




MEMORANDUM

Development Services

ADMINISTRATIVE REPORT NO. 17-370

DATE: October 13, 2017
TO: Planning and Zoning Board
VIA: David L. Recor, ICMA-CM, Director of Development Services 
Jennifer Gomez, AICP, Assistant Director of Development Services 
FROM: Daniel T. Keester-O'Mills, AICP, Principal Planner 
RE: Text Amendments to Zoning Code
Article 3 – Zoning Diagrams

Staff is recommending a text amendment in order to make the necessary corrections to the "Typical Development Configurations" associated with various Zoning Districts. The revised diagrams have been amended to correspond to the correct "Intensity and Dimensional Standards" listed in the table for that Zoning District. Staff has researched the original ordinance to confirm that the adopted diagrams from 2012 (Ord. 2012-64) correspond to the currently adopted diagrams. Staff is not proposing any changes to the intensity and dimensional standards of these Zoning Districts. The following zoning districts included a discrepancy between the minimum requirements and corresponding diagram:

- 155.3205 Single-Family Residence 4 (RS-4)
 - Minimum Floor Area Corrected
- 155.3207 Two-Family Residence (RD-1)
 - Minimum rear yard setback Corrected
 - Minimum Floor Area Corrected
- 155.3302 Limited Business (B-1)
 - Minimum Lot Width Corrected
 - Maximum Height Corrected
- 155.3307 Commercial Recreation (CR)
 - Minimum Rear Yard Setback Corrected
- 155.3501 Transit-Oriented (TO)
 - Typical Development Configuration to be deleted entirely
- 155.3502 Parks and Recreation (PR)
 - Maximum Height Corrected
- 155.3505 Transportation (T)
 - Minimum Lot Width Corrected

155.3205. SINGLE-FAMILY RESIDENCE 4 (RS-4)

A. PURPOSE

The Single-Family Residence 4 (RS-4) district is established and intended to accommodate primarily single-family dwellings at moderate densities on lots greater than 5,000 square feet in area. The district also accommodates accessory dwelling units and zero-lot-line development, as well as limited nonresidential uses usually found in urban single-family neighborhoods, generally as Special Exceptions.

TYPICAL BUILDING TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS ¹

Lot area, minimum (sq ft)	5,000
Lot width, minimum (ft)	50
Density, maximum (du/ac)	See Comprehensive Plan ²
Floor area per dwelling unit, minimum (sq ft)	675
Lot coverage, maximum (% of lot area)	40
Pervious area, minimum (% of lot area)	30
Height, maximum (ft)	35
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	15
Setback from a waterway or canal, minimum (ft) ³	25
Interior side yard setback, minimum (ft)	6 ³
Rear yard setback, minimum (ft)	15
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50



Dimensional Standards for Accessory Structures

See Accessory Use -Specific standards in Article 4: Part 3.

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.
2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
3. For developments with zero-lot-line single-family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

TYPICAL DEVELOPMENT CONFIGURATION

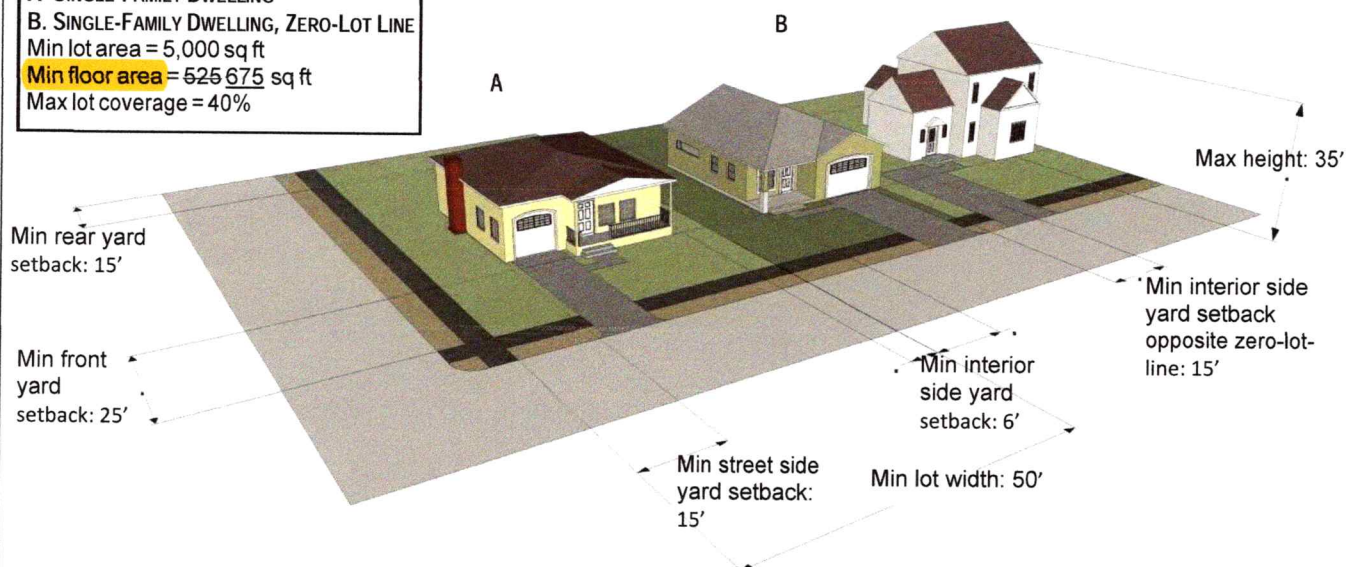
A. SINGLE-FAMILY DWELLING

B. SINGLE-FAMILY DWELLING, ZERO-LOT LINE

Min lot area = 5,000 sq ft

Min floor area = 625 675 sq ft

Max lot coverage = 40%



155.3207. TWO-FAMILY RESIDENCE (RD-1)

A. PURPOSE

The Two-Family Residence (RD-1) district is established and intended to accommodate primarily single-family dwellings and two-family dwellings at moderate densities. The district also accommodates accessory dwelling units (with single-family dwellings) as well as limited nonresidential uses usually found in urban single-family neighborhoods (e.g., parks, places of worship, golf courses), generally as Special Exceptions.

TYPICAL BUILDING TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS ¹

Lot area, minimum (sq ft)	SF: 7,000	2F: 8,000
Lot width, minimum (ft)	SF: 60	2F: 70
Density, maximum (du/ac)	12 ²	
Floor area per dwelling unit, minimum (sq ft)	750	
Lot coverage, maximum (% of lot area)	35	
Pervious area, minimum (% of lot area)	30	
Height, maximum (ft)	35	
Front yard setback, minimum (ft)	25	
Street side yard setback, minimum (ft)	18	
Setback for a waterway or canal, minimum (ft) ³	25	
Interior side yard setback, minimum (ft)	8	
Rear yard setback, minimum (ft)	15	
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50 (for Single Family Dwellings only)	

TYPICAL LOT PATTERN



Dimensional Standards for Accessory Structures

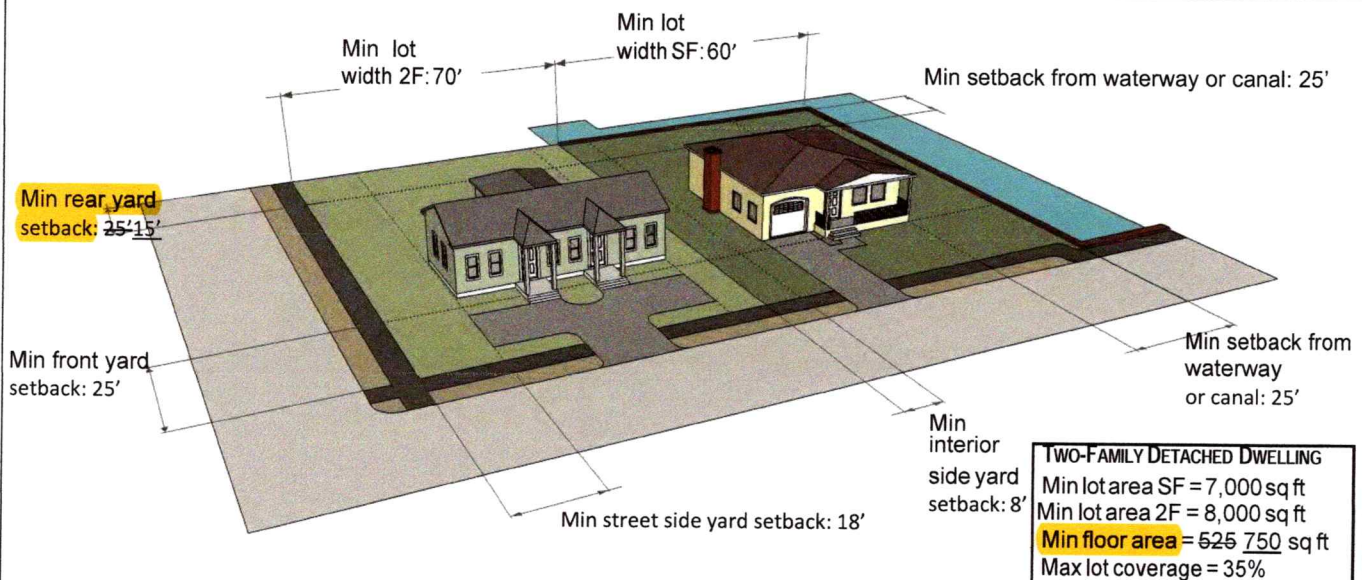
See Accessory Use -Specific standards in Article 4: Part 3.

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre; SF = single-family dwelling; 2F = two-family dwelling]

1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.

2. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.

TYPICAL DEVELOPMENT CONFIGURATION



155.3302. LIMITED BUSINESS (B-1)

A. PURPOSE

The Limited Business (B-1) district is established and intended to accommodate primarily small-scale, low-intensity office, institutional, personal service, and retail sales uses that primarily serve the needs of residents of the immediately surrounding neighborhood (e.g., professional and business offices, business services, banks, restaurants), as well as serving institutional uses (e.g., child care facilities, places of worship). It also accommodates complementary residential uses (e.g., live-work and upper-story dwellings) and moderate-density multifamily development (either stand-alone or mixed with commercial development). The district generally serves as transitional zoning between more intensive commercial development and low- and medium-density residential neighborhoods.

TYPICAL BUILDING TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS¹

TYPICAL LOT PATTERN

Lot area, minimum (sq ft)	7,000 ²
Lot width, minimum (ft)	70 ²
Density, maximum (du/ac)	20 ^{2,3}
Lot coverage, maximum (% of lot area)	35 ²
Pervious area, minimum (% of lot area)	20 ²
Height, maximum (ft)	50
Front yard setback, minimum (ft)	0
Street side yard setback, minimum (ft)	0
Setback from a waterway or canal, minimum (ft) ⁴	15
Interior side yard setback, minimum (ft)	0 ²
Rear yard setback, minimum (ft)	30



Dimensional Standards for Accessory Structures

See Accessory Use -Specific standards in Article 4: Part 3.

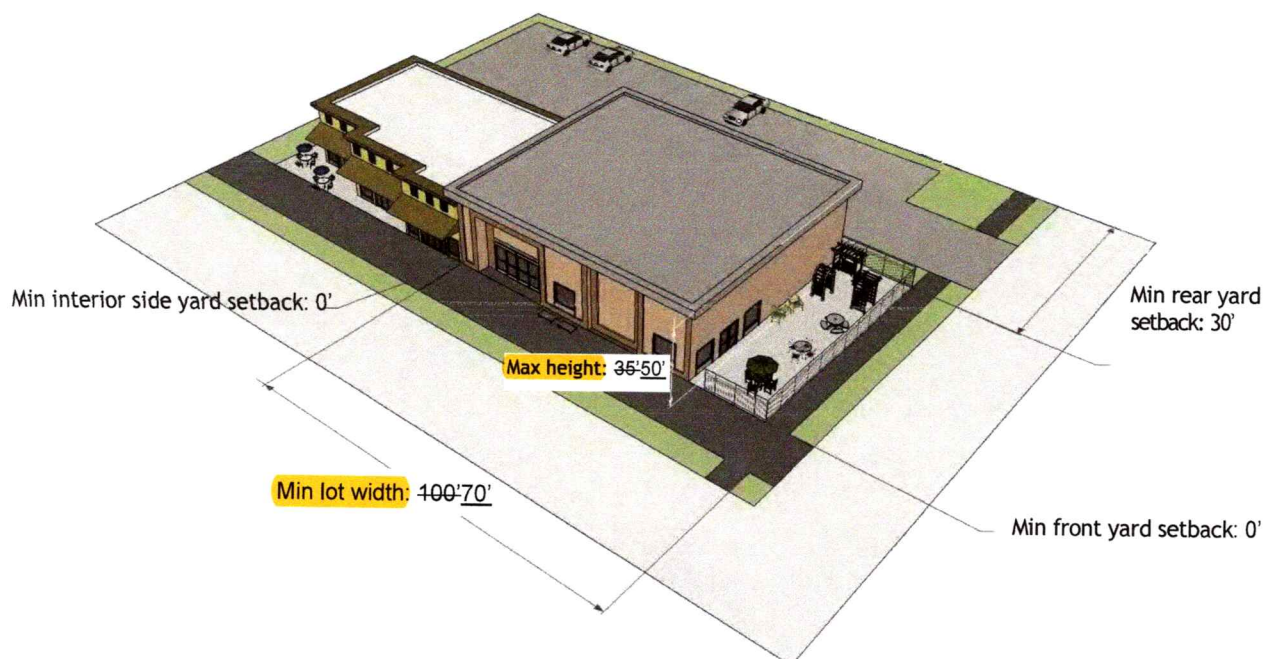
NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9:Part 4.

2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.

3. Residential development on land classified as Commercial by the Land Use Plan is subject to allocation of flex or reserve units in accordance with Chapter 154, Planning.

TYPICAL DEVELOPMENT CONFIGURATION



STRIKE THRU

155.3307. COMMERCIAL RECREATION (CR)

A. PURPOSE

The Commercial Recreation (CR) district is established and intended to accommodate the more intensive outdoor and indoor recreation facilities (e.g., active recreation complexes, stadiums, arenas, jai-alai frontons, dog or horse racing facilities), as well as other outdoor and indoor commercial recreation uses (e.g., bowling alleys, golf courses, miniature golf courses, golf driving ranges, racquet sports and swimming pool facilities, marinas). It also accommodates hotels and motels.

TYPICAL BUILDING TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS ¹

Lot area, minimum (sq ft)	10,000
Lot width, minimum (ft)	100
Density, maximum (du/ac)	n/a
Lot coverage, maximum (% of lot area)	50
Pervious area, minimum (% of lot area)	40
Height, maximum (ft)	105
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	25
Setback from a waterway or canal, minimum (ft) ²	15
Interior side yard setback, minimum (ft)	25
Rear yard setback, minimum (ft)	25

TYPICAL LOT PATTERN



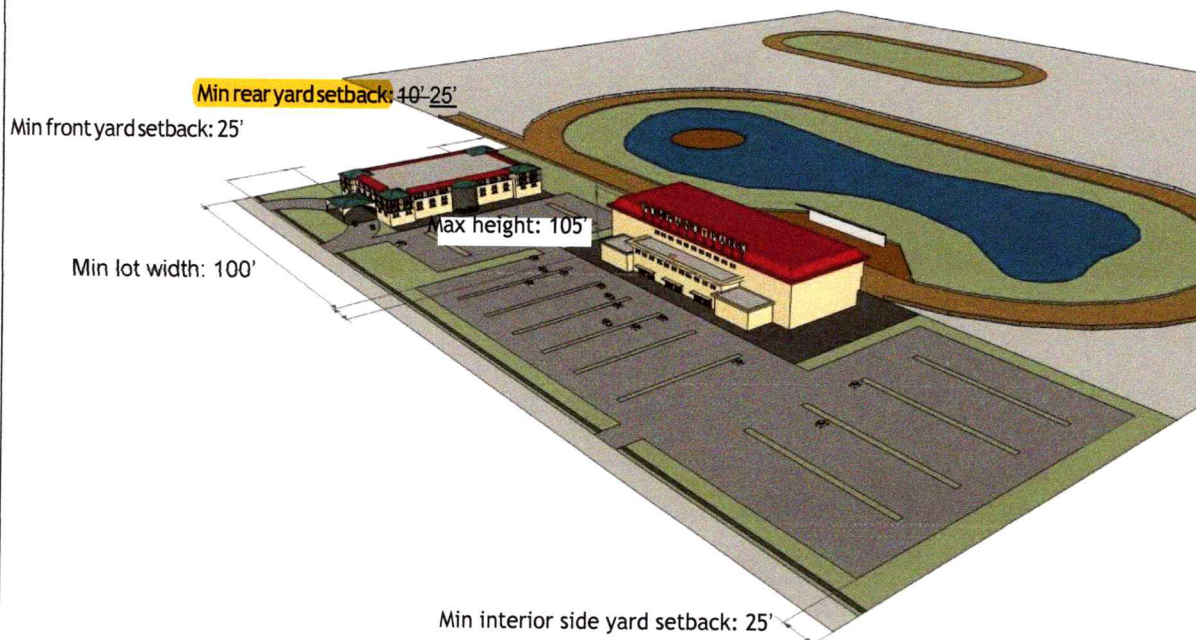
Dimensional Standards for Accessory Structures

See Accessory Use -Specific standards in Article 4: Part 3.

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.

TYPICAL DEVELOPMENT CONFIGURATION



155.3501. TRANSIT-ORIENTED (TO)

A. PURPOSE

The Transit-Oriented (TO) district is established and intended to encourage transit use as an alternative to auto dependency by accommodating moderate- to high-intensity, compact, mixed-use, and pedestrian-oriented development within convenient walking distance of existing and planned rail stations, major transit hubs, regional and neighborhood transit hubs, and high-priority corridors for bus rapid transit or high performance transit. The purpose of the district is to bring together people, jobs, services, and public spaces and amenities in a way that allows people to safely and conveniently walk, bike, and/or take transit to meet their day-to-day housing, employment, shopping, service, and recreational needs. Unlike other zoning

TYPICAL BUILDING TYPE



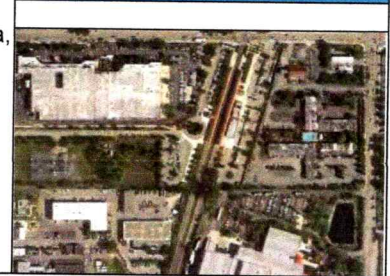
B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards. A list of Permitted and/or Prohibited Uses may be established during the Rezoning process.

C. INTENSITY AND DIMENSIONAL STANDARDS¹

Intensity and Dimensional Standards shall be established in the Overlay district developed in conjunction with the TO Rezoning. The Intensity and Dimensional Standards may include but not be limited to: Residential Density, Non-Residential Intensity, FAR, Floor Area Per Dwelling Unit, Lot Area, Lot Width, Lot Coverage, Pervious Area, Individual Building Size, Building Height, Setbacks, and Accessory Structures standards.

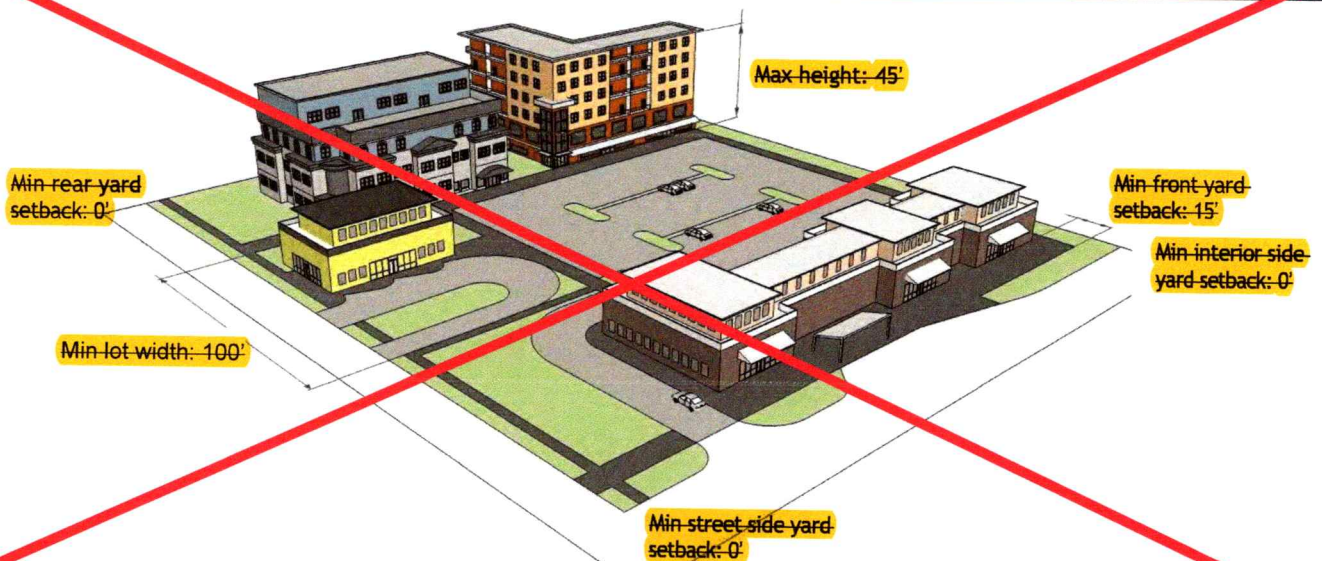
TYPICAL LOT PATTERN



NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.
4. Applies in addition to interior side and rear setbacks.

TYPICAL DEVELOPMENT CONFIGURATION

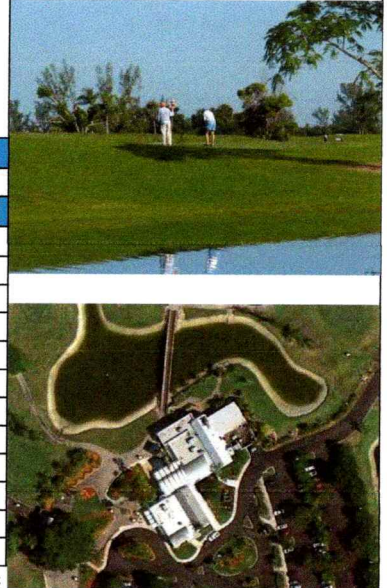


155.3502. PARKS AND RECREATION (PR)

A. PURPOSE

The Parks and Recreation (PR) district is established and intended to accommodate passive and active open space recreational uses such as nature centers, scenic areas, wildlife sanctuaries, aquatic preserves, picnic areas, bathing beaches, golf courses and driving ranges, racquet sports and swimming pool facilities, and athletic fields.

TYPICAL DEVELOPMENT TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS ¹

Lot area, minimum (sq ft)	n/a
Lot width, minimum (ft)	n/a
Density, maximum (du/ac)	n/a
Lot coverage, maximum (% of lot area)	10
Pervious area, minimum (% of lot area)	40
Height, maximum (ft)	30
Front yard setback, minimum (ft)	25
Street side yard setback, minimum (ft)	25
Setback from a waterway or canal, minimum (ft) ²	15
Setback from a dune vegetation line, minimum (ft) ²	25
Interior side yard setback, minimum (ft)	25
Rear yard setback, minimum (ft)	25
Dimensional Standards for Accessory Structures	See Accessory Use -Specific

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.

TYPICAL DEVELOPMENT CONFIGURATION



155.3505. TRANSPORTATION (T)

A. PURPOSE

The Transportation (T) district is established and intended to accommodate the Pompano Air Park and related airport facilities (aircraft operation and maintenance facilities, cargo and freight distribution terminals, transit warehousing), and other complementary or compatible uses—including open area and commercial recreation uses.


TYPICAL DEVELOPMENT TYPE



B. USE STANDARDS

See Appendix A: Consolidated Use Table, and use-specific standards in Article 4: Use Standards.

C. INTENSITY AND DIMENSIONAL STANDARDS ¹

ot area, minimum (sq ft)	n/a	
Lot width, minimum (ft)	n/a	
Density, maximum (du/ac)	n/a	
Lot coverage, maximum (% of lot area)	n/a	
Pervious area, minimum (% of lot area)	n/a	
Height, maximum (ft)	n/a ²	
Front yard setback, minimum (ft)	25 ³	
Street side yard setback, minimum (ft)	25 ³	
Setback from a waterway or canal, minimum (ft) ⁴	15	
Interior side yard setback, minimum (ft)	25	
Rear yard setback, minimum (ft)	25	
Dimensional Standards for Accessory Structures	See Accessory Use -Specific standards in Article 4: Part 3.	

NOTES: [sq ft = square feet; ft = feet; du/ac = dwelling units/acre]

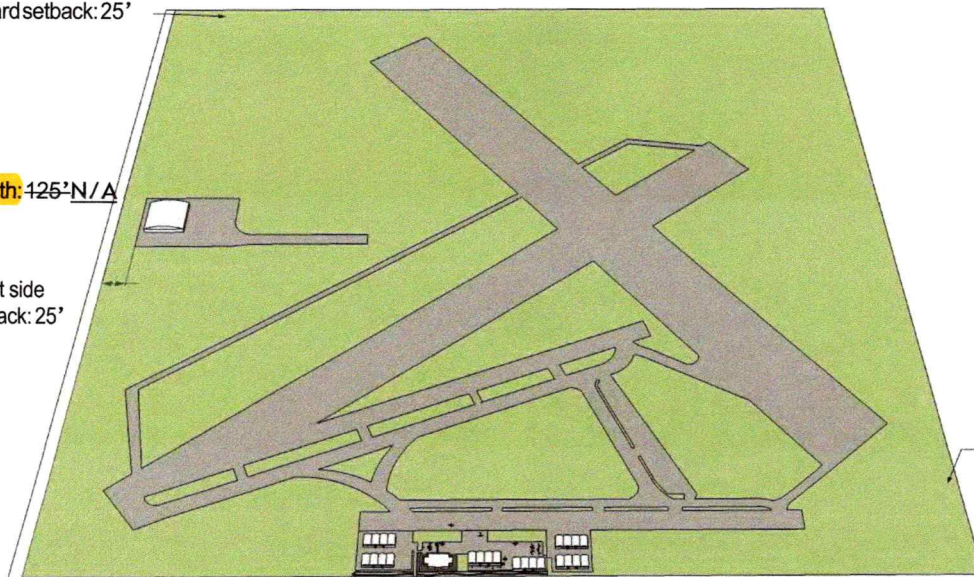
1. See measurement rules and allowed exceptions/variations in Article 9: Part 4.
2. Structures within the Air Park Overlay (APO) zoning district must also comply with the height limits in Section 155.3707.
3. 100 ft from N.E. 10th Street right-of-way and N.E. 23rd Street.

TYPICAL DEVELOPMENT CONFIGURATION

Min rear yard setback: 25'

Min lot width: 125' N/A

Min street side yard setback: 25'



Min interior side yard setback: 25'

Min front yard setback: 25'