE THERMOSTATIC MIXING VALVE, INTEGRAL CHECK AND SCREEN PREVENTS CROSS-FLOW AND CONTAMINATION. MCGUIRE #ISSA OPEN GRID DRAIN, MCGUIRE #LH1706V, POLISHED BRASS FAUCET SUPPLIES. MCGUIRE #8872CB, P-TRAP.
BT	BATH AND SHOWER CONFIGURATOR	AMERICAN STANDARD 2776.202 CADET BATH, HIGH GLOSS ACRYLIC WITH FIBERGLASS REINFORCEMENT CONSTRUCTION, RECTANGULAR, INSTALLATION DIMENSIONS OF 59-7/8" X 32" X 20" (1521 MM X 813 MM X 508 MM), LEFT HAND OUTLET, NO GRAB BAR DRILLING.	AMERICAN STANDARD #640.305.002 UNIVERSAL DEEP SOAK BATH DRAIN, GERBER #9-010 MAXWELL, GERBER #91-301 PRESSURE BALANCE IN-WALL SHOWER ROUGH VALVE, GERBER 49-109 TRADITIONAL, SOLID BRASS BALL JOINT, 1.5 GPM (5.7 LPM) MAX FLOW RATE, CHROME PLATED FINISH. DANZE D48136 WALL MOUNT SHOWER ARM, BRASS CONSTRUCTION, 5-3/4" (146 MM) LONG. GERBER 85-191 DIVERTER TUB SPOUT PROVIDE P-TRAP.
SK	COUNTERTOP SINK	FRANKE COMMERCIAL #B60408-1/3, COUNTERTOP MOUNT SINK.	GERBER #C0-44-019, 'COMMERCIAL', TWO HANDLES FAUCET, 1.75 GPM (6.6 LPM) PRESSURE COMPENSATING AERATOR, GERBER COMMERCIAL #C0-44-019 TWO HANDLES FAUCET, CHROME PLATED FINISH, 8" (203 MM) CENTERSET, METAL CONSTRUCTION, CERAMIC DISC CARTRIDGE WITH TEMPERATURE LIMIT STOP, 1.75 GPM (6.6 LPM) PRESSURE COMPENSATING AERATOR, SWING SPOUT, 8-5/8" (219 MM) PROJECTION REACH, WRIST BLADE HANDLES. MCGUIRE #LH1706V, POLISHED BRASS FAUCET SUPPLIES. MCGUIRE #8912CB, P-TRAP.
MS	MOP SINK	STERN WILLIAMS #SB-900, SERVICE / MOP SINK.	GERBER #C4-44-654, 'COMMERCIAL', TWO HANDLES FAUCET, WALL MOUNTED 2.2 GPM (8.3 LPM) UNRESTRICTED HOSE END OUTLET, GERBER COMMERCIAL #C4-44-654 WALL MOUNTED TWO HANDLES FAUCET, ROUGH CHROME PLATED FINISH, 8" (203 MM) CENTERSET, CAST BRASS BODY, CERAMIC DISC VALVE CARTRIDGES, 2.2 GPM (8.3 LPM) UNRESTRICTED HOSE END OUTLET, 6-1/2" (165 MM) SPOUT WITH INTEGRAL VACUUM BREAKER, BUCKET HOOK, BUILT-IN STOPS AND SUPPORT BRACKET, 9-1/8" (232 MM) FROM WALL TO OUTLET REACH, VANDAL RESISTANT LEVER HANDLES, TOP BRACE. STERN WILLIAMS T-35 HOSE AND WALL HOOK 36" (914 MM) LONG HOSE WITH 3/4" (19 MM) CHROME COUPLING, STAINLESS STEEL WALL BRACKET. STERN WILLIAMS T-40 MOP HANGER STAINLESS STEEL #4 FINISH, 24" (610 MM) LONG WITH 3 RUBBER SPRING LOADED CLIPS. STERN WILLIAMS BP BACK SPLASH PANEL 20 GAL. (0.9 MM) TYPE 304 STAINLESS STEEL. PROVIDE P-TRAP.
EWC	DRINKING FOUNTAIN & COOLER	ELKAY #EDFP217C, 'NO LEAD TWO-LEVEL DRINKING FOUNTAIN SOFT SIDES', SATIN FINISH, DRINKING FOUNTAIN.	MCGUIRE #LH1711K, POLISHED BRASS PROVIDE DRINKING FOUNTAIN SUPPLIES. MCGUIRE #8872CB, P-TRAP. WATTS #CA-431-1-Q, MOUNTED ON CONCRETE FLOOR, DOUBLE CARRIER.
EW1	HOT WATER SYSTEM	A.O. SMITH DEN-300 240V 1PH-8	A.O. SMITH -300 240V 1PH-8 POWER INPUT OF 4KW, 16GPH (61LPH) RECOVERY AT 100F, 30 GALLONS (114 LITERS) STORAGE CAPACITY.

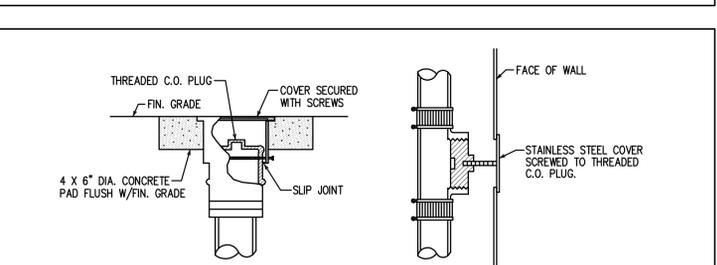
FIXTURE	WATER PIPE SIZE	NOMINAL SAN. SIZE	MAXIMUM FLOW RATES
WATER CLOSET (TANK, FLR MOUNTED)	1/2"	3"	1.28 GPF
LAVATORY	1/2"	1 1/4"	0.5 GPM
SINK	1/2"	1 1/2"	1.5 GPM
MOP SINK	1/2"	3"	2.2 GPM
BATH TUB	1/2"	2"	1.5 GPM

NOTE:

- ALL FIXTURES SHALL COMPLY WITH TABLE 604.4 OF THE F.B.C.-P.
- ALL WALL HUNG PLUMBING FIXTURES SHALL COMPLY W/ FBC 2318.1.15 OR 2517.5.1.1

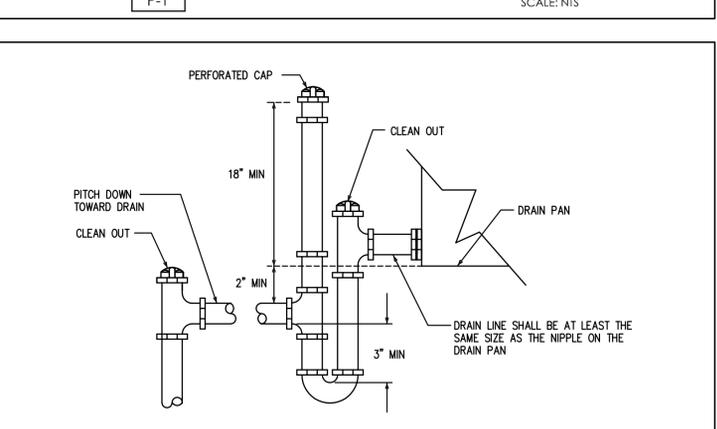
4 PLUMBING GENERAL NOTES

- ALL WORKMANSHIP AND MATERIAL SHALL BE IN STRICT ACCORDANCE WITH FBC-2014 RESIDENTIAL, FBC-2014 PLUMBING, APPLICABLE LOCAL CODES, RULES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS.
- ALL MATERIAL SHALL BE NEW.
- ALL WORK SHALL BE PERFORMED BY A LICENSED PLUMBING CONTRACTOR IN A FIRST CLASS WORKMANLIKE MANNER. THE COMPLETED SYSTEM SHALL BE FULLY OPERATIVE.
- REQUIRED INSURANCE SHALL BE PROVIDED BY THE CONTRACTOR FOR PROTECTION AGAINST PUBLIC LIABILITY AND PROPERTY DAMAGE FOR THE DURATION OF WORK.
- CONTRACTOR SHALL SECURE AND PAY FOR ALL PERMITS, FEES, INSPECTION AND TESTS.
- DRAWINGS ARE DIAGRAMMATIC. DO NOT SCALE FOR THE EXACT LOCATION OF FIXTURES, PIPING, EQUIPMENT, ETC.
- ALL WORK SHALL BE COORDINATED WITH OTHER TRADES TO AVOID INTERFERENCE WITH THE PROGRESS OF CONSTRUCTION. REPORT ANY DISCREPANCY TO ENGINEER/ARCHITECT PRIOR TO BEGINNING CONSTRUCTION.
- WATER PIPING SHALL BE TYPE "L" COPPER FOR 2" AND UNDER AND TYPE "K" COPPER FOR 2-1/2" AND ABOVE. CPVC PIPE IS ACCEPTABLE BY OWNER APPROVAL
- USE CAST IRON PIPING FOR SANITARY, AND COPPER FOR CONDENSATE DRAINAGE PIPING. SCHEDULE 40 PVC D.W.V. MAY BE USED ON SANITARY AND CONDENSATE LINES WHERE LOCAL CODE AND ORDINANCES WILL ALLOW. PVC MAY NOT BE USED IN ANY MECHANICAL ROOMS OR IN ANY RETURN AIR PLENUMS (USE COPPER PIPE).
- INSULATE ALL HOT WATER, HOT WATER RETURN, CONDENSATE LINES, EXHAUST LINES ABOVE GRADE AS FOLLOWS: HW SUPPLY AND RETURN - 1" THICK PREFORMED FIBERGLASS PIPE INSULATION W/ FACTORY JACKET. CONDENSATE PIPING - 3/4" ARMAFLEX PREFORMED. EXHAUST PIPE - 3" THICK CALCIUM SILICATE BLOCK INSULATION W/1200 F. STEVENS CLASS CLOTH WRAP.
- FURNISH AND INSTALL APPROVED P.D.I. WATER HAMMER ARRESTORS ON MAIN LINES.
- DIELECTRIC COUPLINGS ARE REQUIRED BETWEEN ALL DISSIMILAR METAL IN PIPING AND EQUIPMENT CONNECTIONS.
- ISOLATE COPPER PIPE FROM HANGER OR SUPPORTS WITH ISOLATOR PAD (HAIR FELT LINING).
- CONTRACTOR SHALL GUARANTEE ALL MATERIALS AND WORKMANSHIP FREE FROM DEFECTS FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM DATE OF ACCEPTANCE BY OWNER. CORRECTION OF ANY DEFECTS SHALL BE COMPLETED WITHOUT ADDITIONAL CHARGE AND SHALL INCLUDE REPLACEMENT OR REPAIR OF ANY OTHER PHASE OF THE INSTALLATION WHICH MAY HAVE BEEN DAMAGED.
- CONTRACTOR SHALL COORDINATE EXACT LOCATION AND SIZE OF SANITARY AND DOMESTIC WATER PIPES BEFORE STARTING ANY WORK. NOTIFY ARCHITECT/ ENGINEER OF ANY DEVIATIONS FROM DESIGN DRAWINGS.



5 TYPICAL CLEANOUT DETAILS

SCALE: N.T.S.



6 TYPICAL CONDENSATE DRAIN TRAP

SCALE: N.T.S.

PLUMBING INDEX OF DRAWINGS

No	SHEET	DESCRIPTION
1	P-1	INDEX, DETAILS, SCHEDULES, LEGEND AND NOTES
2	P-2	SITE PLUMBING PLAN
3	P-3	PLUMBING PLAN AND PIPING ISOMETRICS

SHOP DRAWING REQUIREMENTS

- CONTRACTOR SHALL SUBMIT 6 COPIES OF COMPLETED SHOP DRAWINGS, TOGETHER AT ONE TIME AND MUST COME THROUGH THE ARCHITECT. ALL SUBMITTALS SHALL BE MADE WITHIN 30 DAYS OF NOTICE TO PROCEED.
- ALL SUBMITTALS MUST CLEARLY INDICATE EXACTLY WHICH ITEMS ARE BEING PROPOSED FOR USE. IF NOT, THE SUBMITTAL SHALL BE REJECTED.
- SUBSTITUTIONS SHALL BE LIMITED TO ONE OF THE ALTERNATES LISTED IN THE CONSTRUCTION DOCUMENTS. PRODUCTS CONSIDERED TO BE EQUAL SHALL BE REVIEWED AND ACCEPTED BY THE ENGINEER, ARCHITECT AND OWNER (10) DAYS PRIOR TO BID DATE.
- THE CONTRACTOR ASSUMES ALL DESIGN RESPONSIBILITY AND ALL FINANCIAL RISKS FOR PROCEEDING PRIOR TO SHOP DRAWINGS PROCESSING, AND ON ANY ITEM OR WORK THAT IS AT VARIANCE TO THE CONSTRUCTION DOCUMENTS.
- SHOP DRAWINGS AND SUBMITTALS FOR EACH ITEM SHALL BE REVIEWED NO MORE THAN TWICE. A THIRD SUBMITTAL ON AN ITEM MUST BE ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR OR IT SHALL BE REJECTED.
- CIRCUMSTANCES NECESSITATING A REVISION TO THE PERMITTED DOCUMENTS NOT PROCESSED PRIOR TO INSTALLATION MAY NOT BE ACCEPTED. IF ACCEPTED IT MUST BE LEGIBLE, ACCURATE AND ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR. THE REVISION SHALL BE CHARGED TO THE CONTRACTOR AND DELIVERED TO HIM ON A C.O.D. BASIS.
- SUBSTITUTIONS FROM THE BASE DESIGN OR VARIATIONS TO THE PERMITTED CONTRACT DOCUMENTS, WHETHER RESULTING FROM PROCESSED SHOP DRAWINGS OR NOT, THAT RESULT IN REQUIREMENTS IN LETTERS OF AUTHORIZATION AND/OR PERMIT CONTRACT DOCUMENT CHANGES MANDATED BY THE AUTHORITY HAVING JURISDICTION WILL NOT BE MADE BY THIS OFFICE UNLESS ACCOMPANIED BY A PURCHASE ORDER FROM THE CONTRACTOR, AND RELEASED ON A C.O.D. BASIS.

1 PLUMBING SYMBOL LEGEND

SYMBOL	DESCRIPTION
---	S OR W SANITARY/WASTE PIPING
-----	SV SANITARY VENT PIPING
—CD—	CD CONDENSATE DRAIN
----	CW COLD WATER PIPING
-----	HW HOT WATER PIPING
○	BV BALL VALVE
⊗	GV, SOV GATE VALVE, SHUTOFF VALVE
∇	CH, V CHECK VALVE
⊕	MV MIXING VALVE
⊕	HB HOSE BIBB
⊕	SA SHOCK ABSORBER
⊕	ST STRAINER
⊕	CO WALL CLEANOUT
⊕	FCO FLOOR CLEANOUT
⊕	FD 3" FLOOR DRAIN W/ TRAP PRIMER
⊕	WM WATER METER
(E)	DENOTES "EXISTING TO REMAIN"
(N)	DENOTES "NEW"
⊕	FP FLOOR PENETRATION
⊕	VTR VENT THRU ROOF

** - NOT ALL SYMBOLS ARE USED IN THIS PROJECT

2 SHOCK ARRESTOR SCHEDULE

P.D.I. DESIGNATION	MANUF. & MODEL	FIXTURE UNITS	CONNECTION
A	SIoux CHIEF 652-A	1-11	1/2"
B	SIoux CHIEF 653-B	12-32	3/4"
C	SIoux CHIEF 654-C	33-60	1"

SIoux CHIEF SHOCK ARRESTORS APPROVED FOR INSTALLATION WITH NO ACCESS DOOR REQUIRED. CONFORMS TO ANSI/ASSE 1010 STANDARDS.

3 SLOPE OF HORIZ. DRAINAGE PIPE

SIZE (inches)	MINIMUM SLOPE (inch per foot)
2-1/2" or less	1/4
3 to 6	1/8

TABLE 704.1 OF THE FLORIDA BUILDING CODE - PLUMBING 2014

DELTA G CONSULTING ENGINEERS, INC.
 707 N.E. 3rd AVE., SUITE 200
 FORT LAUDERDALE, FL 33304
 (954) 527-1112
 CA#00009101

PT. MGR: STEVE ROBITALLE GEORGE SANJUAN, P.E.
 PROJECT #: 170604 FLORIDA LICENSE #46100

CARTAYA & ASSOCIATES ARCHITECTS P.A.
 2400 E. COMMERCIAL BLVD. SUITE 201
 FT. LAUDERDALE, FLORIDA 33308
 954-771-2724

AA C001988

BLANCHE ELY HOUSE RENOVATION
 CITY OF POMPANO BEACH
 1500 NW 6TH AVENUE
 POMPANO BEACH, FLORIDA

PROJECT: 1720

DATE: JUNE 20, 2017
 DRAWN BY: SR, BT, IL, MIKG
 CHECKED BY: GSI

CHECK SET - 06/20/2017

INDEX, DETAILS, SCHEDULES, LEGEND AND NOTES

SHEET: P-1 OF



CARTAYA & ASSOCIATES ARCHITECTS P.A.

2400 E. COMMERCIAL BLVD., SUITE 201 FT. LAUDERDALE, FLORIDA 33308 954-771-2724

AA C001988
SEAL

BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

PROJECT

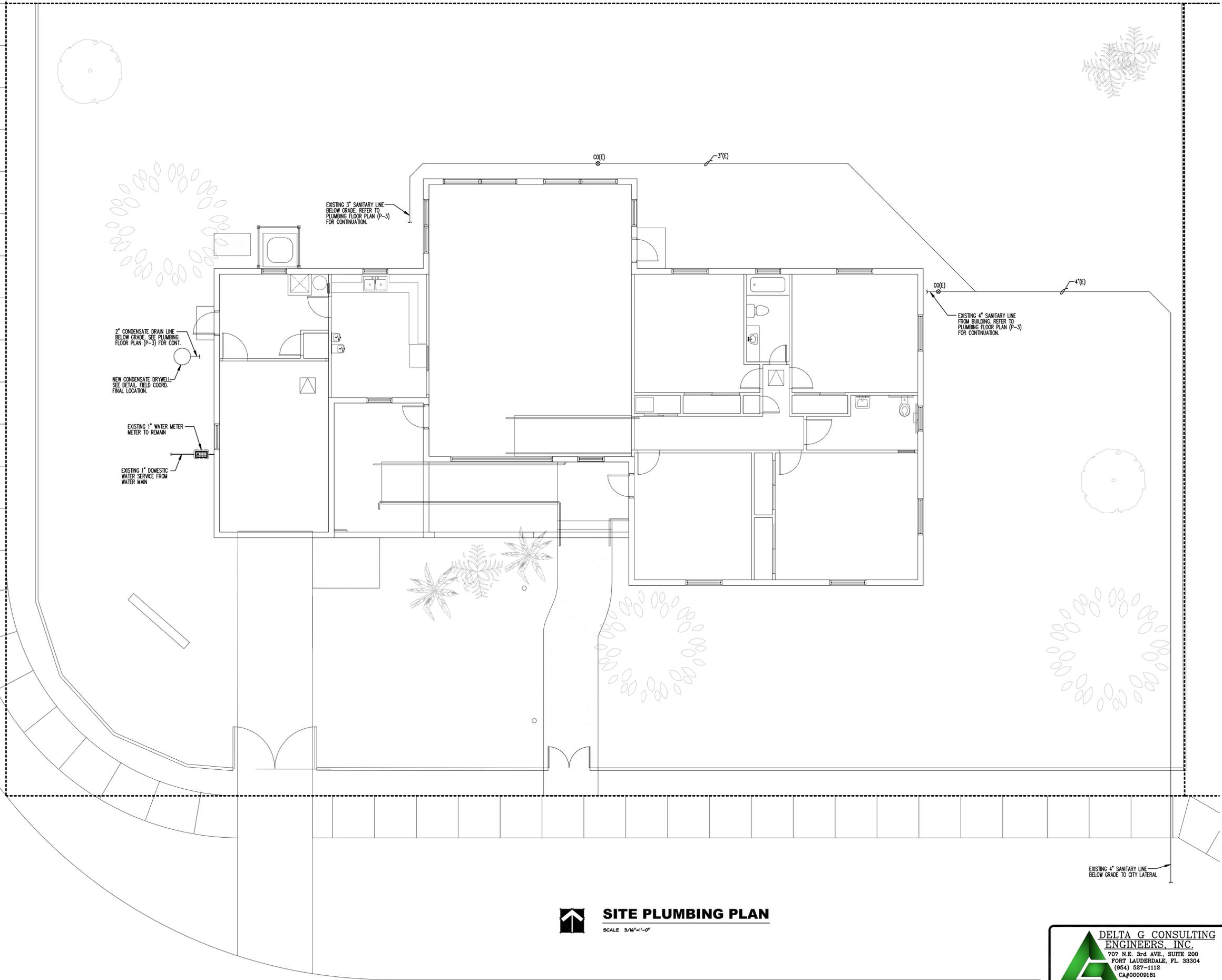
REVISIONS

DATE: JUNE 20, 2017
DRAWN BY: SR, BT, IL, MKG
CHECKED BY: GSI

JOB NO. 1720

SHEET: P-2 OF

CHECK SET - 06/20/2017



SITE PLUMBING PLAN
SCALE 3/16"=1'-0"

DELTA G CONSULTING ENGINEERS, INC.
 707 N.E. 3rd AVE., SUITE 200
 FORT LAUDERDALE, FL 33304
 (954) 527-1112
 CA#00009101

PJT MGR: STEVE ROBITAILLE GEORGE SANJUAN, P.E.
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SEAL
AA C001988

BLANCHE ELY HOUSE RENOVATION
CITY OF POMPANO BEACH
1500 NW 6TH AVENUE
POMPANO BEACH, FLORIDA

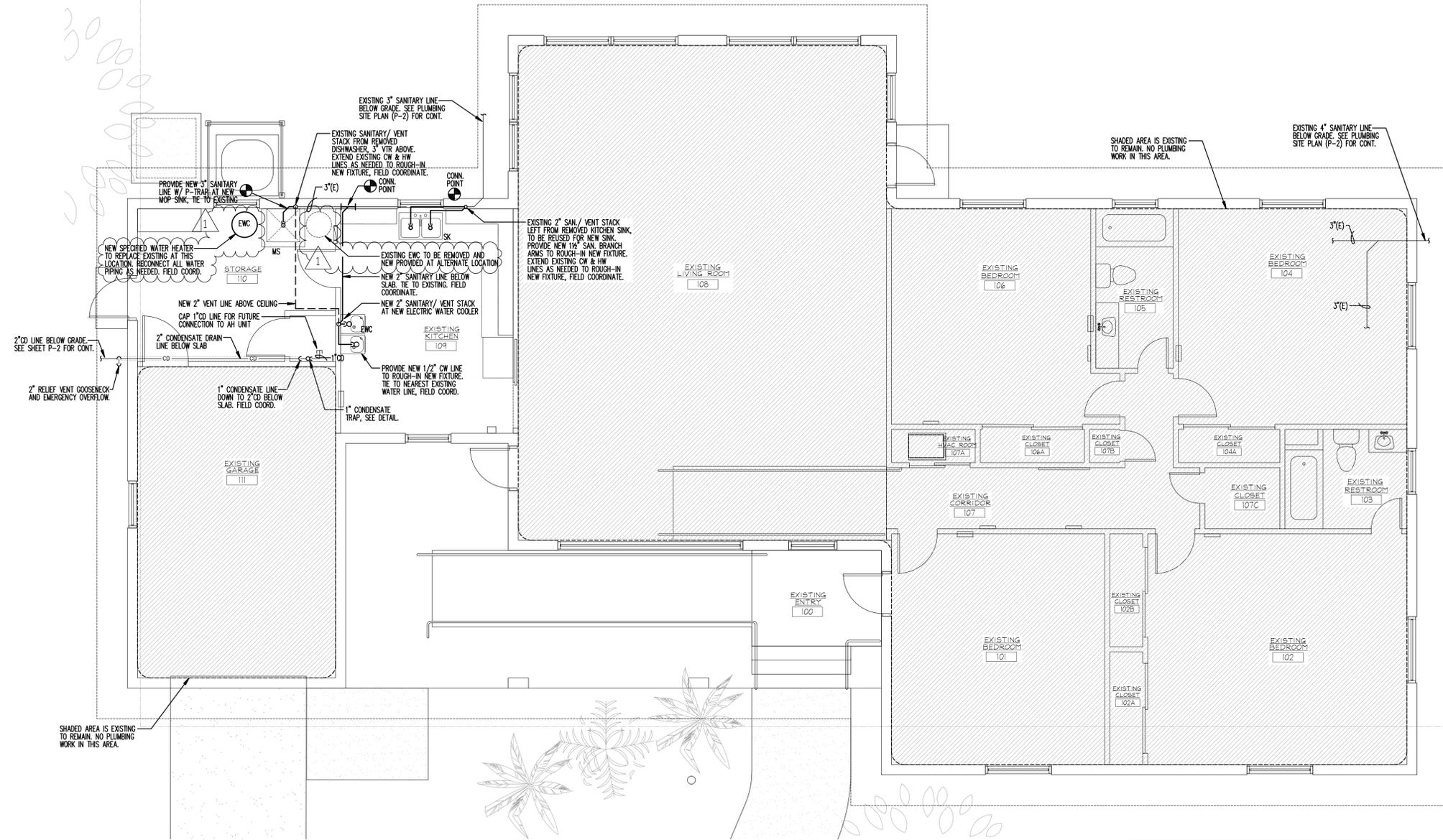
PROJECT

REVISIONS
DATE: JUNE 27, 2017
DRAWN BY: SR, BT, IL, MKG
CHECKED BY: GSI

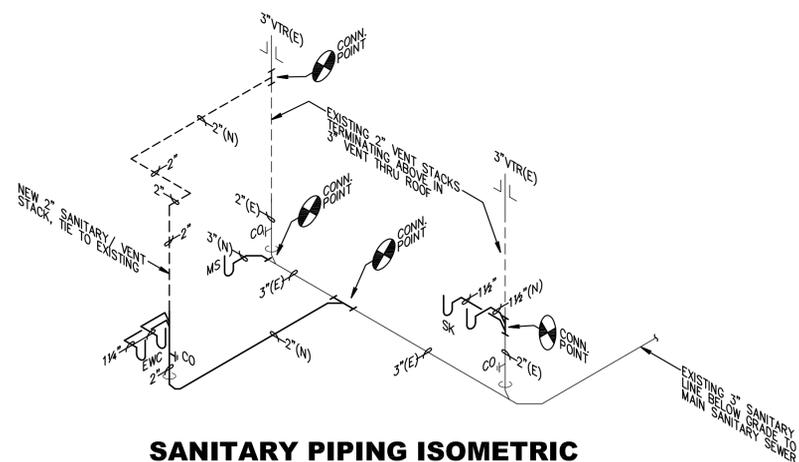
PERMIT SET - 06/27/2017

TITLE
PLUMBING PLAN AND PIPING ISOMETRICS
JOB NO.
1720

SHEET
P-3
OF



PLUMBING GROUND FLOOR PLAN
SCALE 1/4"=1'-0"



SANITARY PIPING ISOMETRIC
NTS

- DRAWING NOTES:**
- 1- ALL HORIZONTAL SANITARY PIPING 3" AND LARGER SHALL SLOPE AT 1/8 INCH PER FOOT MINIMUM, UNLESS NOTED OTHERWISE. ALL PIPING 2" AND SMALLER SHALL SLOPE AT 1/4 INCH PER FOOT MINIMUM, UNLESS NOTED OTHERWISE.
 - 2- FOR ALL TRENCHING DOWEL SLAB AND REPLACE VAPOR BARRIER PRIOR TO POURBACK CONCRETE. SEE ARCHITECTURAL DRAWINGS FOR DETAIL.
 - 3- CONTRACTOR SHALL FIELD VERIFY EXISTING SANITARY INVERT ELEVATION AT PROPOSED POINTS OF CONNECTION PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER/ARCHITECT OF ANY ISSUES.
 - 4- ALL UNDER SLAB SANITARY WASTE LINES SHOWN LAYOUT MARKED AS EXISTING IS APPROXIMATE AND NEEDS TO BE VERIFIED PRIOR TO CONSTRUCTION. CONTRACTOR TO VERIFY AND CONFIRM ALL UNDERGROUND UTILITIES BEFORE STARTING WORK AND NOTIFY ARCHITECT/ENGINEER IF ANY ISSUES OR DISCREPANCIES ARE FOUND.
 - 5- RECONNECT NEW WATER PIPING TO EXISTING PIPING AS REQUIRED. FIELD VERIFY EXACT LOCATION OF UTILITIES & COORDINATE CONNECTION POINT PRIOR TO CONSTRUCTION (TYPICAL).

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