

Ocean Park

1508 North Ocean Boulevard

Rezoning Application to Planned Development - Infill (PD-I)

December 2017
Revised June 2019

Prepared by

Keith and Associates, Inc.
301 East Atlantic Blvd.
Pompano Beach, FL 33060

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LIST OF EXHIBITS

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EXHIBIT	C	PD-1 Master Plan PD-2 Master Plan PD-3 Data Tables
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EXHIBIT	F	Shadow Analysis
EXHIBIT	G	View Shed
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EXHIBIT	I	Height Map
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I. INTRODUCTION

Mount Vernon Property Holdings, LLC (the “property owner”) owns a parcel of land located at 1508 North Ocean Boulevard, at the southeast corner State Road A1A and NE 16th Street, west of the City of Pompano Beach’s North Ocean Park (See **Exhibit A** - Location Map). A survey of the property and its legal description are provided in **Exhibit B**.

The subject property is currently 0.62 net acres prior to anticipated right-of-way dedications and 0.86 gross acres. The property’s Future Land Use designation is Residential High, which allows up to 46 dwelling units per acre (du/ac). The property’s current zoning district is Residential Multi-Family (RM-45). The property owner proposes to rezone the property to Planned Development – Infill (PD-I) to allow a unique and innovative, mixed-use development on a smaller, infill property in a corridor that is appropriate for and can accommodate the requested development regulations. The building’s conceptual design is architecturally significant and unique. The proposed development will include a mixed-use building with ground level commercial uses and multi-family residential units.

Mixed Use Design Concept

The design concept is a unique, innovative, and modern take on beach-side community living in Pompano Beach, and once constructed, is anticipated to serve as an iconic landmark in the City. The building will include a mix of ground floor commercial and multi-family residential uses. The first three (3) floors are anticipated to include parking and spaces for back of house activities as well as ground level commerce uses. On top of the pedestal, the design concept contemplates an amenity deck and two residential structures. The Applicant provided a conceptual site plan, elevations, and renderings with this PD-I package (Exhibit E). These documents demonstrate the Applicant’s significant effort towards designing a building that can be constructed using the requested PD-I regulations; however, the drawings may be modified during the actual site plan approval process.

The Commercial Component

The City’s PD-I regulations are intended to provide high-quality mixed-use development. To meet this intent, the PD-I proposes a range of neighborhood oriented commercial options that complement the community. The commercial spaces are intended primarily for the benefit of local residents and beach goers alike. The project abuts the City’s North Ocean Park and the conceptual design seeks to develop a synergy between the park and the building. The building design will place the non-residential component on the ground floor so it can be accessed by the community and support the pedestrian environment and ground-level community interactions and activities. The conceptual building design places a commercial component along the east side of the property to maximize the interaction with the park. The project’s commercial component is anticipated to include between 1,500 and 3,500 square feet of space. In the PD-I table, the Applicant requests the ability to create 5,000 square feet of commercial to add flexibility when finalizing the interior layout.

Justification: The existing RM-45 zoning district does allow limited commercial development on the site. The commercial component of the property is consistent important to the Applicant and is a primary driver of the rezoning request for the PD-I designation.

The Residential Component

In addition to the commercial component, the building will provide high quality, multi-family residential dwelling units. This PD-I application requests a density that will support 28 units on the

property. These units are anticipated to be designed in two (2) separate residential structures that sit atop the building pedestal. Each structure is anticipated to be 15 floors. Each floor is anticipated to contain a single dwelling unit except for the top floors that contain a two-story penthouse. The building's two off-set residential structures are designed to reduce the overall mass and provide adjacent properties with views and sunlight between the towers, a design which is advantageous compared with the alternative: a large, monolithic structure that would block views.

To allow 28 dwelling units on the property, the Applicant is requesting a density of 39 units per gross acre (46 units per acre per existing net acreage). The proposed gross density is less than the 45 units per acre permitted by the Comprehensive plan, which is the applicable limit for the PD-I district pursuant to Land Development Code Section 155.3607(C).

Justification: The existing RM-45 zoning district has a range of restrictions that would limit the ability to create innovative, unique, mixed-use development. The Applicant is proposing a density that allows this innovative development to occur.

Dimensional Standards

To achieve the desired building design and form, the PD-I document requests modifications to the dimensional standards, which is afforded by the Planned Development-Infill (PD-I) District. The proposed intensity and dimensional standards that will govern the site are outlined in **EXHIBIT C - PD TABLES**. The table also compares the proposed dimensional standards with the dimensional standards of the RM-45 district.

Justification: The PD-I district is intended to accommodate small-site, infill development within the city's already developed areas. The PD-I district is intended to provide the flexibility to enable high-quality, mixed-use development on relatively small sites. The Code requires that the Applicant establish PD-I standards through a PD plan (i.e. this document) pursuant to Section 155.3607(C). Therefore, the PD-I dimensional standards are provided to meet this requirement. The proposed PD-I dimensional standards will allow a development that is consistent with the conceptual building design and the mix of uses described within this application package. The existing RM-45 district does not allow high-quality, mixed-use development, and is not intended to accommodate development on smaller sites. This is evidenced by dimensional standards that a larger site could easily accommodate, but when applied to a small site, provide constraints that severely limit the development potential. The proposed dimensional standards will allow development to meet the intent of the code to provide the high-quality mixed-use development and to provide this development on a relatively small infill site. In addition to an improved pedestrian experience and enhanced interface between the building and the park, the Applicant proposes to implement improvements and materials that will reduce the property's environmental impacts including: Rain water collection for irrigation and other non-potable water uses, drought tolerant landscaping, on-site water treatment and storage, and pervious hardscape.

Public Experience – Parking Improvements

The proposed building will enhance and greatly improve the overall public experience and the pedestrian experience surrounding the property. To enhance the overall public experience, the Applicant proposes more public parking spaces, which is greatly needed in this area. These spaces are anticipated to be located both inside the site (i.e. in the parking garage) and on the street in locations where no public parking currently exists. The on-street parking is anticipated to be located partially on the subject property and partially in the 16th Street right-of-way and the Applicant will partner with the City to dedicate required easements for this on-street parking. The extra parking will help alleviate the parking problems identified by adjacent property owners during the community meetings. The public parking mentioned above is provided in addition to the

parking required for building residents.

Public Experience – Pedestrian Improvements

When the Applicant prepares the site plan application, the landscape plan will include significant landscape improvements beyond those that currently exist on the property. The details of this landscape plan is a required component of and will be submitted with the site plan application. Landscape improvements will include a landscaping component, a hardscaping component, and the Applicant is considering a water feature. These improvements will improve pedestrian walkability from A1A to North Ocean Park and the beach. The Applicant is also proposing to improve the interface between the building and the park by providing ground level commercial space abutting the park on the east side of the building. In addition to on-site improvements, the Applicant has volunteered to provide a developer's agreement to help the City make improvements to North Ocean Park.

Public Experience - Landscaping

The landscape components for the project will consist of a mix of hardscape and planting areas. The layout will include large planters within the paving to provide canopy trees and palms for softening and shading of the architectural elements. A suspended paving system will be incorporated to allow for planting of canopy trees within the plaza areas. Foundation and streetscape planting will be designed per landscape guidelines. The character will be in keeping with the conceptual rendered illustrative plan attached to this submittal (Exhibit D).

Public Experience – Park Improvements

The Applicant's vision is to maximize the connection between the building and the park by providing commercial space on the east side of the building adjacent to the park. The Applicant has drafted and submitted a developer agreement to the City to commit resources to the City to fund park improvements.

CPTED

The building's east tower overlooks North Ocean Park. This helps achieve a crime prevention through environmental design (CPTED) principle of 'eyes on the street', which can improve safety in the park. Pedestrian improvements will also advance CPTED principles.

Purpose of this Document

This PD-I document is intended to satisfy the submittal requirements of Pompano Beach's Land Development Codes, particularly Sections:

- 155.2405 – Planned Development
- 155.3602 – General Standards for all Planned Development Districts
- 155.3607 – Planned Development – Infill (PD-I)

This document outlines the code requirements and the project team's proposal for meeting these requirements. This application package, which includes plans and graphics, demonstrates that the proposed project is consistent with the purpose of the Planned Development Districts in general, and the Planned Development – Infill (PD-I) District specifically.

II. GENERAL STANDARDS FOR PLANNED DEVELOPMENT DISTRICT

This section responds to each of the requirements outlined in Section 155.3602 – *General Standards for All Planned Development Districts* of the Pompano Land Development Code.

A. PD Plan

1. A Statement of Planning Objectives for the District

The Planned Development – Infill (PD-I) District is intended to accommodate and enable high-quality, mixed-use development on small, infill sites in developed areas of the City. To do this, the district allows applicants to provide their own standards; standards that must be consistent with the City's existing plans and compatible with surrounding properties. PD-I Districts are generally appropriate in most of the Land Use Plan's land use classifications, as long as proposed development is consistent with the City's Goals, Objectives and Policies.

Parcel Size Limitations

The project team seeks to rezone the Ocean Park property to the Planned Development – Infill (PD-I) zoning district for several reasons, but one principal motive is to compensate for the small parcel size, which constrains development options. The Ocean Park site is only 100 feet wide, which severely limits the development on the site, particularly development that uses the site's existing zoning district – Residential Medium (RM-45). The small lot size is further exacerbated by the City's requirement for additional right-of-way dedication along SR A1A in lieu of a right-of-way easement. The dimensional and development standards proposed in this rezoning to the PD-I district are needed to implement a development program consistent with the proposed documents in this application package.

The initial site design clearly demonstrated that the RM-45 zoning district's conventional setback requirements, which are appropriate for larger properties, would create a building that few would desire and, therefore, would not likely be feasible to build. This initial design included a parking garage that would cover most of the site and left no additional space for amenities. Since the initial design was not feasible, the project team determined that the PD-I zoning district's flexible, design-oriented standards could provide a solution. This application package proposes design parameters that allow an appealing and feasible innovative design within the constrained site boundaries.

The City's Development Review Committee, which reviewed the proposal, commented on areas where the site is constrained, which is why the site is appropriate for infill development using the PD-I zoning category. The RM-45 zoning designation is not the most appropriate zoning designation for the site. Previous projects have been proposed on this site in 2002, 2006 and 2010. All requests required adjustments to the City zoning standards and one required variances. None of those projects moved forward to construction. These DRC comments along with the properties proposed development history help explain why the city's proposed rezoning to the PD-I zoning district is consistent with infill redevelopment on sites such as Ocean Park is the applicable standards.

While not explicitly stated, the PD-I District represents a form of public-private partnership. The

district allows smaller, infill properties greater flexibility and relief from a zoning designation that limits redevelopment opportunities.

2. Detailed Description of PD Plan

All Dimensional Standards including land area, types and mix of land uses, maximum number of units, lot area, lot width, maximum impervious area, maximum height, and setbacks as well as a comparison to the requirements found in the RM-45 district are found in **EXHIBIT C**. The proposed standards are necessary to develop an innovative, high quality, mixed-use development on a small, infill site.

a) Modifications of Development Standards;

The project anticipates the need for modifications of development standards that relate to a reduction of the minimum vehicle stacking requirements before the first conflict point, although the Applicant believes the stacking requirement should not be applied to parking garages. The PD-I also requests modification to landscape requirements that will allow the flexibility to create innovative, mixed-use development on a small, infill property. Justifications for these modifications are provided in **Exhibit C - PD Tables**.

b) Provisions addressing how transportation, potable water, wastewater, stormwater management, and other public facilities will be provided to accommodate the proposed development;

- **Transportation** – Residents and guests will access a parking garage along NE 16th Street. Pedestrians can access the building via sidewalks along SR A1A and NE 16th Street. Bicycle riding residents and guests can access the building via a bike lane or sidewalk on A1A and a sidewalk along NE 16th Street or the NE 16th Street right-of-way itself.
- **Potable Water** – The property is served by the City of Pompano Beach's municipal potable water system. Adequate potable water service is available and service availability letters will be obtained at the time of platting.
- **Wastewater** – The property is served by the Broward County's municipal wastewater system. Adequate wastewater service is available and service availability letters will be obtained at the time of platting.
- **Stormwater** – The project will be designed to store all on-site stormwater treatment.
- **Other public facilities: Parking** – All parking required for the project will be provided within the parking garage. The proposed project includes additional public parking on NE 16th Street which can alleviate some of the parking problems that visitors and nearby residents have experienced. The proposed parking redesign on NE 16th Street will include parallel and perpendicular parking on the south side of the street. To accommodate this parking the property owner anticipates providing a 5-foot right-of-way easement along the north property line for the portion of the parking areas on the subject property.

- **Other factors: Environmental Components** – The building is incorporating the following sustainable design elements to further support the environment:

- Solar electric
- Lighting power density below 0.8 watts per square foot
- Energy Star appliances in common areas as well as individual units
- High efficiency washers
- Compact hot water distribution in units w/ insulated pipes
- Low flow toilets, shower heads, and kitchen facets
- High density promotes sustainability
- Bicycle storage
- Preferred parking for low-emission vehicles
- Electric charging stations for electric cars
- 100% drought tolerant landscaping
- Rain water collection for irrigation and non-potable uses
- Energy Star roof with high reflectivity
- Shaded, covered hardscape
- Pervious hardscape/pavers
- 100% covered parking
- Treat and store 100% water runoff on-site
- Low VOC ceiling and paints
- Recycled content finishes
- Used certified wood
- Construction waste recycling
- Maximize regional materials
- Impact resistant facade
- Low maintenance, resilient finishes

c) Provisions related to environmental protection and monitoring;

The proposed project is not located in an environmentally sensitive area. The project site was previously developed, and the previous development has been demolished. The site is currently cleared and vegetated primarily with grass. The site is located near the beach, which is nesting turtle habitat. The development will incorporate exterior lights that are shielded from the ocean, suitable for use near turtle habitat. The property will be managed to minimize light from the building during turtle nesting season.

d) Identification of community benefits and amenities that will be provided to compensate for the added development flexibility afforded by the PD district;

The project proposes benefits, amenities, and improvements that help compensate for additional development flexibility. These improvements include park improvements and additional public parking which will be metered by the City.

1. **North Ocean Park Improvements** – Although North Ocean Park is not part of the project, the project team is available to work with the City to make improvements to the park. The Applicant voluntarily provided a developer's agreement to the City to demonstrate their commitment to fund park improvements. The project team plans to work with the City and the surrounding community to determine which improvements to implement.
2. **Additional Public Parking** – As mentioned above, the proposed project includes additional public parking, which can alleviate some of the parking problems that visitors and nearby residents experience.

e) Development Phasing Plan;

The project team anticipates completing the entire project in one phase.

f) Conversion Schedule

The proposed project does not require conversions between uses.

g) Any other provisions the City Commission determines are relevant and necessary to the development of the planned development in accordance with applicable standards and regulations.

The proposed rezoning amendment helps facilitate improvements that benefit the City. The Applicant plans to attend the hearing before the City Commission.

3. General Location of Project Components

a. Individual development areas, identified by land use(s) and/or development density or intensity;

Since the site is constrained, the project designers maximized the development on the site. The entire property has a proposed density of 39 dwelling units per gross acre. A conceptual site plan that could be developed utilizing the requested PD-I density and intensity standards is provided in **Exhibit E, Sheet A1-101**.

b. Open space (whether designated for active or passive recreation), including amount, and type of;

The site's open space area that includes landscape and hardscape is anticipated to be 30 percent or more. This includes the area surrounding the building and passive recreation areas in connection with the adjacent Ocean Park to the east. A conceptual site plan that could be developed utilizing the requested PD-I density and intensity standards is provided in **Exhibit E, Sheet A1-101**.

c. All public and private streets, existing or projected transit corridors, and pedestrian and bicycle pathways, and how they will connect with existing and planned city systems;

Exhibit C, Sheet PD-1 is a master plan bubble map showing the general locations of buildings, bicycle and pedestrian circulation patterns. Bicyclists and pedestrians can access the building from a bike path and sidewalk along A1A. Broward County Transit operates one bus route in the area: route 11. This route operates on A1A, south of 14th Street. The project team has met with the Florida Department of Transportation to establish access to the property in a pre-application meeting. The proposed driveway is located approximately 100 feet from A1A, which exceeds FDOT's required setback of 50 feet.

d. Environmentally sensitive lands, wildlife habitat, wetlands, and floodplains;

The subject property does not contain any environmentally sensitive land, wildlife habitat, or wetlands. The property is within AE and VE flood zones. These flood zones are shown on the survey, **Exhibit B**.

e. On-site potable water and wastewater facilities, and how they will connect to city systems;

The bubble map on **Exhibit C, Sheet PD-1**, shows the general location of existing utilities along A1A. The building will connect with municipal water and wastewater systems along A1A.

f. On-site stormwater management facilities, and how they will connect to city systems; and

The site plan submitted for approval will include a variety of stormwater management techniques including the following appropriately designed and sited systems and features:

- Rain water collection for irrigation and other non-potable water uses
- 100% drought tolerant landscaping
- 100% on-site water treatment and storage
- Pervious hardscape

g. All other on-site public facilities serving the development, including but not limited to parks, schools, and facilities for fire protection, police protection, EMS, stormwater management, and solid waste management.

- The proposed project includes necessary facilities to serve the development including solid waste management, fire protection, and stormwater management.
- **Parks** – Although the proposed development plan does not include any on-site parks, North Ocean Park is the closest City park to the property. The Applicant has prepared a developer's agreement that would commit resources to fund park improvements.

4. Graphics demonstrating the following:

a. Projects with structures greater than 35 feet in height, the shadowing on adjacent properties at the following times: two hours after sunrise, noon, and two hours before sunset during the winter solstice, spring equinox, summer solstice, and fall equinox.

The shadow analysis is provided in **Exhibit F**.

b. The impacts to view corridors of any adjacent properties of natural resources, including but not limited to, beaches, shores, waterways, recreation spaces and conservation spaces.

Ocean Park Residence's is designed to preserve the view sheds of adjacent properties. While a conventional building could allow over 100 feet of monolithic building, the proposed building is designed with only four floors of unbroken building pedestal, and then two towers with a break in the building design, which provides a view shed through the building. **Exhibit G** shows the view shed from adjacent properties looking north, west and south.

B. Consistency with City Plans

PD-I Districts are generally appropriate in most of the Land Use Plan's land use classifications, consistent with the adopted objectives and policies for the classification. This PD-I application is appropriate in the proposed location and is consistent with the City's adopted objectives and policies. Attached to this document in **Exhibit H** is a list of comprehensive plan policies that apply

to this project and narrative describing how the project meets, achieves, or exceeds each of the policies.

C. Compatibility with Surrounding Areas

Development along the perimeter of a PD district shall be compatible with adjacent existing or proposed development. The Florida Statutes define compatibility as: “a condition in which land uses or conditions can coexist in relative proximity to each other in a stable fashion over time such that no use or condition is unduly negatively impacted directly or indirectly by another use or condition.” The City of Pompano Beach indicates that compatibility is evaluated by reviewing complementary character, where character is based on the seven (7) items listed below. The project team provides a narrative below each characteristic that describes how the project achieves a character that is compatible with adjacent properties:

1. Densities/intensities

The project is not proposing an increase in the future land use map and underlying density.

2. Lot size and dimensions

The project site is smaller than other sites in the area. The small site is not inconsistent with the sites in the surrounding neighborhood.

3. Building height

*The PD-I zoning district does not limit an applicant to a building height. The proposed building has a zoning height of 205'-6", which is higher than others in the area. However, the adjacent property to the north is within the RM-45 HR zoning overlay designation that allows unlimited building heights. The Ocean Park development allows an ordered transition in building heights between existing development and future development on that site as shown on **EXHIBIT I - Height Map**. In addition, the building massing reduces the visual impact of the building height because it is less massive or bulky than a building that could be approved with the existing zoning district. The proposed building design includes two offset towers, which allows views through the buildings. The existing RM-45 zoning district could allow a relatively high building that does not provide views through it. Additionally, the innovative building design prevents complete shading of pools on adjacent properties. See **Exhibit F** for Shadow Study analysis.*

Staff Analysis

City staff has indicated that the A1A corridor allows for high rise development and a building of the proposed height could be considered compatible. (Planning and Zoning Staff Report presented at the February 20, 2017 Planning and Zoning Board Meeting)

4. Building mass and scale

Stated previously, the building massing includes a parking pedestal and two off-set residential components. The building massing is not inconsistent with the corridor or the of surrounding properties and their development potential. The massing is a unique and modern approach to building design that provides viewshed benefits for surround property owners versus a typical, monolithic structure. It also benefits the community at large,

because it will be distinctive and recognized.

5. Hours of operation

While the building is mixed use, the primary use is residential. The commercial component is anticipated to be open under normal operating hours.

6. Exterior lighting

Exterior building lighting will include partially or fully shielded fixtures in areas visible by the beach to protect nesting sea turtles. Other exterior lighting will be provided to illuminate walkways, entryways and other areas where lighting is necessary for safety or convenience.

7. Siting of service areas

Service areas are proposed within the parking garage on floors one (1) through three (3) and are fully contained within the building. The project team does not anticipate adverse impacts resulting from these service areas.

8. Other Factors – Parcel Location

On the adjacent parcel to the north are three buildings. Two of these buildings are separated from this property by a parking lot. The other building is located adjacent to the park. This mitigates some of the building's visual impact for these neighbors versus a scenario where the building was sited directly adjacent to neighboring buildings.

9. Other Factors – Relationship to North Ocean Park and A1A

The following bullets and bolded text list staff comments about the site, the building, and the commercial component and their relationship to the park and A1A. The text that follows each bullet addresses the comment.

- *Staff opined “that the project is not compatible due to lack of mitigation of the site, specifically the relationship to the neighboring properties at the ground level.”*

The Applicant revised the proposal to include a commercial component that runs the length of the east side of the building and will maximize the interface between the building and the park. This space will be open to the public and will likely activate the park. Additionally, the Applicant is providing sidewalks to increase pedestrian accessibility to the park from adjacent properties.

- *Staff commented that the proposed development does not “relate to” the adjacent park, which could result in a missed opportunity.*

The Applicant revised the proposal to include a commercial component that runs the length of the east side of the building. This space will be open to the public and will likely activate the park. Additionally, the Applicant is providing sidewalks to increase pedestrian accessibility to the park from adjacent properties.

- *Staff commented that the site has no active open spaces, “community benefits or public neighboring properties.”*

The property does have active, open spaces, which are located on the fourth floor. This area, which is available to residents and guests, contains a variety of amenities, including a pool. This open space is likely to alleviate public pressure on the park.

The project will include community benefits through increased public parking, which neighbors identified as a major issue. Additionally, the project team has volunteered to make improvements to the park.

- *Staff commented that the proposed layout of the ground floor, with back of house activities sited next to the park, could create a potentially unsafe environment.*

The Applicant revised the site design to place the commercial component along the east side of the building, next to the park. With increased activity, more eyes on the street could be expected to increase the area's safety.

- *Staff indicated that the proposal has proposed enhancements to the park, but a specific plan has not been included or proffered.*

The list of improvements will be partially based on community input and partially derived from our project team's City Studio. Additionally, the Applicant will work with the City to determine its vision for park improvements. The project team met with community members to discuss their desires for improving the park. The Applicant has provided a developer agreement to the City for park improvements.

D. Development Phasing Plan

The development will be completed in one phase.

E. Conversion Schedule

The development does not propose converting uses.

F. On-Site Public Facilities

The development proposes to add public parking spaces on the property and provide an easement to the City for the portion of these spaces located on the property. The property owner will dedicate all required public rights-of-way, access, and/or utility easements via the platting process and/or separate instrument. Utility easements will be provided for the utility companies. The property will be served by City of Pompano Beach Police and Fire/EMS. The site will comply with all required storm water regulations. The site plan documents will include storm water management details. The project team is coordinating solid waste service with the provider. The provider will access the dumpster on the first floor of the garage. The dumpster will not be visible from the street. Both the City and County will complete a concurrency review as part of the platting process. This process will require coordination with the school board regarding student generation.

G. Uses

The proposed development includes residential, commercial, and office uses. The complete list of proposed uses is shown on **Exhibit C – PD Tables, Permitted and Accessory Use Table**. Each of these uses is a permitted use in the PD-I zoning district as listed in the City's Appendix A: Consolidated Use Table.

H. Densities/Intensities

The proposed density and intensity is permitted within the existing future Residential-High (25-46 du/ac) future land use designation. The proposed density is provided in the Exhibit C – PD Tables.

I. Dimensional Standards

The dimensional standards are described in this document and outlined in **Exhibit C – PD Tables, Table C. Intensity and Dimensional Standards**. The FAA has determined that the proposed project does not interfere with airport operations. The property will be requesting the granting of an obstruction permit from the Airport Overlay District during the site plan approval process (see **Exhibit K**).

J. Development Standards

The proposed development will follow the development standards outlined in Section 155.3607(D) and Article 5 of the Pompano Beach Zoning Code, except for the specific deviations presented in the PD-I Plan **EXHIBIT C - PD Tables, Deviations**.

K. Amendments to Approved PD Plan

Amendments to the approved PD-I will be in accordance with the standards in Section 155.2405.J, Minor Deviations from the approved PD Plan and Section 155.2405.K, Amendment of the Development Order.

III. PLANNED DEVELOPMENT-INFILL (PD-I)

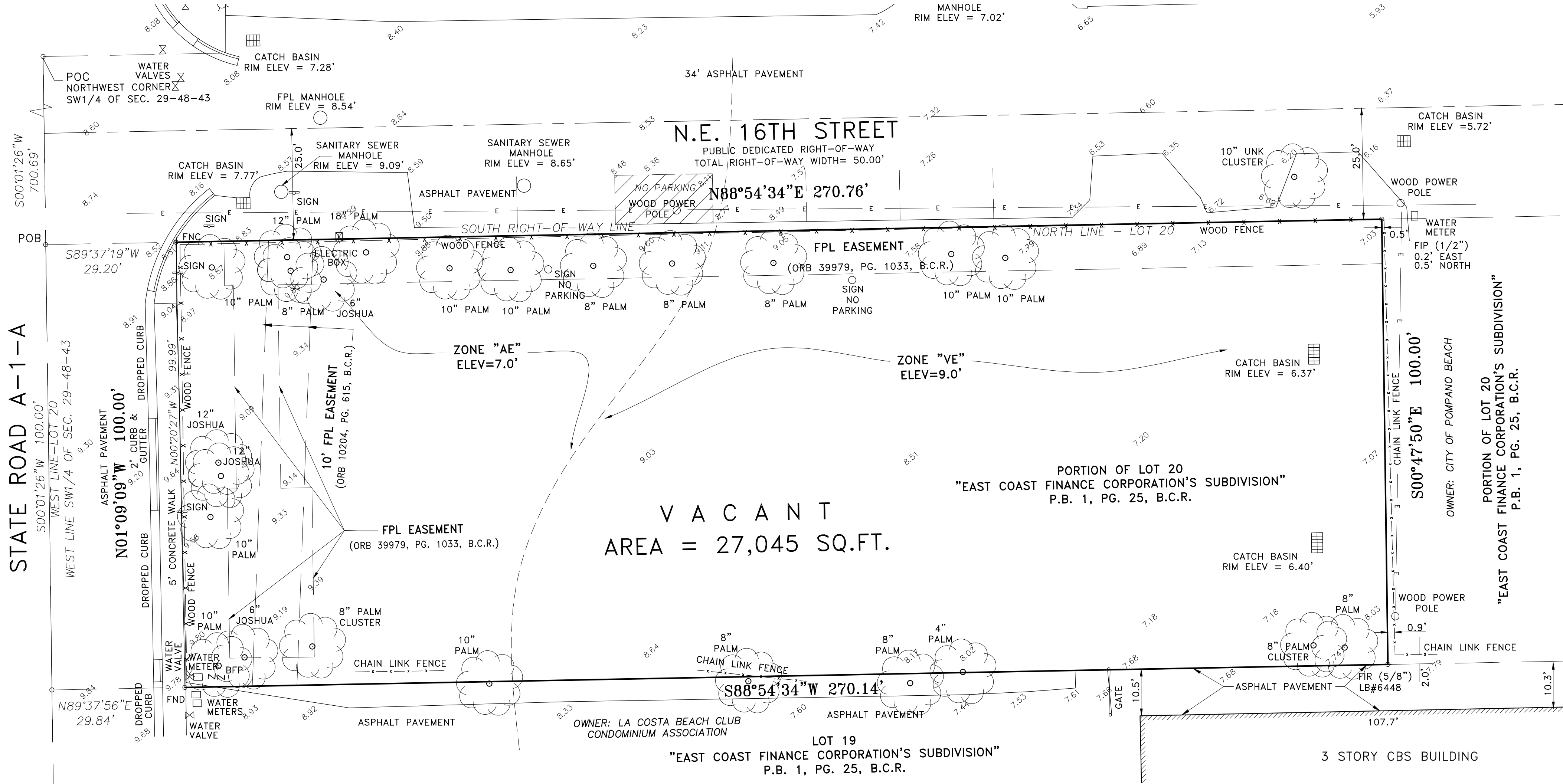
This PD document as well as all of the attached exhibits are hereby incorporated as the Planned Development-Infill (PD-I) regulations for the Ocean Park – 1508 North Ocean Boulevard project.

EXHIBIT A



EXHIBIT B

STATE ROAD A-1-A



LEGEND:

CKD CHECKED BY
CONC CONCRETE
DWN DRAWN BY
FB/PG FIELD BOOK AND PAGE
SIR SET 5/8" IRON ROD & CAP #6448
SNC SET NAIL AND CAP #6448
FIR FOUND IRON ROD
FIP FOUND IRON PIPE
FNC FOUND NAIL AND CAP
FND FOUND NAIL & DISC
WPP WOOD POWER POLE
P.B. PLAT BOOK
-X- CHAIN LINK (CLF)/WOOD FENCE
CBS CONCRETE BLOCK STRUCTURE
A/C AIR CONDITIONER
B.C.R. BROWARD COUNTY RECORDS
BFP BACK FLOW PREVENTER
R RADIUS
Δ DELTA ANGLE
A ARC DISTANCE
CLP CONCRETE LIGHT POLE
FH FIRE HYDRANT
WM WATER METER
WV WATER VALVE
FOV FIBER OPTIC VAULT
FOM FIBER OPTIC MARKER
4.07 ELEVATIONS
-E- OVERHEAD UTILITY LINES
CO CLEAN OUT
GM GAS METER
--- NON-VEHICULAR ACCESS LINE
PRM PERMANENT REFERENCE MONUMENT
ALTA AMERICAN LAND TITLE ASSOCIATION
ACSM AMERICAN CONGRESS ON SURVEYING & MAPPING
ORB OFFICIAL RECORDS BOOK
EB ELECTRIC BOX
TYP TYPICAL
GC GATE CONTROL
DDCV DOUBLE DETECTOR CHECK VALVE

TITLE COMMITMENT REVIEW: (SHEDULE B-II)

ITEM # 9 - RESTRICTIONS, DEDICATIONS, CONDITIONS, RESERVATIONS, EASEMENTS AND OTHER MATTERS PER P.B. 1, PG. 25. (AFFECTS/PLOTTED)
ITEM #10 - EASEMENT PER ORB 10204, PG. 615. (AFFECTS/PLOTTED)
ITEM #11 - REVOCABLE LICENSE AGREEMENT PER ORB 23468, PG. 953. (AFFECTS/NOT PLOTTABLE)
ITEM #12 - AGREEMENT PER ORB 24869, PG. 45. (AFFECTS/NOT PLOTTABLE)
ITEM #13 - EASEMENT PER ORB 39979, PG. 1033. (AFFECTS/PLOTTED)

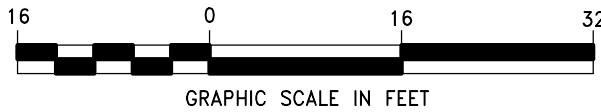
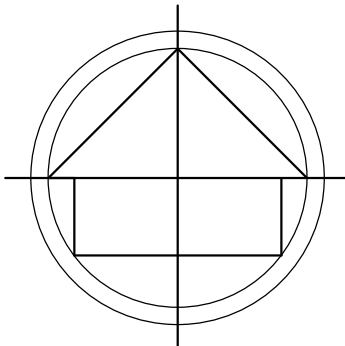
ALL OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

LAND DESCRIPTION:

THE WEST 300 FEET OF LOT 20 OF THE "EAST COAST FINANCE CORPORATION'S SUBDIVISION OF GOVERNMENT LOT 3", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 1, PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, IN THE SOUTHWEST QUARTER (SW1/4) OF SECTION 29, TOWNSHIP 48 SOUTH, RANGE 43 EAST.

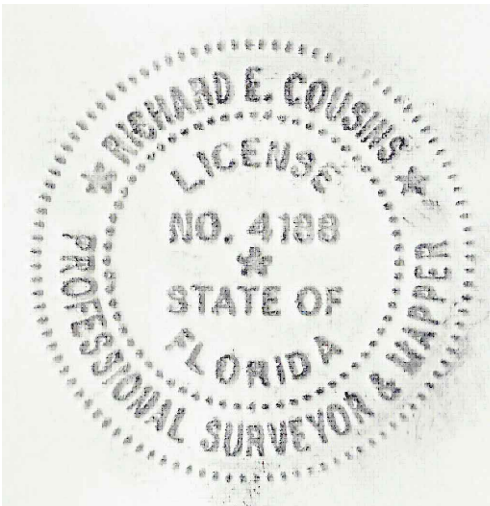
LESS THE FOLLOWING:

COMMENCE AT NORTHWEST CORNER OF THE SOUTHWEST QUARTER (SW1/4) OF SAID SECTION 29; THENCE ON AN ASSUMED BEARING, SOUTH 00°01'26" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER (SW1/4) OF SAID SECTION 29, A DISTANCE OF 700.69 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 00°01'26" WEST ALONG THE WEST LINE OF THE SOUTHWEST QUARTER (SW1/4) A DISTANCE OF 100.00 FEET; THENCE NORTH 89°37'56" EAST A DISTANCE OF 29.84 FEET; THENCE NORTH 00°20'27" WEST A DISTANCE OF 99.99 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 20, SAID LINE ALSO BEING THE EXISTING SOUTH R/W LINE OF N.E. 16TH STREET; THENCE SOUTH 89°37'19" WEST A DISTANCE OF 29.20 FEET TO THE POINT OF BEGINNING.



FLOOD ZONE INFORMATION

COMMUNITY NUMBER	120055
PANEL NUMBER	0189 H
ZONE	AE
BASE FLOOD ELEVATION	7
ZONE	VE
BASE FLOOD ELEVATION	9
EFFECTIVE DATE	08/18/14



NOTES :

- NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- THE CERTIFICATION SHOWN HEREON TO THE EXTENT RELATING TO THE EXISTENCE OF EASEMENTS AND/OR RIGHTS-OF-WAY OF RECORD IS BASED UPON COMMITMENT FOR TITLE INSURANCE ISSUED BY FIRST AMERICAN TITLE INSURANCE COMPANY, EFFECTIVE DATE: NOVEMBER 07, 2014. (FILE NUMBER: 1062-3262735)
- THIS SURVEY WAS DONE SOLELY FOR BOUNDARY PURPOSES AND DOES NOT DEPICT THE JURISDICTION OF ANY MUNICIPAL, STATE, FEDERAL OR OTHER ENTITIES.
- THE LAND DESCRIPTION SHOWN HEREON WAS PROVIDED BY THE CLIENT.
- UNDERGROUND IMPROVEMENTS NOT SHOWN.
- ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988.
- BENCHMARK REFERENCE : BROWARD COUNTY BENCHMARK # 1923 ELEVATION=1.81' (NAVD88)
- BEARINGS SHOWN HEREON ARE BASED ON THE DEED.
- ZONING : RM-45 MULTIPLE-FAMILY RESIDENCE
- SET BACKS REQUIREMENTS:

MAXIMUM BUILDING HEIGHT:	105 FEET
FRONT YARD MINIMUM:	25 FEET
STREET SIDE YARD MINIMUM:	10 FEET
WATERWAY OR CANAL MINIMUM:	25 FEET
DUNE VEGETATION LINE MINIMUM:	25 FEET
INTERIOR SIDE YARD MINIMUM:	10 FEET
REAR YARD MINIMUM:	10 FEET
SPACING BETWEEN PRINCIPAL STRUCTURES MINIMUM:	25 FEET

SURVEYOR'S CERTIFICATION

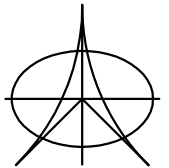
THAT (A) THIS SURVEY WAS PREPARED UNDER MY SUPERVISION; (B) THE LEGAL DESCRIPTION OF THE PROPERTY AS SET FORTH HEREIN, AND THE LOCATION OF ALL IMPROVEMENTS, FENCES, EASEMENTS, ROADWAYS, RIGHTS OF WAY AND SETBACK LINES WHICH ARE EITHER VISIBLE OR OF RECORD IN BROWARD COUNTY, FLORIDA (ACCORDING TO TITLE COMMITMENT; (FILE NUMBER: 1062-3262735), EFFECTIVE DATE: NOVEMBER 07, 2014.), ARE ACCURATELY REFLECTED HEREON; AND (C) THIS SURVEY ACCURATELY DEPICTS THE STATE OF FACTS AS THEY APPEAR ON THE GROUND. THIS MAP AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/ACSM LAND TITLE SURVEYS," JOINTLY ESTABLISHED AND ADOPTED BY THE AMERICAN LAND TITLE ASSOCIATION ("ALTA"), THE AMERICAN CONGRESS ON SURVEYING AND MAPPING ("ACSM") AND THE NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS ("NSPS") IN 2011, AND INCLUDES ITEMS 1, 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 11 (A), 13, 14, 16, 17 AND 18 OF TABLE A THEREOF. PURSUANT TO THE ACCURACY STANDARDS AS ADOPTED BY ALTA, NSPS, AND ACSM AND IN EFFECT ON THE DATE OF THIS CERTIFICATION, THE UNDERSIGNED FURTHER CERTIFIES THAT:

THE SURVEY MEASUREMENTS WERE MADE IN ACCORDANCE WITH THE "MINIMUM ANGLE, DISTANCE, AND CLOSURE REQUIREMENTS FOR SURVEY MEASUREMENTS WHICH CONTROL LAND BOUNDARIES FOR ALTA/ACSM LAND TITLE SURVEYS"

DATED: 10/31/16 FOR THE FIRM BY: _____

RICHARD E. COUSINS
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION No. 4188.

COUSINS SURVEYORS & ASSOCIATES, INC.



3921 SW 47TH AVENUE, SUITE 1011
DAVIE, FLORIDA 33314
CERTIFICATE OF AUTHORIZATION : LB # 6448
PHONE (954) 689-7766 FAX (954) 689-7799

CLIENT :

ITECDSIGN

1508 NORTH OCEAN BOULEVARD
POMPAN0 BEACH, FLORIDA 33062

ALTA/ACSM
LAND TITLE SURVEY

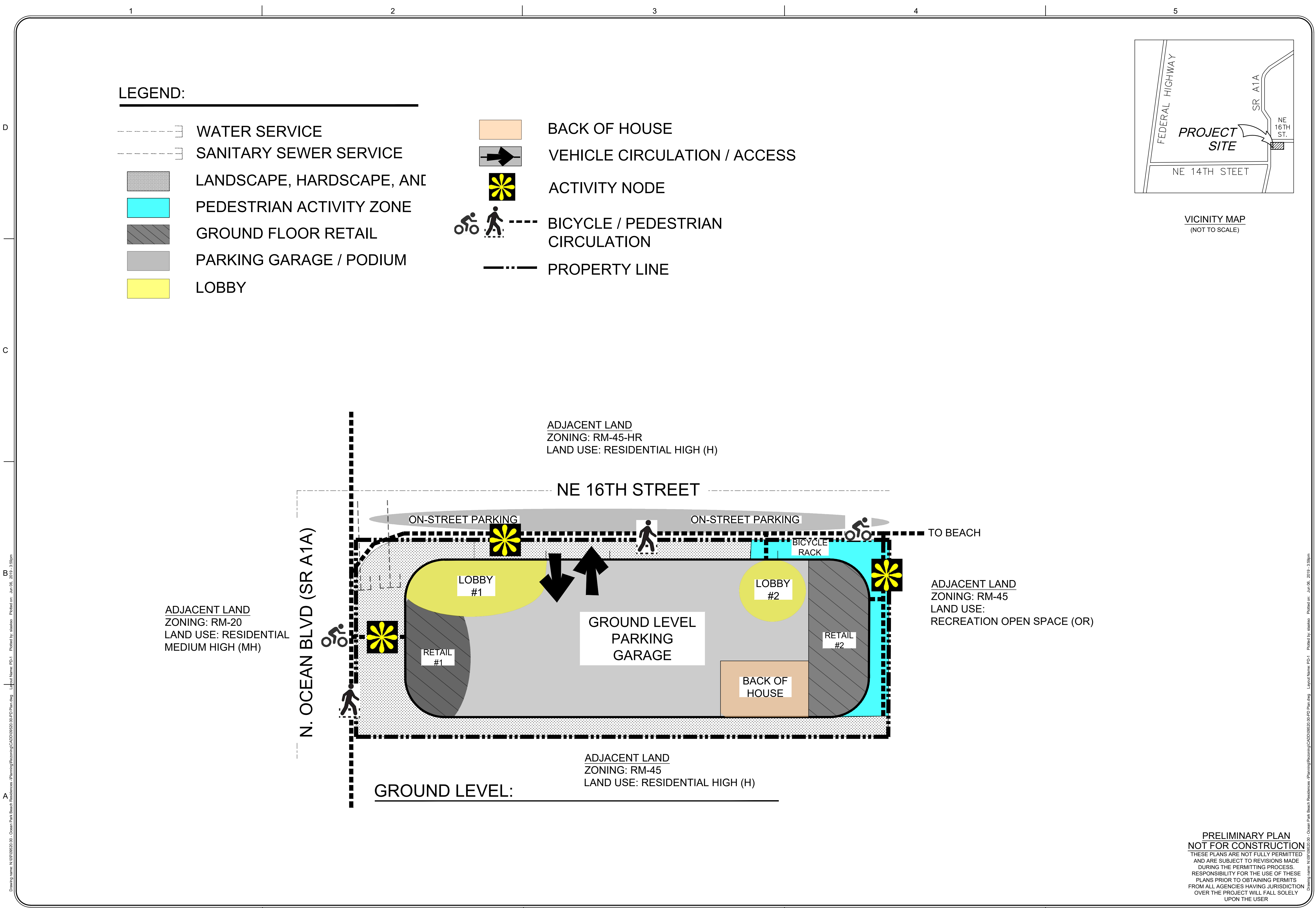
R E V I S I O N S				DATE	FB/PG	DWN	CKD
BOUNDARY & TOPOGRAPHIC SURVEY				07/06/12	DATA/COLL	AV	REC
UPDATE SURVEY				09/13/12	SKETCH	AV	REC
ADDED CERTIFIED TO				09/14/12	-----	AV	REC
ALTA/ACSM LAND TITLE SURVEY				12/10/14	SKETCH	JD	REC
UPDATE SURVEY				10/31/16	SKETCH	REC	REC

PROJECT NO: 6833-12

SCALE : 1" = 16'

SHEET
1
OF
1
SHEET

EXHIBIT C



DATE: NOVEMBER 2016
SCALE: AS INDICATED
DRAWN BY: M.A.
DESIGN BY: M.A.
CHECKED BY: M.V.

DATE	REVISION
04/04/2017	P2B SUBMITTAL
10/24/2017	P2B RE-SUBMITTAL
11/30/2017	P2B RE-SUBMITTAL

(FOR THE FIRM)

KETH & ASSOCIATES, INC.
consulting engineers
301 East Atlantic Boulevard
Pompano Beach, Florida 33060-6643
(954) 788-3400; FAX (954) 788-3500
State of Florida Certificate of
Authorization Number - 7928

OCEAN PARK
1508 N. OCEAN BOULEVARD
MASTER PLAN
CITY OF POMPAÑO BEACH
BROWARD COUNTY

SHEET
IDENTIFICATION
PD-1

PROJECT NO. 09520.00

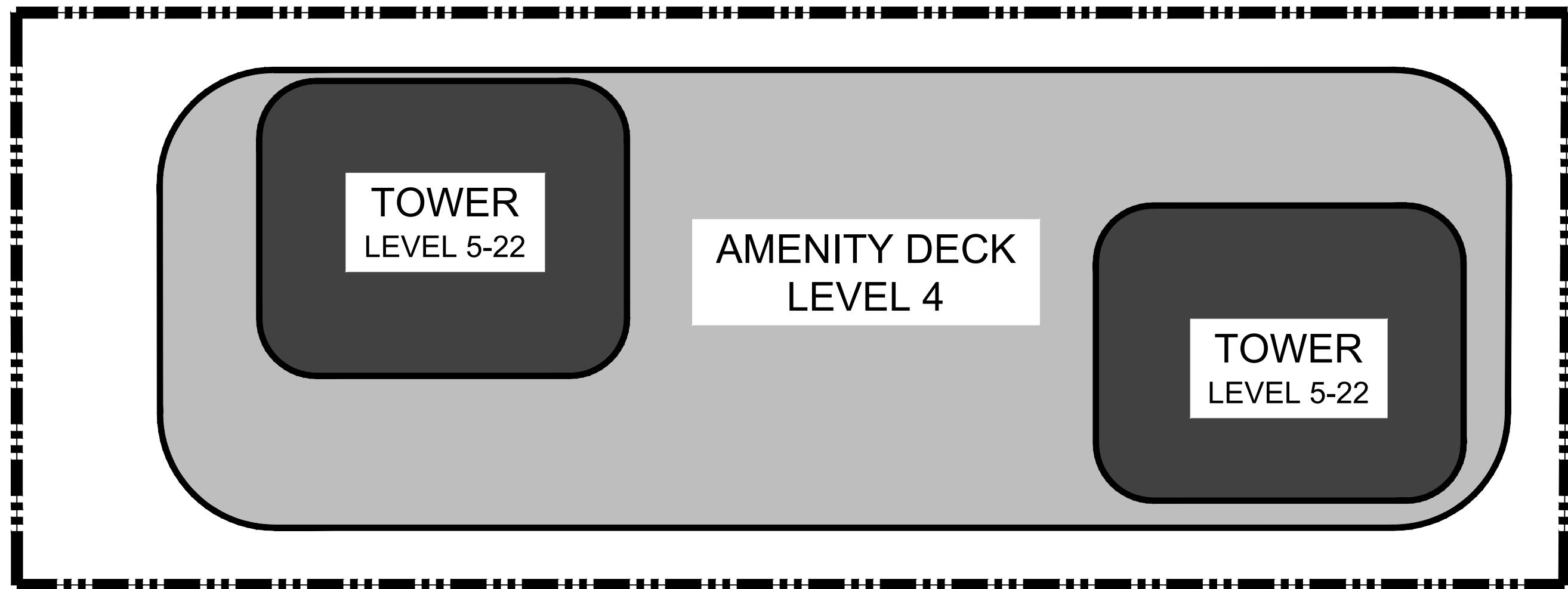
PRELIMINARY PLAN
NOT FOR CONSTRUCTION
THESE PLANS ARE NOT FULLY PERMITTED
AND ARE SUBJECT TO REVISIONS MADE
DURING THE PERMITTING PROCESS.
RESPONSIBILITY FOR THE USE OF THESE
PLANS PRIOR TO OBTAINING PERMITS
FROM ALL AGENCIES HAVING JURISDICTION
OVER THE PROJECT WILL FALL SOLELY
UPON THE USER

Drawing name: N:\09\09520.00 - Ocean Park Beach Residences - Planning\Resoning\CA201009520.00-PD Print.dwg Layout Name: PD-2 Printed by: alabao Printed on: Jun 06, 2018 - 4:01pm

D

C

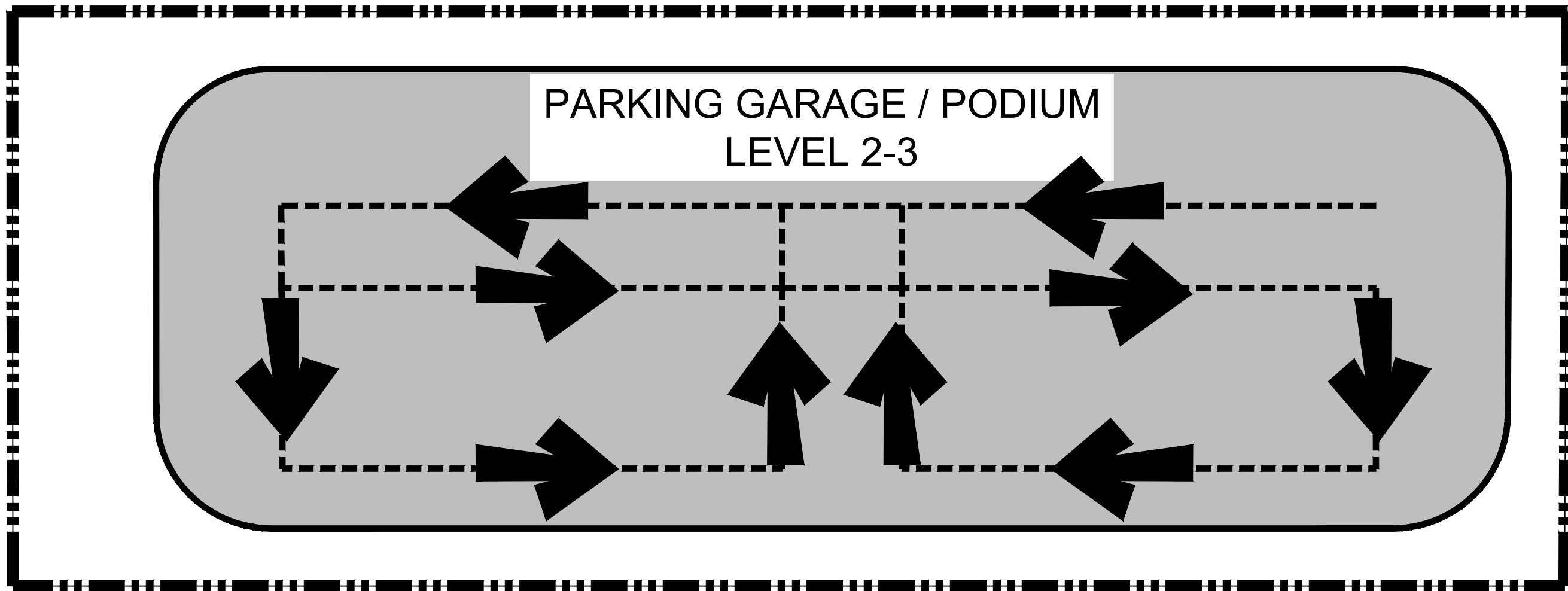
N. OCEAN BLVD (SR A1A)



LEVEL 4 AND LEVEL 5 - 22:

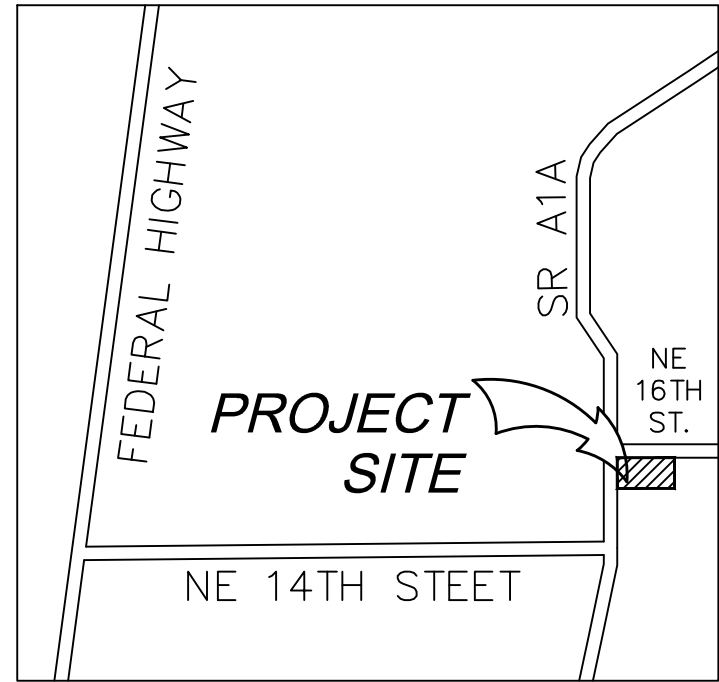
NE 16TH STREET

N. OCEAN BLVD (SR A1A)



LEVEL 2 - 3:

NE 16TH STREET



VICINITY MAP
(NOT TO SCALE)

LEGEND:

- AMENITY DECK / PARKING GARAGE / PODIUM
- TOWER
- VEHICLE CIRCULATION / ACCESS
- PROPERTY LINE

PRELIMINARY PLAN
NOT FOR CONSTRUCTION
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RESPONSIBILITY FOR THE USE OF THESE
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CONSULTING ENGINEERS
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Pompano Beach, Florida 33060-6643
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Authorization Number - 7928

OCEAN PARK
1508 N. OCEAN BOULEVARD
MASTER PLAN
CITY OF POMPAÑO BEACH BROWARD COUNTY

SHEET
IDENTIFICATION
PD-2

PROJECT NO. 09520.00

DATE: NOVEMBER 2016
SCALE: AS INDICATED
DRAWN BY: M.A.
DESIGN BY: M.A.
CHECKED BY: M.V.

DATE	REVISION
04/04/2017	P2B SUBMITTAL
10/24/2017	P2B RE-SUBMITTAL
11/30/2017	P2B RE-SUBMITTAL

(FOR THE FIRM)

Drawing name: N:\09\06520.00 - Ocean Park Beach Residences -P\Planning\Resizing\CADD\06520.00-01D Plan.dwg Layout Name: TABLES Plotted by: slalisko Plotted on: Jun 11, 2019 - 3:02pm

**PRELIMINARY PLAN
NOT FOR CONSTRUCTION**
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OVER THE PROJECT WILL FALL SOLELY
UPON THE USER

DATE: NOVEMBER 2016
SCALE: AS INDICATED
DRAWN BY: M.A.
DESIGN BY: M.A.
CHECKED BY: M.V.

(FOR THE FIRM)

OCEAN PARK
1508 N. OCEAN BOULEVARD
PD TABLES

CITY OF POMPANNO BEACH BROWARD COUNTY

PROJECT NO. 09520.00

EXHIBIT D



LEGEND

1. WATER FEATURE
2. VEHICULAR ENTRY
3. PROPOSED PARALLEL PARKING
4. SPECIAL PAVING
5. RETAIL FRONT



Conceptual Improvement Options - GROUND FLOOR

EXHIBIT E



LIST OF DRAWINGS

G-1	COVER SHEET & LIST OF DRAWINGS
A1-1.01	CONCEPT LEVEL 01 PLAN
A1-1.03	CONCEPT PARKING LEVELS
A1-1.04	CONCEPT AMENITY LEVEL
A2-1.01	CONCEPT ELEVATION - EAST
A2-1.02	CONCEPT ELEVATION - NORTH
A2-1.03	CONCEPT ELEVATION - WEST
A2-1.04	CONCEPT ELEVATION - SOUTH
A3-1.01	CONCEPT RENDERING
A3-1.02	CONCEPT RENDERING
A3-1.03	CONCEPT RENDERING

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062

CONCEPTUAL DRAWINGS

PROJECT, ADDRESS AND OWNER:

A

OCEAN PARK BEACH RESIDENCES


1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

B

ARCHITECT:

C



G3
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
w www.g3aec.com | #AA2603670

C

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

D

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

E

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

F

SCHEMATIC DESIGN

PROJECT No.:
ISSUE DATE:
REVISIONS:

G

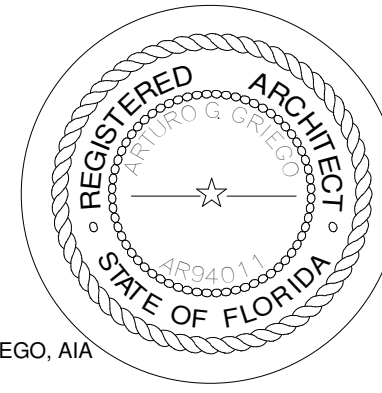
COVER SHEET & LIST OF DRAWINGS

SCALE:

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

H

SEAL:

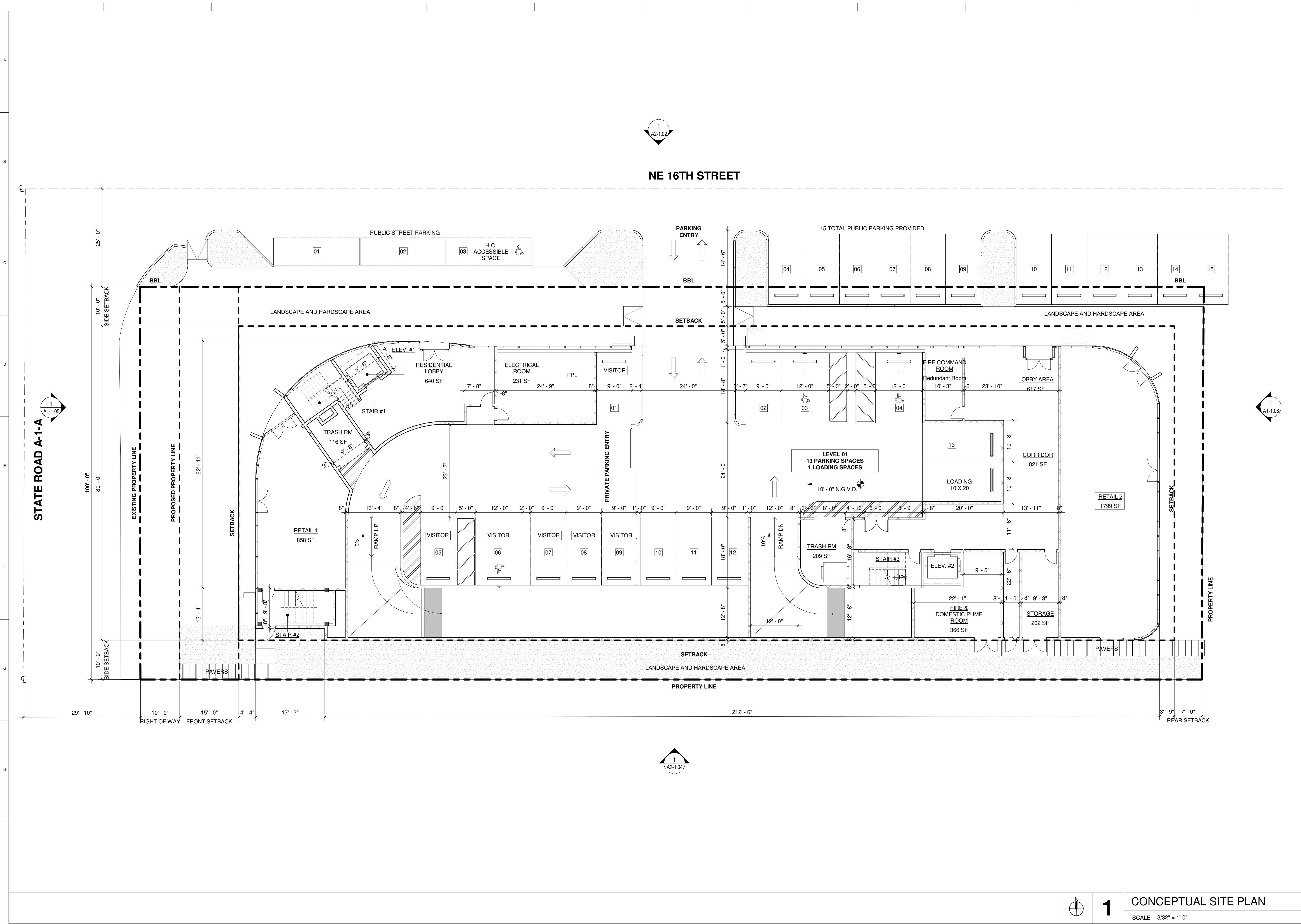


SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

J

SHEET No.:
G-1

ALL DRAWING AND WRITTEN MATERIALS HEREIN CONSTITUTE ORIGINAL WORK OF THE ARCHITECT AND MAY ONLY BE DUPLICATED WITH THEIR WRITTEN CONSENT.



PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:

G3

G3

975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature

Date

P. Works

Fire Prev.

Planning

Zoning

Building

Structural

Electrical

Plumbing

Mech.

S. Waste

SCHEMATIC DESIGN

PROJECT No.:
ISSUE DATE:
REVISIONS:

CONCEPT LEVEL 01 PLAN

SCALE: 3/32" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

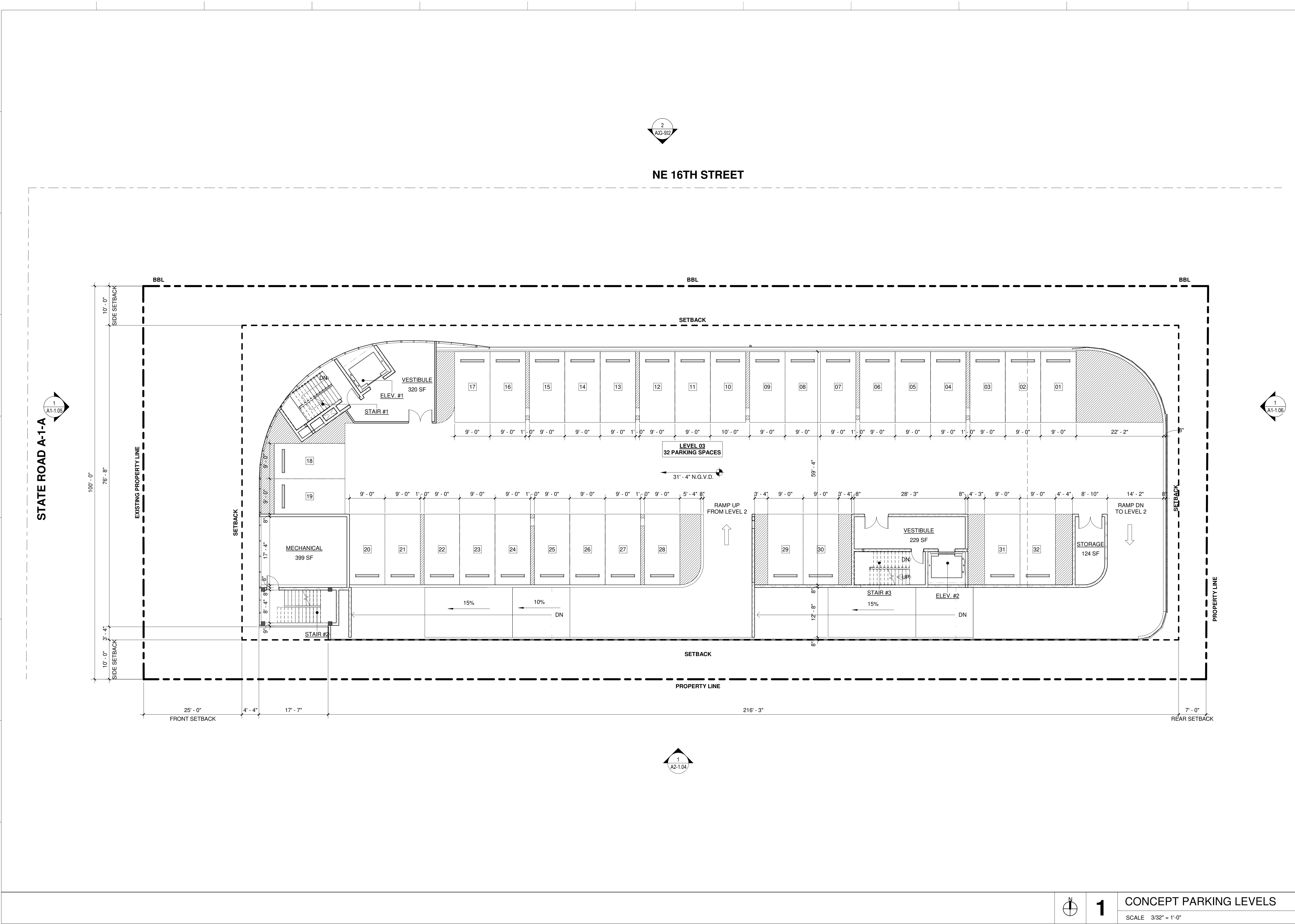
SHEET No.:

N

1

CONCEPTUAL SITE PLAN

SCALE 3/32" = 1'-0"



PROJECT, ADDRESS AND OWNER:

A

OCEAN PARK BEACH RESIDENCES
1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

B

ARCHITECT:

C3

G3
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
w www.g3aec.com | #AA2603670

C

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

D

LEED CONSULTANT:

LANDSCAPE:

E

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

F

SCHEMATIC DESIGN

G

PROJECT No.:
ISSUE DATE:
REVISIONS:

CONCEPT PARKING LEVELS

SCALE: 3/32" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

H

SEAL:

SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

I

SHEET No.:

J

1

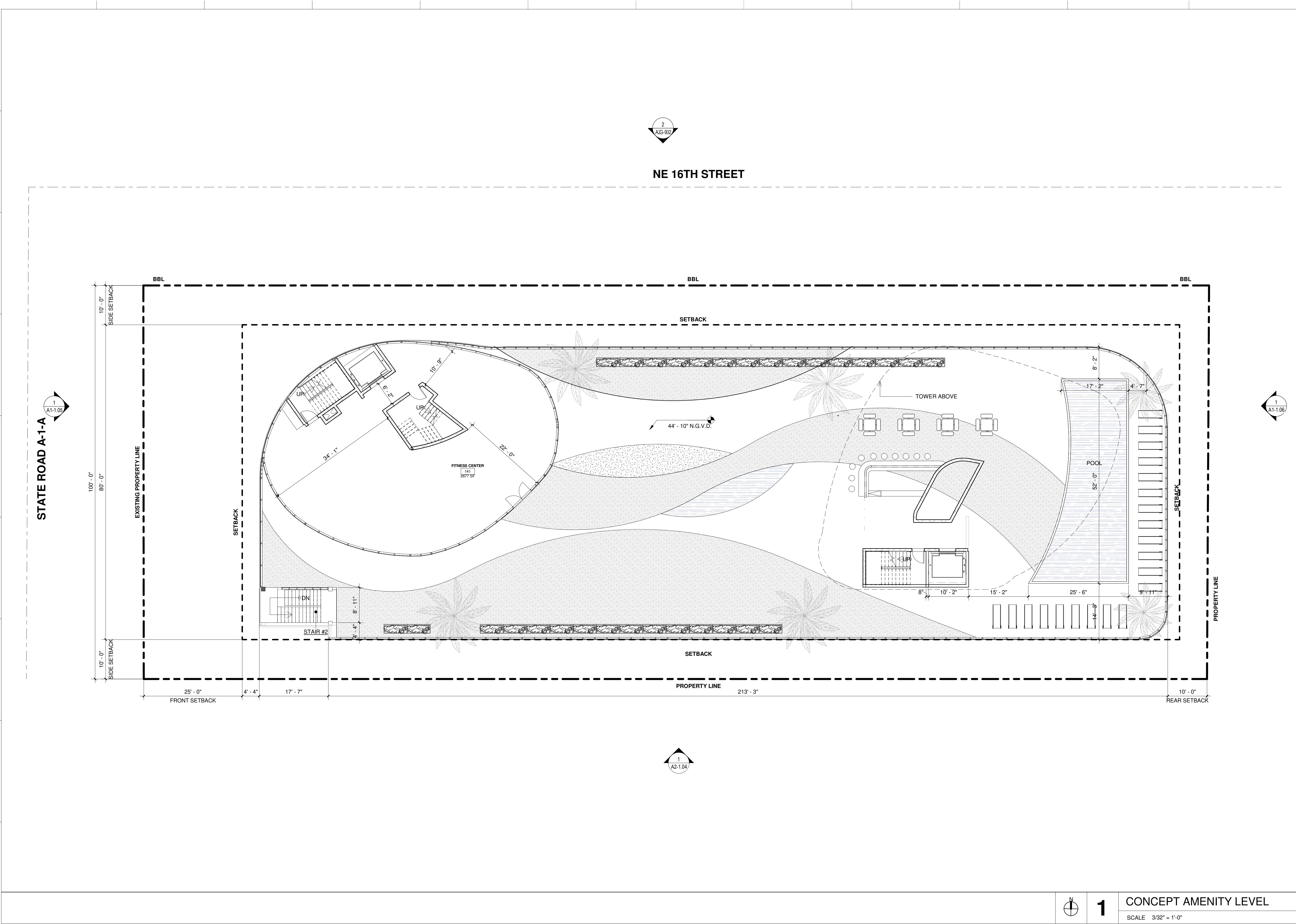
CONCEPT PARKING LEVELS

SCALE 3/32" = 1'-0"

1

A1-1.03

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A


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1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

B

C

ARCHITECT:



G3sec
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3sec.com
w www.g3sec.com | #AA2603670

C

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

D

LEED CONSULTANT:

LANDSCAPE:

E

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/
Fire Prev.	__/__/
Planning	__/__/
Zoning	__/__/
Building	__/__/
Structural	__/__/
Electrical	__/__/
Plumbing	__/__/
Mech.	__/__/
S. Waste	__/__/

F

SCHEMATIC DESIGN

G

PROJECT No.:
ISSUE DATE:
REVISIONS:

H

CONCEPT AMENITY LEVEL

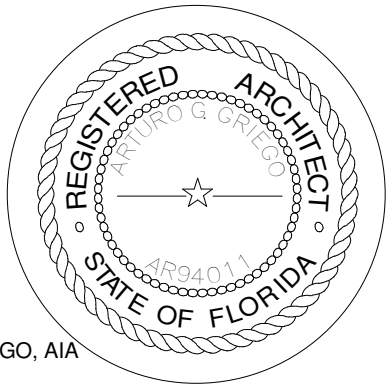
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SCALE: 3/32" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

J

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SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

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SHEET No.:
A1-1.04

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**1**

CONCEPT AMENITY LEVEL
SCALE 3/32" = 1'-0"

PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

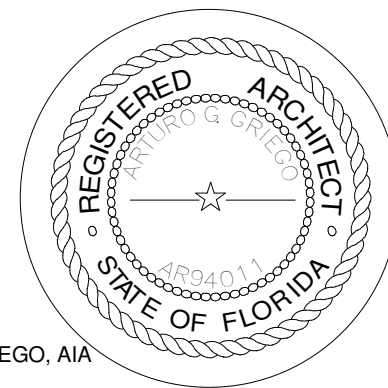
PROJECT No.:
ISSUE DATE:
REVISIONS:

CONCEPT ELEVATION - EAST

SCALE: As indicated

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:

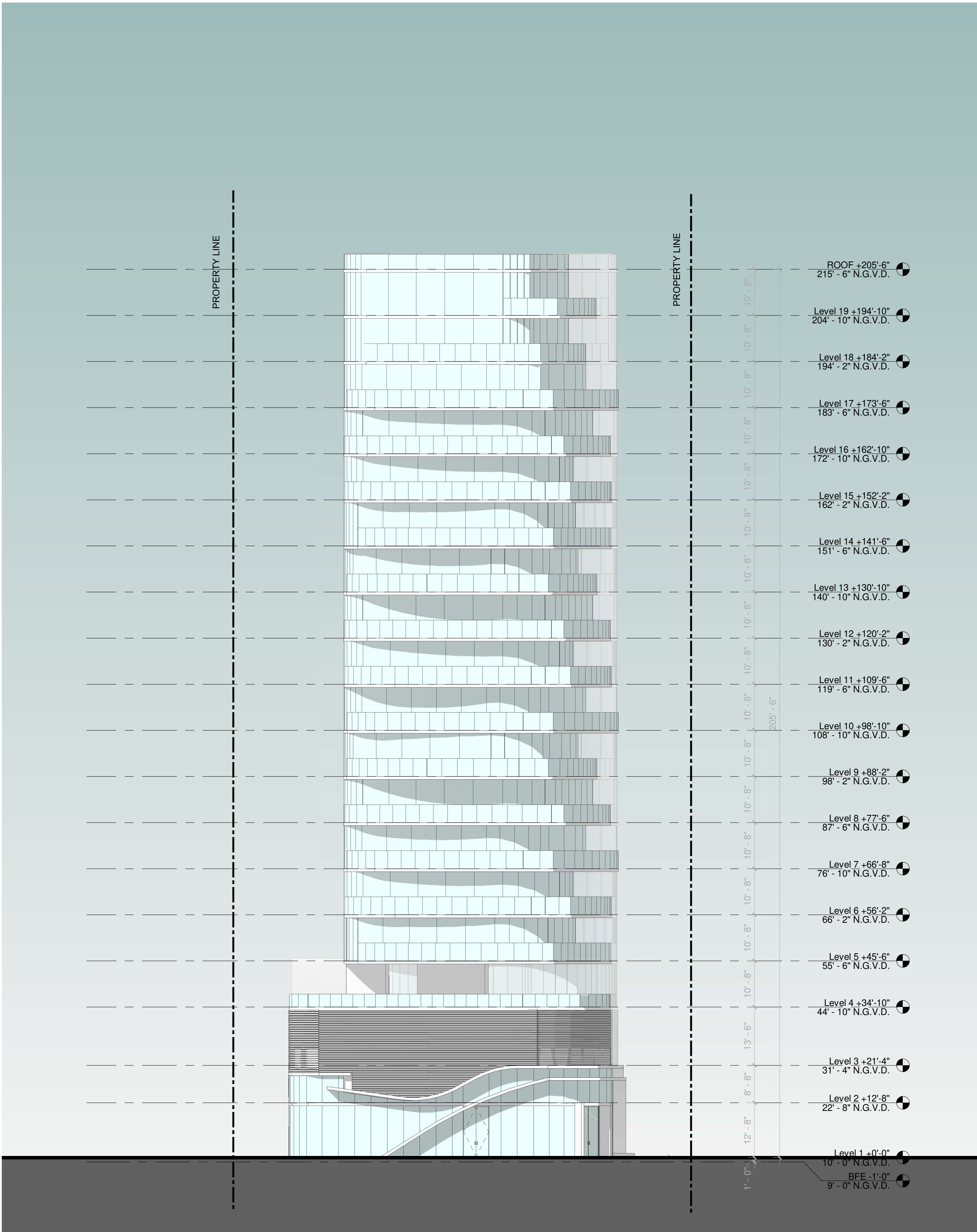


SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

A2-1.01

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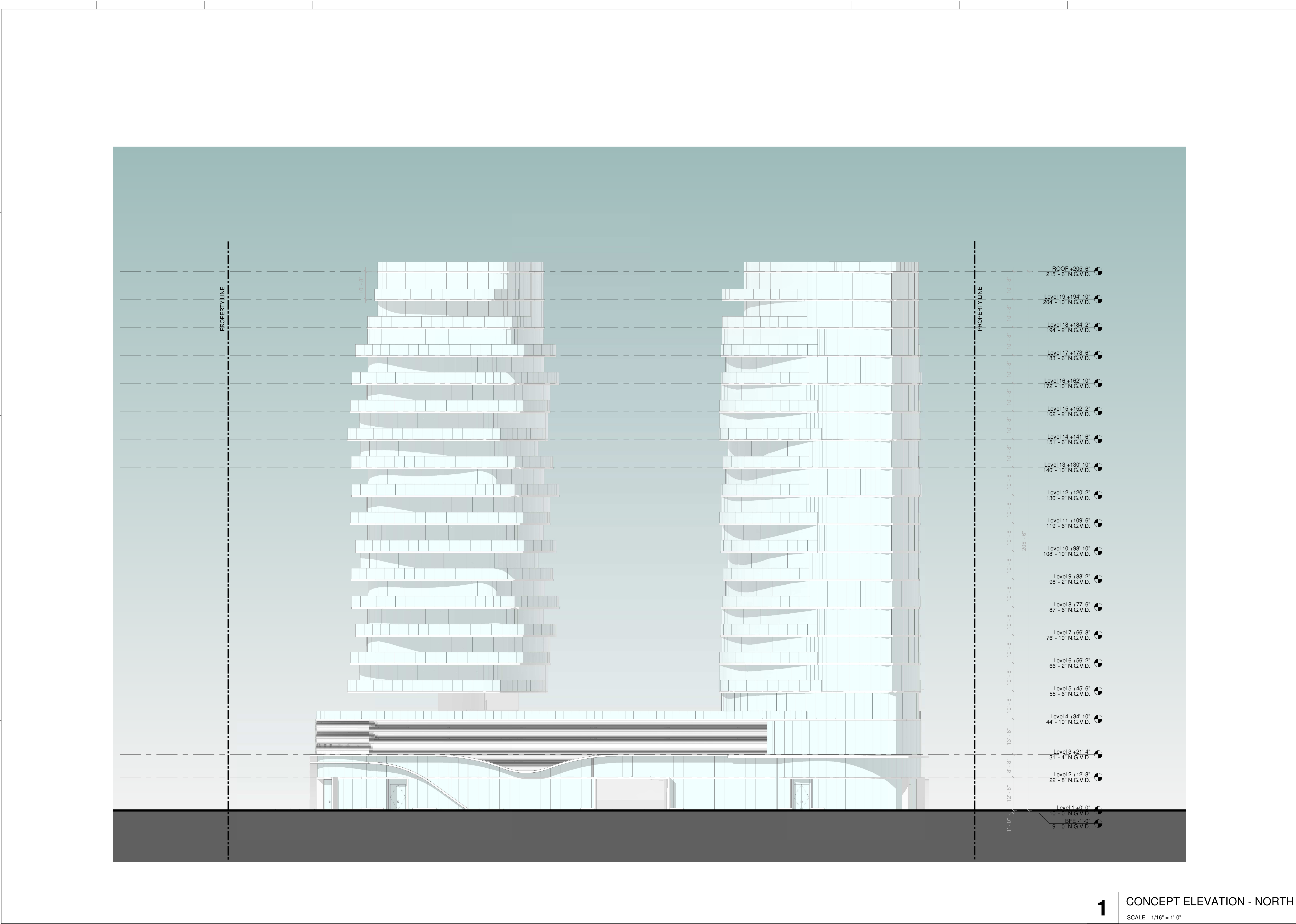
ELEVATION LEGEND AND NOTES

UNLESS OTHERWISE INDICATED ALL ELEVATIONS SHOWN IN N.G.V.D = 1.56'
1. 0'-0" = 10'-0" N.G.V.D.
2. ALL SHOP DRAWINGS REQUIRE APPROVAL OF CITY OF MIAMI BEACH.
3. REFER TO SHEET A-6.00 FOR WALL SECTION SPECIFICATIONS.
4. ALL CONSTRUCTION AND FINISH MATERIAL INSTALLED BELOW BFE SHALL BE FLOOD RESISTANT MATERIAL

1

CONCEPT ELEVATION - EAST

SCALE 1/16" = 1'-0"



PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

PROJECT No.:

ISSUE DATE:

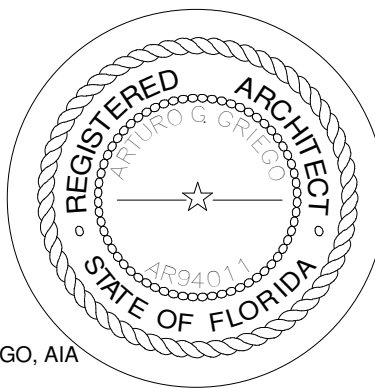
REVISIONS:

CONCEPT ELEVATION - NORTH

SCALE: 1/16" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE SAFETY STANDARDS.
AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

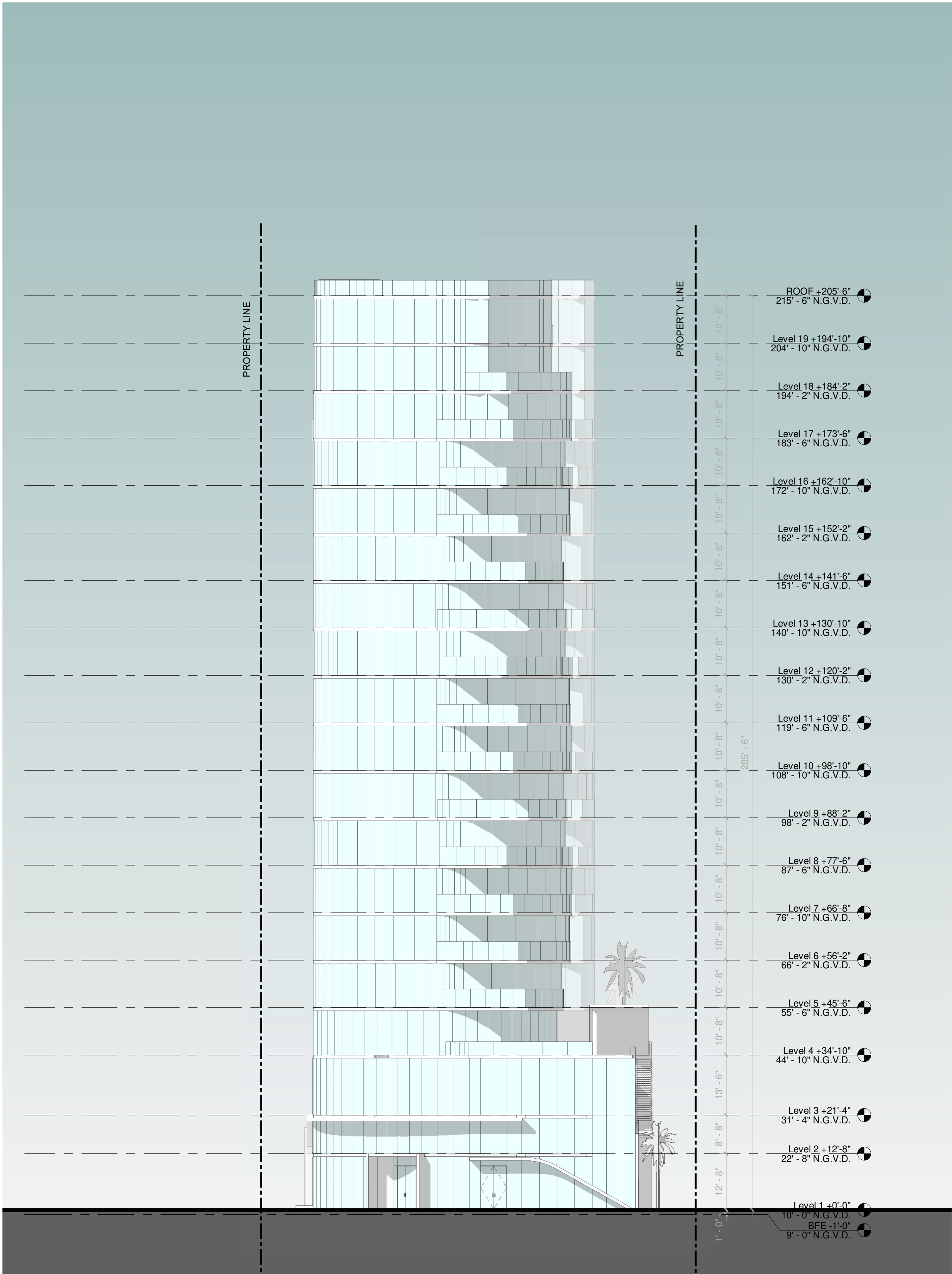
A2-1.02

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1

CONCEPT ELEVATION - NORTH

SCALE 1/16" = 1'-0"



PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

PROJECT No.:

ISSUE DATE:

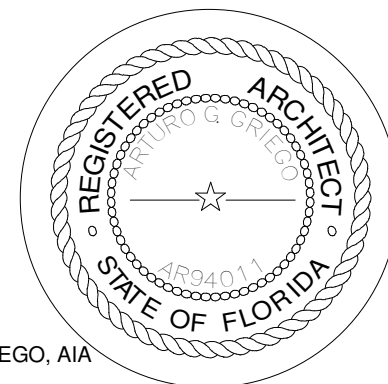
REVISIONS:

CONCEPT ELEVATION - WEST

SCALE: 1/16" = 1'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

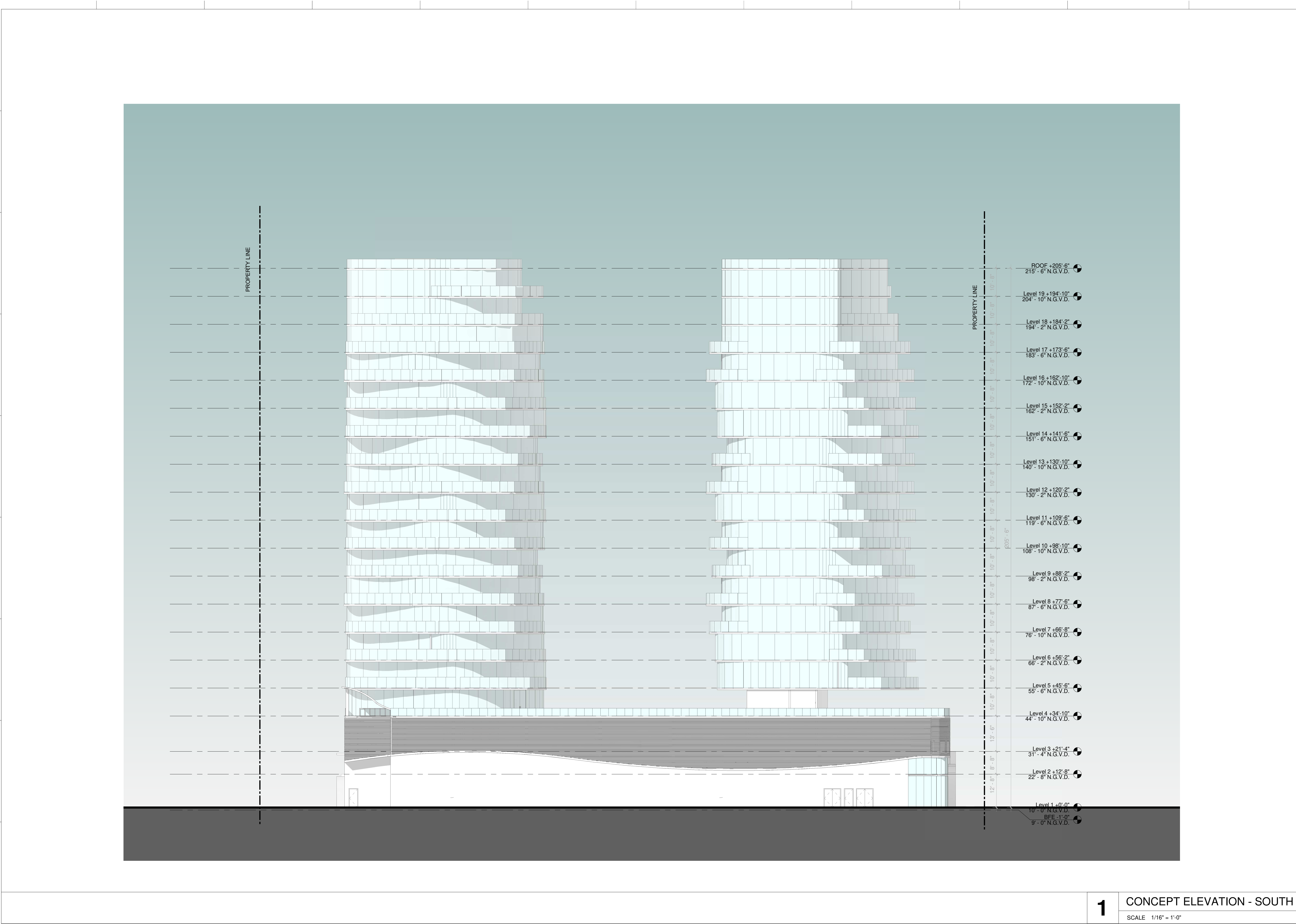
A2-1.03

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1

CONCEPT ELEVATION - WEST

SCALE 1/16" = 1'-0"



PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO BEACH, FL | 33062
Mount Vernon Property Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:

G3
G3 LLC
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
w www.g3aec.com | #AA26003670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

PROJECT No.:

ISSUE DATE:

REVISIONS:

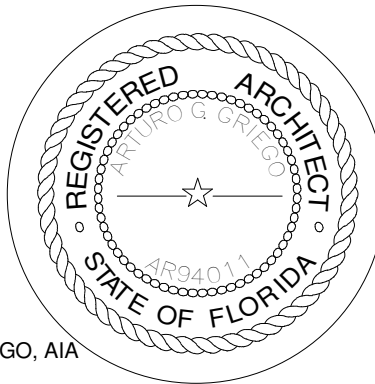
CONCEPT ELEVATION - SOUTH

SCALE: 1/16" = 1'-0"

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AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

A2-1.04

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1 CONCEPT ELEVATION - SOUTH
SCALE 1/16" = 1'-0"



PROJECT, ADDRESS AND OWNER:

OCEAN PARK BEACH RESIDENCES

1508 N OCEAN BLVD POMPANO
BEACH, FL | 33062
Mount Vernon Property
Holdings, LLC
219 NW 12th Ave. #812 Miami, FL 33128

OWNER

ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

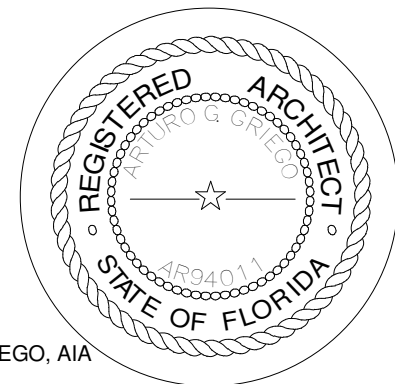
PROJECT No.:
ISSUE DATE:
REVISIONS:

CONCEPT RENDERING

SCALE:

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AS DETERMINED BY THE LOCAL AUTHORITY

SEAL:



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ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

1 CONCEPTUAL RENDERING

SCALE N.T.S

A3-1.01

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OWNER



G3_{AEC}
 975 Arthur Godfrey rd, suite 401
 miami beach florida 33140
 t 305 763 8471 e admin@g3aec.com
 w www.g3aec.com | #AA26003670

STRUCTURAL ENGINEER:

LANDSCAPE:

PROJECT No.:

PROJECT No.:
ISSUE DATE:
REVISIONS:

CONCEPT RENDERING

SCALE:

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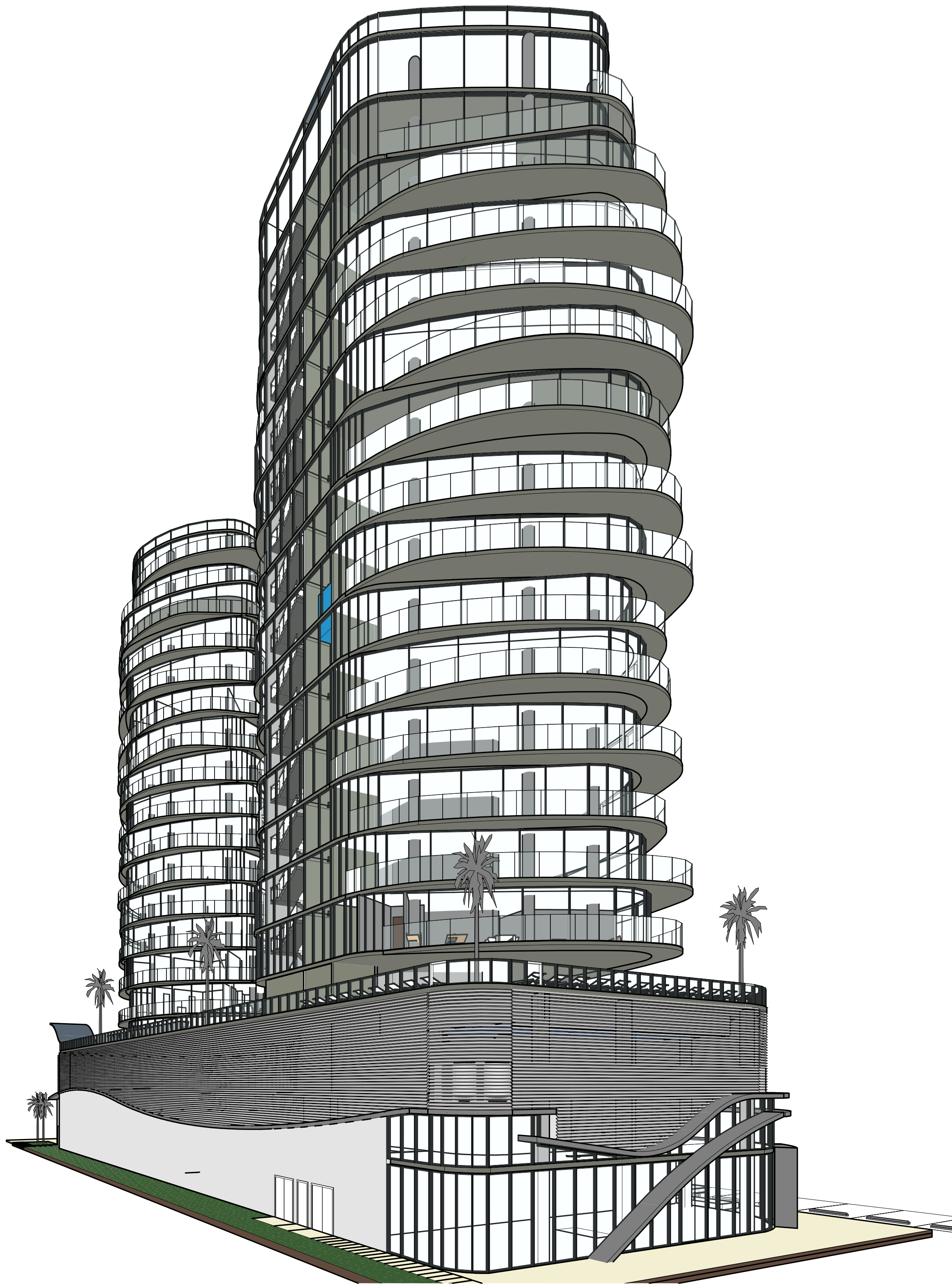
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AR94011

SHEET No.:

A3-1.02

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ARCHITECT:



CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

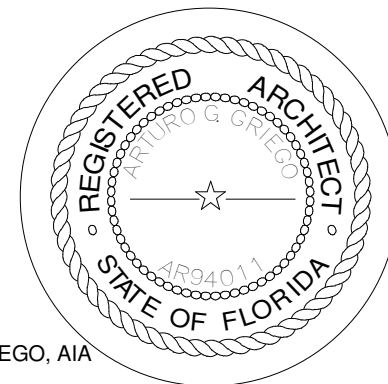
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REVISIONS:

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ARTURO G. GRIEGO, AIA
ARS4011

SHEET No.:

1 CONCEPTUAL RENDERING

SCALE N.T.S

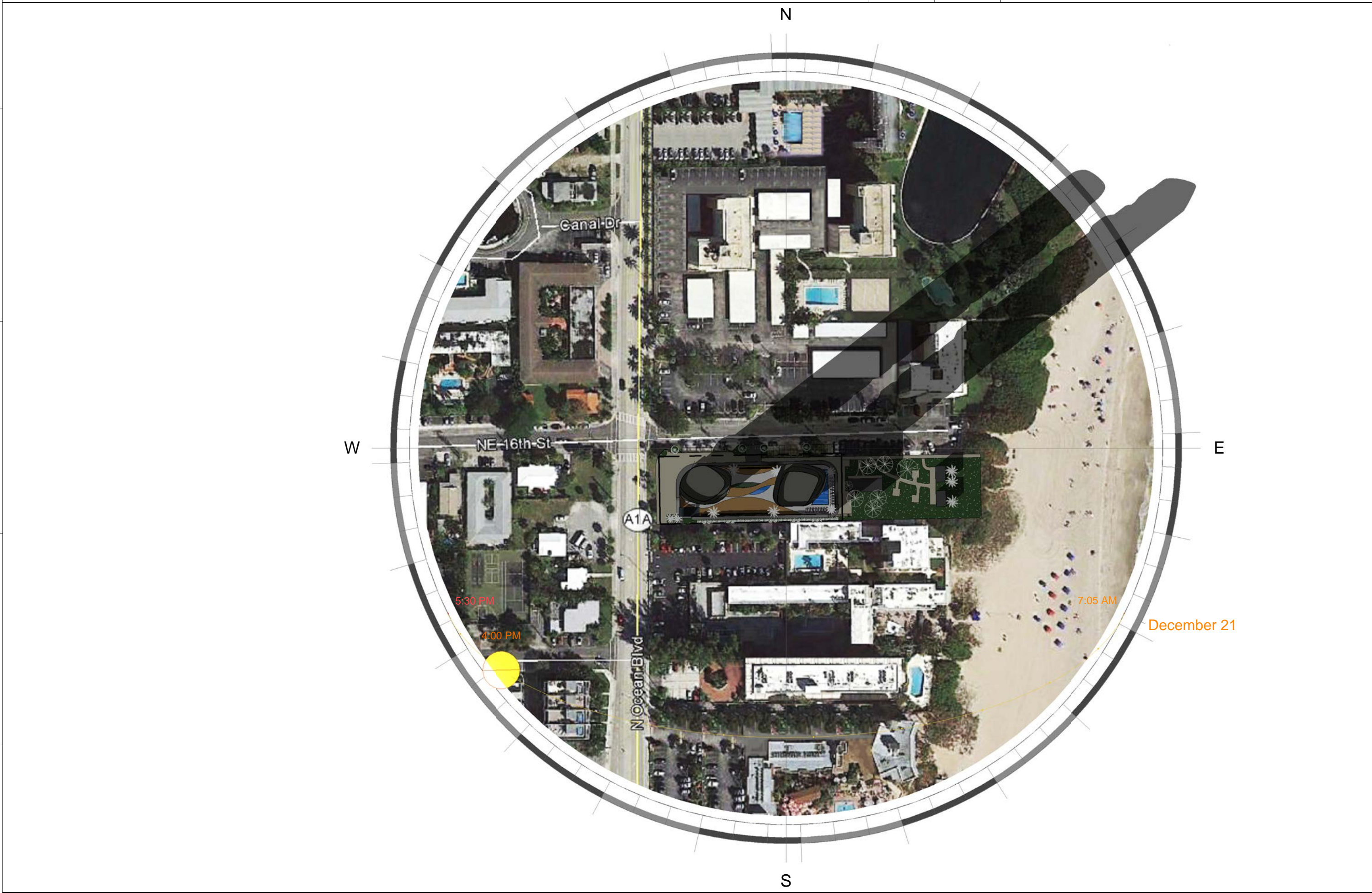
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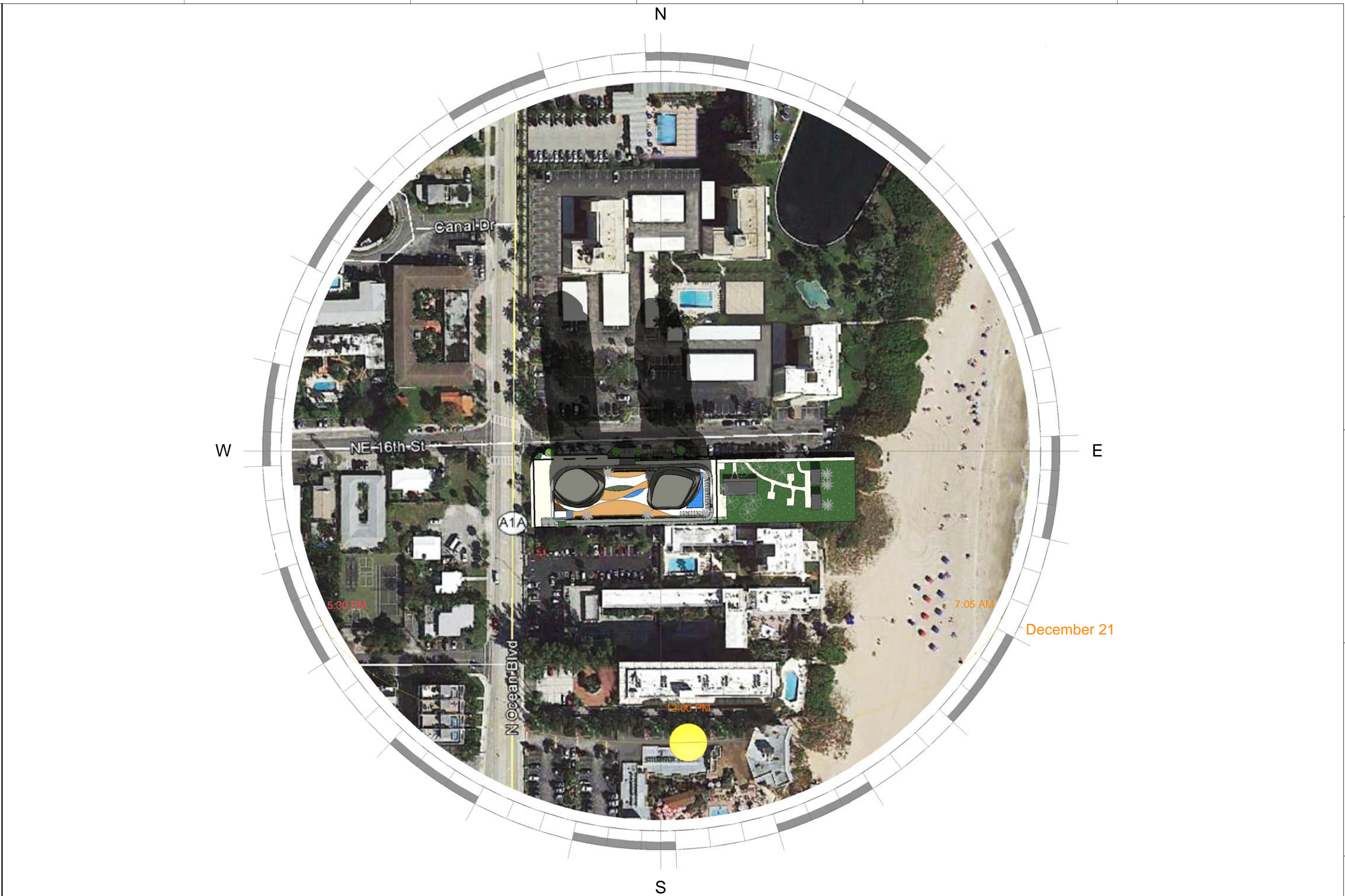
EXHIBIT F



1 WINTER - DEC 21 - 8 AM
SCALE 1" = 130'-0"



3 WINTER - DEC 21 - 4 PM
SCALE 1" = 130'-0"



2 WINTER - DEC 21 - 12 PM
SCALE 1" = 130'-0"



4 SPRING- MARCH 20 - 8 AM
SCALE 1" = 130'-0"

PROJECT, ADDRESS AND OWNER:
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G3
G3 Inc.
975 Arthur Godfrey rd, suite 401
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LEED CONSULTANT:
LANDSCAPE:

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Building	__/__/
Structural	__/__/
Electrical	__/__/
Plumbing	__/__/
Mech.	__/__/
S. Waste	__/__/

SCHEMATIC DESIGN

PROJECT No.:
ISSUE DATE:
REVISIONS:

SHADOW ANALYSIS

SCALE: 1" = 130'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S KNOWLEDGE, THE PLANS AND SPECIFICATIONS COMPLY WITH THE APPLICABLE MINIMUM BUILDING CODES AND THE APPLICABLE FIRE-SAFETY STANDARDS AS DETERMINED BY THE LOCAL AUTHORITY

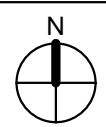
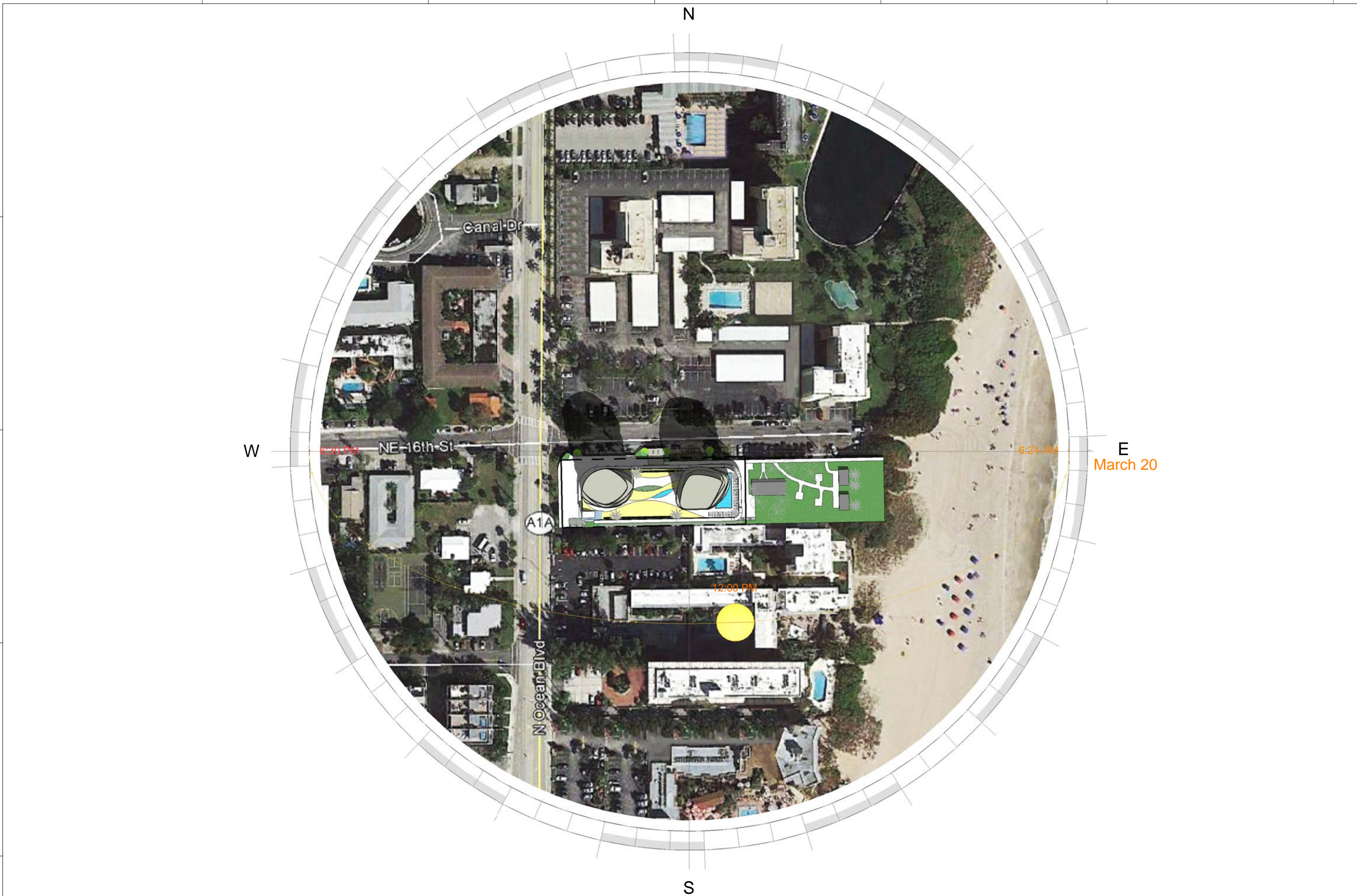
SEAL:

SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

G-6

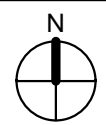
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1

SPRING- MARCH 20 - 12 PM

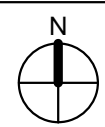
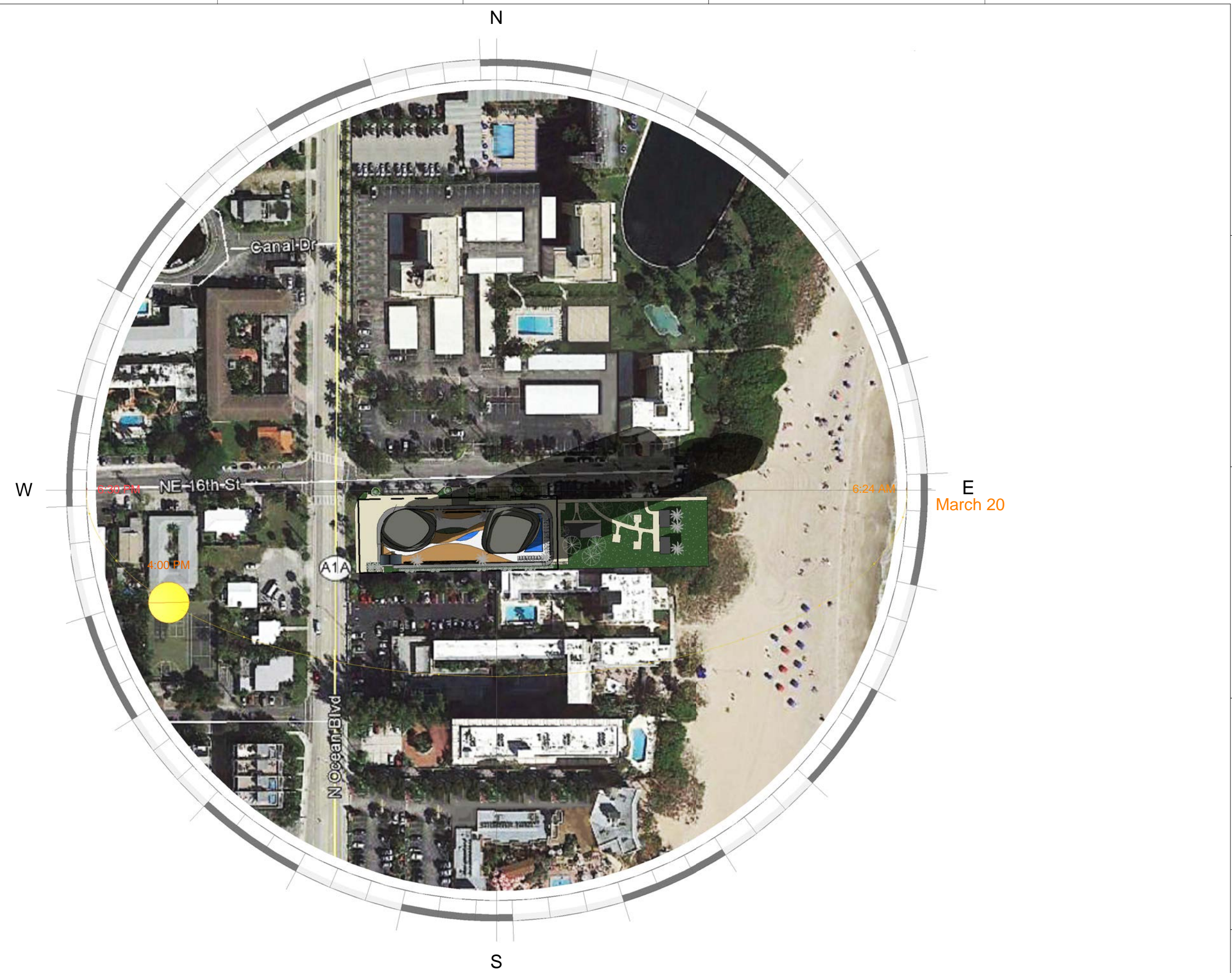
SCALE 1" = 130'-0"



3

SUMMER - JUNE 21 - 8 AM

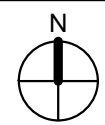
SCALE 1" = 130'-0"



2

SPRING- MARCH 20 - 4 PM

SCALE 1" = 130'-0"



4

SUMMER - JUNE 21 - 12 PM

SCALE 1" = 130'-0"

PROJECT, ADDRESS AND OWNER:

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POMPANO BEACH, FL | 33062
Mount Vernon Property
Holdings, LLC
219 NW 12th Ave, #812 Miami, FL 33128

OWNER

ARCHITECT:



G3
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
w www.g3aec.com | #AA2603670

CONSULTING ENGINEERS:

STRUCTURAL ENGINEER:

MEP:

CIVIL ENGINEER:

LEED CONSULTANT:

LANDSCAPE:

Reviewed for CODE COMPLIANCE

Signature	Date
P. Works	__/__/__
Fire Prev.	__/__/__
Planning	__/__/__
Zoning	__/__/__
Building	__/__/__
Structural	__/__/__
Electrical	__/__/__
Plumbing	__/__/__
Mech.	__/__/__
S. Waste	__/__/__

SCHEMATIC DESIGN

PROJECT No.:

ISSUE DATE:

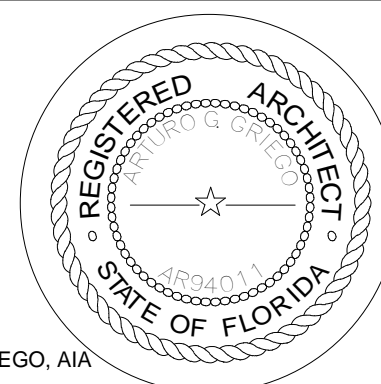
REVISIONS:

SHADOW ANALYSIS

SCALE: 1" = 130'-0"

TO THE BEST OF THE ARCHITECT'S OR ENGINEER'S
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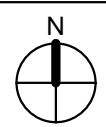
SIGNATURE:

ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:

G-7

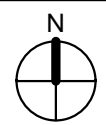
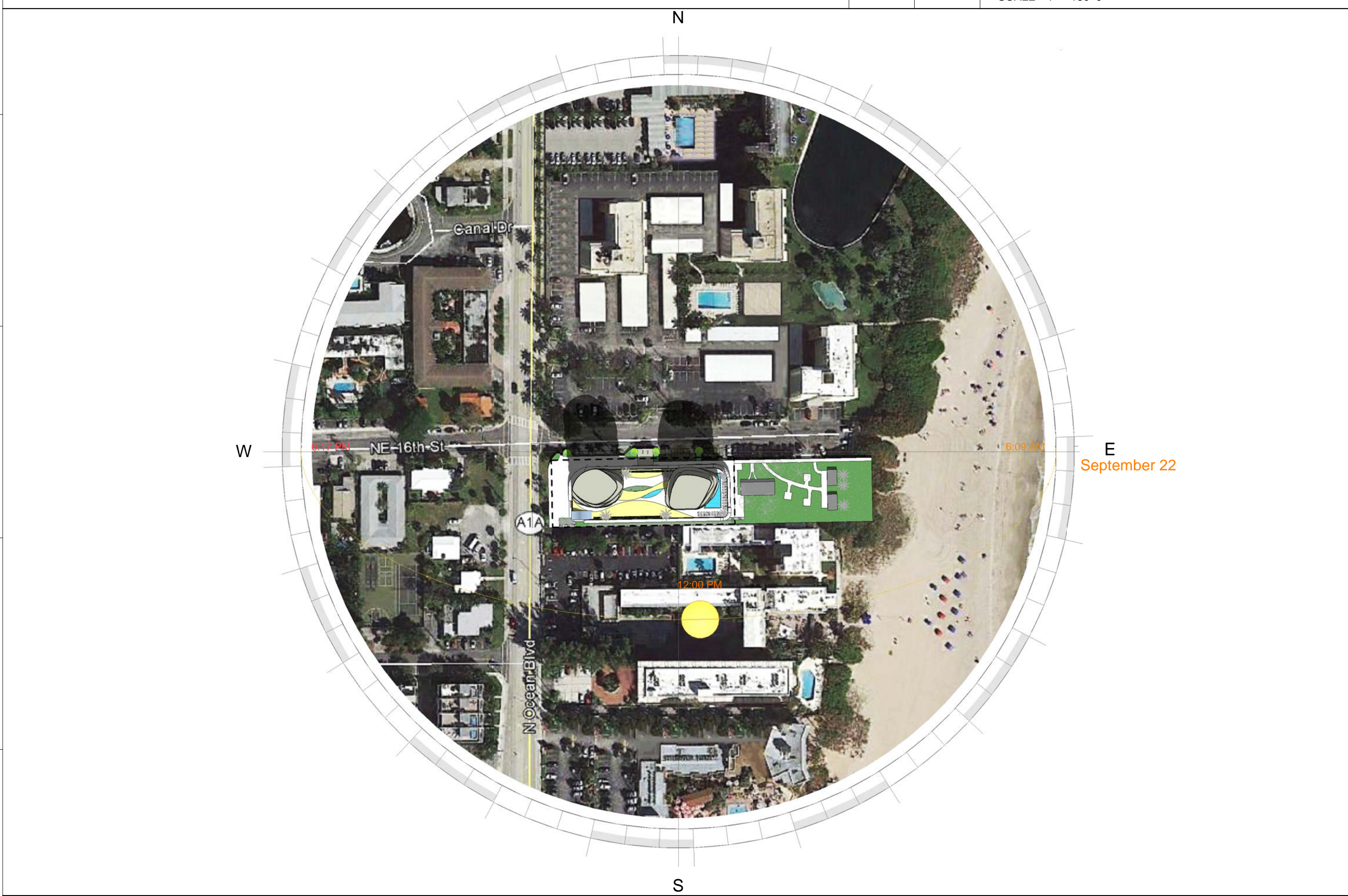
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1

SUMMER - JUNE 21 - 4 PM

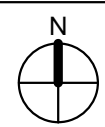
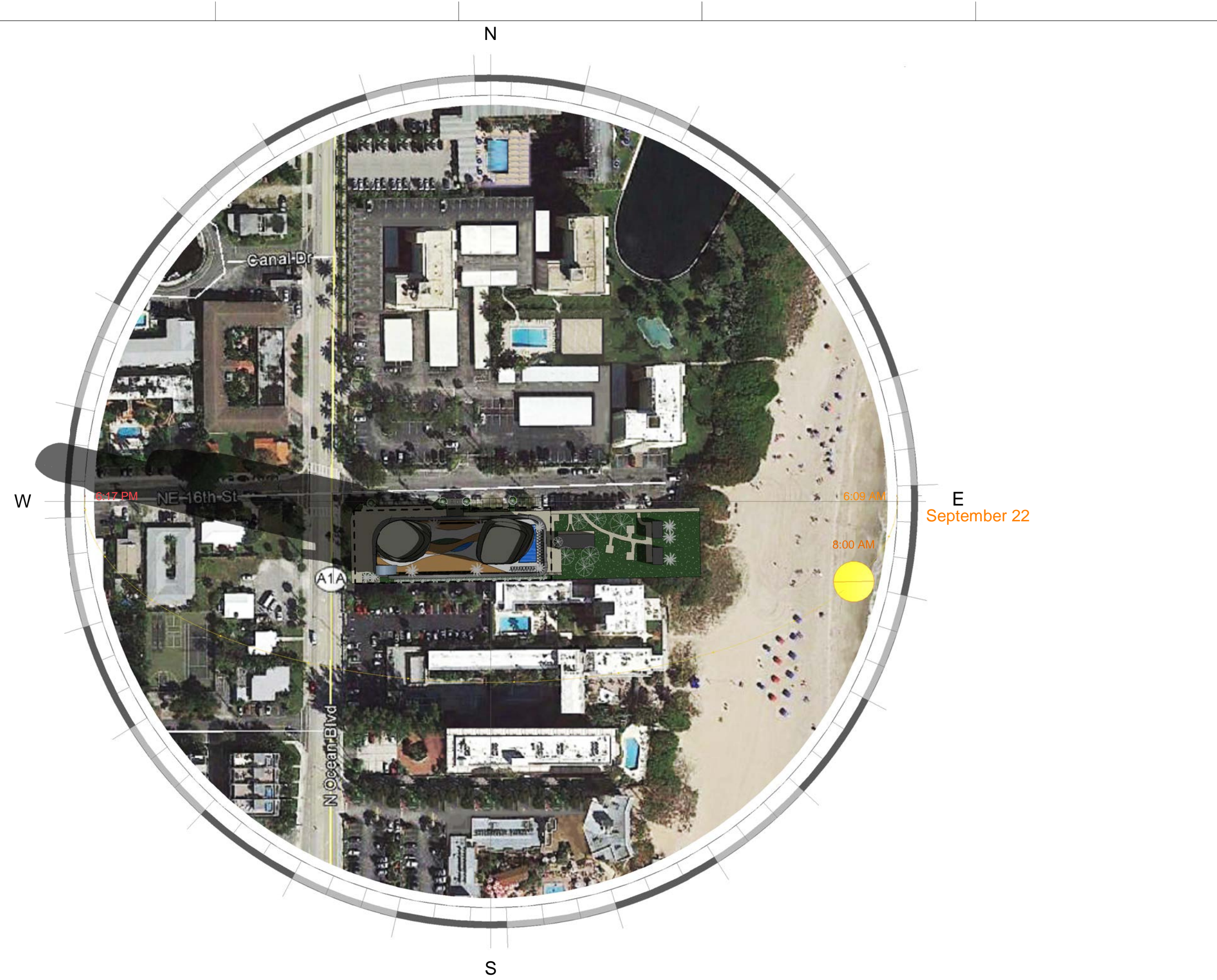
SCALE 1" = 130'-0"



3

FALL - SEPT 22 - 12 PM

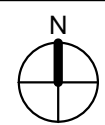
SCALE 1" = 130'-0"



2

FALL - SEPT 22 - 8 AM

SCALE 1" = 130'-0"



4

FALL - SEPT 22 - 4 PM

SCALE 1" = 130'-0"


PROJECT, ADDRESS AND OWNER:

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 G3
975 Arthur Godfrey rd, suite 401
miami beach florida 33140
t 305 763 8471 e admin@g3aec.com
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LEED CONSULTANT:

LANDSCAPE:

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Signature	Date
P. Works	__/__/
Fire Prev.	__/__/
Planning	__/__/
Zoning	__/__/
Building	__/__/
Structural	__/__/
Electrical	__/__/
Plumbing	__/__/
Mech.	__/__/
S. Waste	__/__/

SCHEMATIC DESIGN

PROJECT No.:
ISSUE DATE:
REVISIONS:

SHADOW ANALYSIS

SCALE: 1" = 130'-0"

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SEAL:

SIGNATURE:
ARTURO G. GRIEGO, AIA
AR94011

SHEET No.:
G-8

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EXHIBIT G



PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN
NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT "A" AREA OF VIEW
SCALE
1/32" = 1'-0"

V-1

DATE
08-10-17

OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net





PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT "B" AREA OF VIEW
SCALE
1/32" = 1'-0"

V-2

DATE
08-10-17

OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net





PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN
NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT "C" AREA OF VIEW
SCALE
1/32" = 1'-0"

V-3

DATE
08-10-17

OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net





PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN
NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT "D" AREA OF VIEW
SCALE
1/32" = 1'-0"

V-4

DATE
08-10-17

OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net



PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT E AREA OF VIEW
SCALE
1/32" = 1'-0"

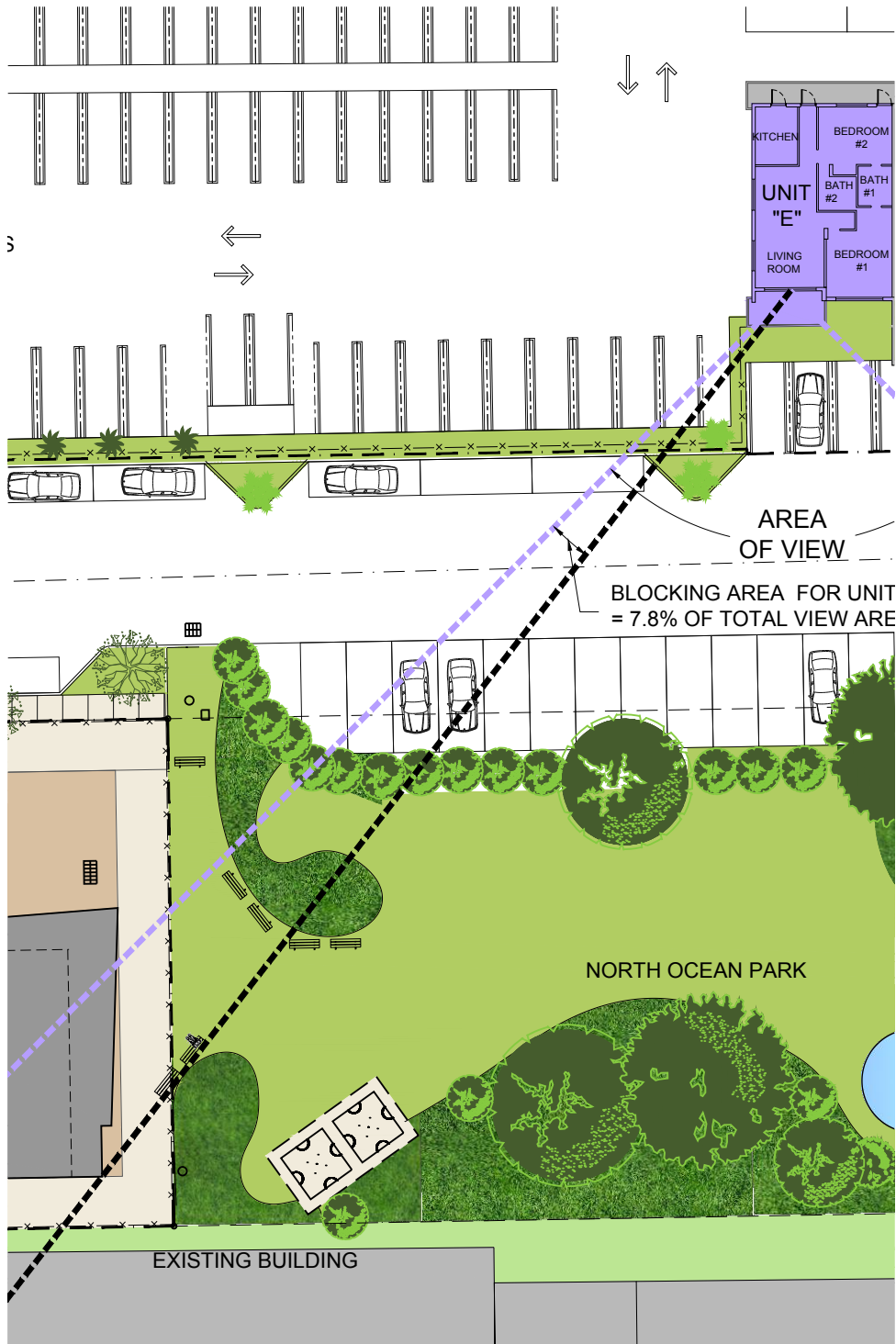
V-5

DATE
08-10-17

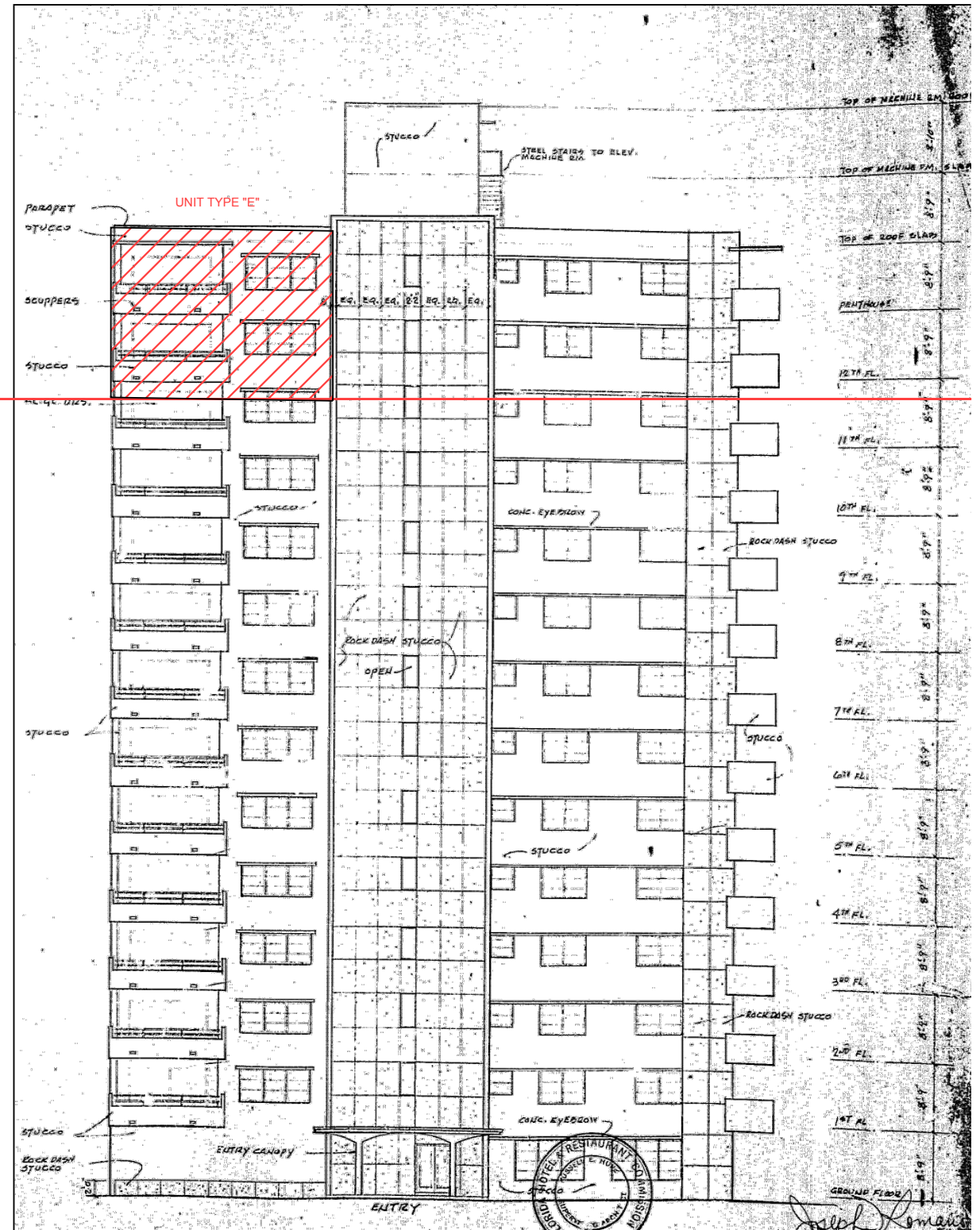
OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net





ROOF		
	TOP OF ROOF	
PENTHOUSE	PENTHOUSE	8'-9"
(1 LEVEL)	12th LEVEL	8'-9"
	11th LEVEL	8'-9"
	10th LEVEL	8'-9"
	9th LEVEL	8'-9"
	8th LEVEL	8'-9"
	7th LEVEL	8'-9"
	6th LEVEL	8'-9"
	5th LEVEL	8'-9"
	4th LEVEL	8'-9"
	3rd LEVEL	8'-9"
	2nd LEVEL	8'-9"
	1st LEVEL	17'-6"
	GROUND LEVEL	0"
		122'-6"



PROPOSED PARKING LAYOUT FOR TIFFANY GARDEN
NE 16TH STREET AND N OCEAN BLVD POMPANO BEACH, FL 33062

DRAWING
UNIT E AREA OF VIEW
SCALE
1/32" = 1'-0"

V-6

DATE
08-10-17

OWNER

ARCHITECT
14850 NW 44th Ct | suite 202
miami florida 33054
t 305 673 2121 f 305 673 4640
w www.itecdesign.net

itecdesign
architecture + design

EXHIBIT H

Applicable Comprehensive Plan Policies and Responses

The following list of comprehensive plan policies are those policies identified by the Project Team and by City staff that apply to this project. Below each policy, the project team includes a narrative describing how the project meets, achieves, or exceeds each of the policies.

- **Future Land Use Map Designation** - The proposed PD-I zoning designation and the proposed uses are consistent with the City's Residential High (H 25-46 DU/AC) land use designation for the property
- **Goal 01.00.00** The attainment of a living environment which provides the maximum physical, economic and social well-being for the City and its residents through the thoughtful and planned use and control of the natural and man-made environments that discourages urban sprawl, is energy efficient and reduces greenhouse gas emissions.

The project supports Goal 1, providing for the physical, economic and social well-being for the City and its residents, by utilizing an infill parcel to develop relatively dense residential development, as opposed to building sprawling, low-density, residential development elsewhere. The proposed infill development discourages sprawl, since it is in an already developed area. Infill development is more energy efficient because residents are closer to goods and services than sprawling development typically is, which reduces greenhouse gases generated by residents. Infill development also allows for more efficient delivery of services, reducing sprawling infrastructure and allowing the City to provide services cost effectively.

- **Policy 01.01.06** All site plan applications shall provide pedestrian facilities, such as but not limited to sidewalks and street trees (where not in conflict with underground utilities and permitted by City Engineer).

The proposed Site Plan incorporates landscaped, pedestrian walkways on A1A and along 16th street, between A1A and North Ocean Park. These walkways are not anticipated to conflict with utilities.

- **Objective 01.02.00** Protect the existing and future right-of-way from building encroachments and ensure proper accessibility with the roadway and transit network.

The project will require platting and will comply with all dedication requirements. The City has requested/required the dedication of right-of-way along A1A, which the applicant will comply with.

- **Policy 01.03.01** Eliminate or reduce nonconforming uses which are inconsistent with the land development regulations and the designations of the Future Land Use Plan map.

The proposed uses residential and accessory non-residential uses are consistent with the land development regulations and are permitted within the FLUM designation and the existing and proposed zoning districts.

- **Policy 01.03.05** All Land Use Plan Map amendments and rezonings shall provide for the orderly transition of varying residential land use designations.

The subject property, along with properties to the north and south are designated High (H) Density Residential, which allows up to 25-46 dwelling units per acre, pursuant to the City's Future Land Use Map¹. Across A1A, property is designated Medium High (MH) Density Residential, which allows 16-25 dwelling units per acre. The proposed zoning district, Planned

¹ http://pompanobeachfl.gov/assets/docs/pages/planning_zoning/land_use.pdf

Development-Infill (PD-I), is consistent with the High Density Future Land Use Designation. The applicant does not propose a change to the future land use designation of the property. The City, in approving the Future Land Use Map, has already determined that the pattern of Future Land Use designations facilitates an orderly transition. The requested rezoning to the PD-I zoning category will allow site designers to create a feasible development on a relatively small infill parcel. The site is half the depth of adjacent properties and feasible development requires this flexible zoning category.

- **Policy 01.03.07** Require the provision of decorative structural or vegetative buffers between different density residential land uses, and residential and non-residential land uses unless the applicant can demonstrate by evidence that the proper buffer is provided.

The site density is consistent with properties to the north and the south, which are all within the RM-45 or RM-45/HR zoning districts. The site has a higher density than property across A1A, which is zoned RM-20. The proposed site plan will include the designated buffers, which the City deemed appropriate for buffering these densities.

- **Policy 01.03.10** Support and promote hotels, motels and other tourist accommodations in designated residential, commercial and commercial recreation land use designations.

The proposed development is not a hotel, motel, or tourist accommodation. The proposed development will include a commercial component intended to support the local population.

- **Policy 01.03.11** Consider the compatibility of adjacent land uses in all Land Use Plan amendments and rezonings.

The proposed rezoning is compatible with adjacent land uses. The subject property and properties to the north and south are designated High Density on the Future Land Use Map. The property to the north is designated RM-45, High Rise, which allows development with unlimited height. Property to the south is designated RM-45, which allows development up to 105 feet. The proposed Planned Development – Infill (PD-I) designation allows the applicant to provide their own regulations. The proposed development's zoning height is 205'-6", which provides a transition between the unlimited height to the north, and 105 feet to the south. Property to the west is designated RM-20, which allows a 35-foot height. A similar configuration of high-rise development on the east and RM-20 on the west side of Ocean is common throughout the City on the barrier island.

- **Policy 01.03.12** The following criteria may be used in evaluating rezoning requests:

1. Density;

No increase in density requested and is within vested rights.

2. Design;

The project proposes an innovative design with two separated towers, which results in an open feeling that minimizes building bulk, and increases viewsheds. Any feasible building designed with the current zoning regulations would likely result in a bulkier, less innovative design.

3. Distance to similar development;

Property to the north and south have future land use designations and supportive zoning categories that allow the same density as this property. The adjacent property to the south is developed with the residences further to the east with a parking lot adjacent.

The property to the north has parking on the west portion with a residential tower on the east closest to the beach over 100 feet to the southeast.

4. Existing adjoining uses;

Two properties are adjacent to the site; a multi-story residential building to the south, and a city park to the east.

5. Proposed adjoining uses;

No proposed changes to existing developments.

6. Readiness for redevelopment of surrounding uses;

This site is one of the only vacant properties in the area. The west side of Ocean Avenue has the potential for redevelopment. There are some nonconforming buildings and uses on the west side of Ocean Avenue, and it is not unreasonable to surmise that these may be redeveloped in the near future.

7. Proximity to mass transit.

Bus service via route 11, the closest transit service to the site, only serves property as far north as NE 14th Street. The site is two blocks north of 14th Street.

- **Objective Flood Protection 01.05.00** Require all new development and redevelopment to be consistent with Federal Emergency Management Administration's Flood Elevation Maps.

The project will meet applicable FEMA criteria.

- **Policy 01.06.01** Consider the impacts that land use amendments, rezonings or site plan approvals have on natural resources and historic properties.

The proposed site does not impact any historic resources and will not affect any natural resources on the property. Any proposed development on the property will be designed to protect sea turtle nests with appropriate lighting and a resident education program.

- **Policy 01.07.02** Continually review and amend new land use designations for Residential, Mixed Use, Transportation Oriented Districts.

The project is an example how the PD-I designation can be utilized to create exciting developments that cannot fit into standard conditions.

- **Policy 01.07.11** Through ongoing updates to the land development regulations develop new zoning districts that encourage redevelopment, including mixed uses along major highway corridors.

The project is an example how the seldom used PD-I can be utilized to create exciting developments that cannot fit into standard conditions.

- **Policy 01.07.16** Through ongoing updates to the land development regulations provide criteria/performance standards regulating hotel intensity and incentives for hotel development.

The proposed development is not a hotel. However, the City may update the land development regulations to ensure that appropriate criteria and performance standards for hotel intensity and incentives are codified.

- **Objective Urban Infill Criteria 01.12.00** Establish criteria which encourage development of urban infill and community redevelopment areas to promote economic development, increase housing opportunities and maximize the use of existing public facilities and services.

The project is an example how the seldom used PD-I can be utilized to create exciting developments that cannot fit into standard conditions.

- **Policy 01.16.01** The City shall emphasize re-development and infill, which concentrates the growth and intensifies the land uses consistent with the availability of existing urban services and infrastructure in order to conserve natural and man-made resources.

The project is an example how the seldom used PD-I can be utilized to create exciting developments that cannot fit into standard conditions.

- **Policy 01.16.02** The City will encourage and implement the use of compact building design principles which preserve more open space, contain mixed use, support multi-modal transportation options, make public transportation viable, reduce infrastructure costs and take advantage of recycled building materials.

- *The project will include bicycle parking, incorporate green building standards, the enhanced landscaped open space will complement the existing open space in the adjacent city park, and utilize existing infrastructure.*

- **Policy 09.08.01** The City shall use its development code standards for the beach sand dune to assure proper location, vegetation, walkovers, etc., when private development takes place.

The proposed development is not located on a beach or sand dune.

- **Policy 10.01.03** The City shall coordinate and participate with Broward County in the sea turtle program including beach lighting regulations.

The proposed development will be developed consistent with the sea turtle lighting program.

- **Policy 10.03.05** The City shall seek additional beach access in redevelopment.

The proposed development is not located on a beach. Therefore, the applicant cannot offer beach access as part of the proposed development.

- **Policy 10.04.02** Modify the Land Development Regulations to require beachfront properties to construct a sand dune system along the beach frontage as part of redevelopment.

The subject property is not a beachfront property.

- **Policy 11.04.05** To maintain and enhance the existing recreational facilities which provide physical or visual access to water.

The applicant has offered to work with the City to improve North Ocean Park, which provides physical access to the water.

- **Policy 11.05.03** To promote Pompano Beach as a year-round tourist destination (formerly 11.05.04).

The proposed application will likely provide near-beach amenities that will bolster Pompano Beach's image as a year-round tourist destination.

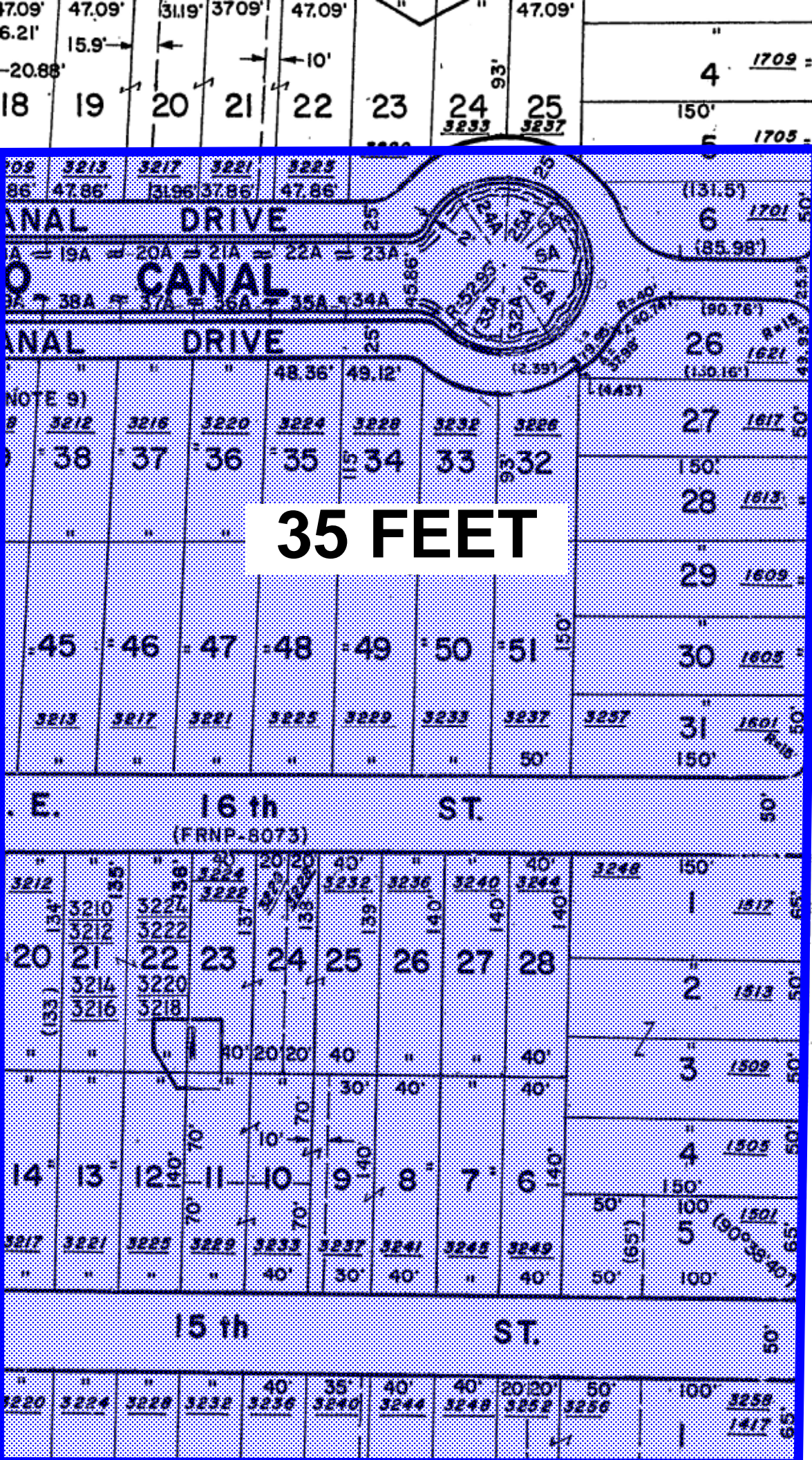
- **Objective Funding 11.06.00** - To seek a mixture of public and private funding sources for the acquisition, development, maintenance and programming of recreational facilities.

The Applicant is willing to work with the City to provide capital improvements to the adjacent city park.

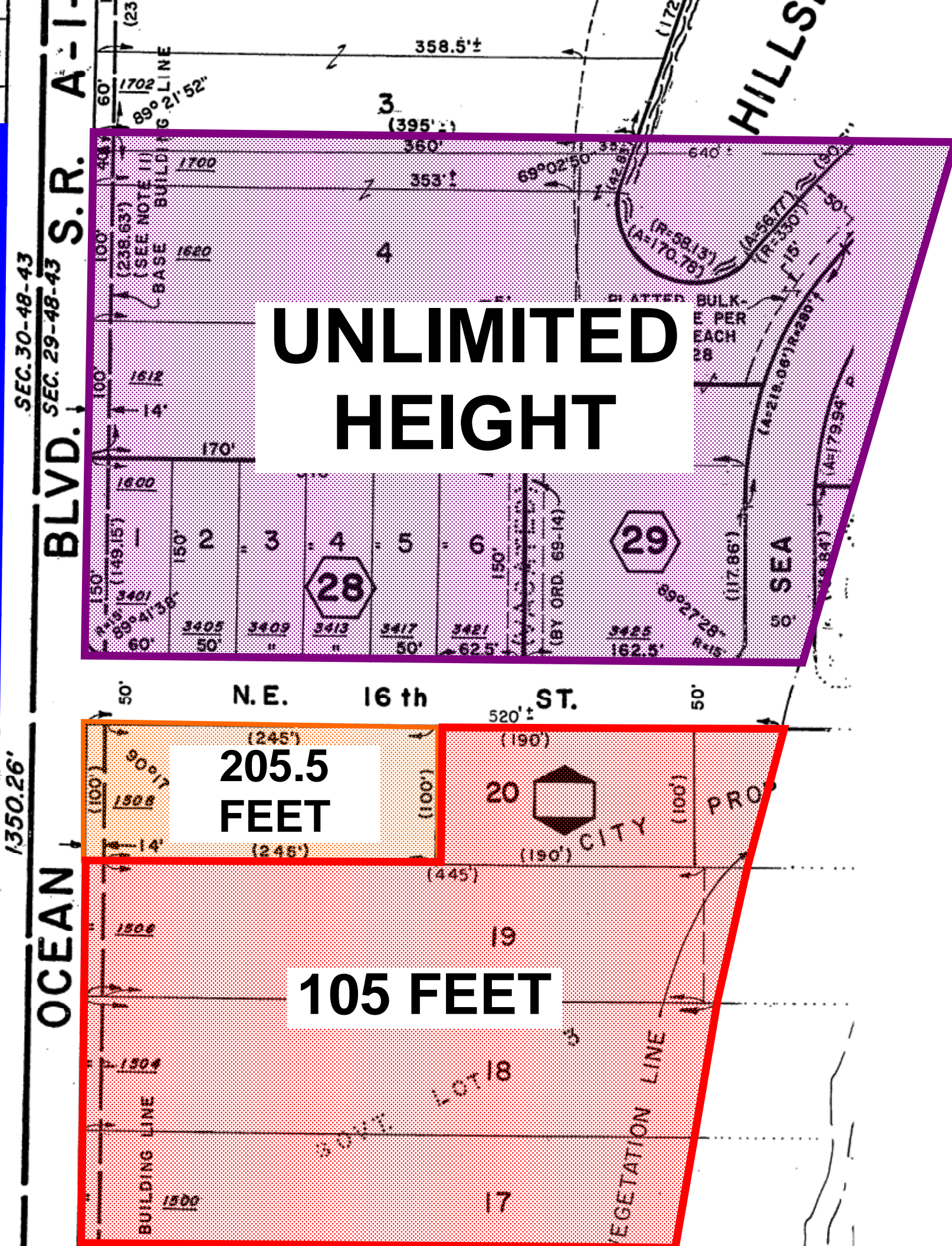
- **Objective 13.05.00** - To adequately fund the Capital Improvement Plan through a variety of funding sources including property taxes, impact fees, general revenues, state and county contributions, assessments, private contributions, and bonded indebtedness.

The project will generate extensive tax revenues which the city can utilize to implement a variety of programs.

EXHIBIT I



35 FEET



UNLIMITED
HEIGHT

205.5
FEET

105 FEET

EXHIBIT J

*Exhibit J was removed from PD-I document

EXHIBIT K



Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2016-ASO-24552-OE
Prior Study No.
2016-ASO-7295-OE

Issued Date: 10/12/2017

Mike Vonder Meulen
Keith & Associates
301 East Atlantic Blvd.
Pompano Beach, FL 33060

**** DETERMINATION OF NO HAZARD TO AIR NAVIGATION ****

The Federal Aviation Administration has conducted an aeronautical study under the provisions of 49 U.S.C., Section 44718 and if applicable Title 14 of the Code of Federal Regulations, part 77, concerning:

Structure:	Building Ocean Park
Location:	Pompano Beach, FL
Latitude:	26-15-06.98N NAD 83
Longitude:	80-05-10.92W
Heights:	10 feet site elevation (SE)
	245 feet above ground level (AGL)
	255 feet above mean sea level (AMSL)

This aeronautical study revealed that the structure would have no substantial adverse effect on the safe and efficient utilization of the navigable airspace by aircraft or on the operation of air navigation facilities. Therefore, pursuant to the authority delegated to me, it is hereby determined that the structure would not be a hazard to air navigation provided the following condition(s) is(are) met:

As a condition to this Determination, the structure is to be marked/lighted in accordance with FAA Advisory circular 70/7460-1 L Change 1, Obstruction Marking and Lighting, red lights - Chapters 4,5(Red),&12.

Any failure or malfunction that lasts more than thirty (30) minutes and affects a top light or flashing obstruction light, regardless of its position, should be reported immediately to (877) 487-6867 so a Notice to Airmen (NOTAM) can be issued. As soon as the normal operation is restored, notify the same number.

It is required that FAA Form 7460-2, Notice of Actual Construction or Alteration, be e-filed any time the project is abandoned or:

____ At least 10 days prior to start of construction (7460-2, Part 1)
☒ Within 5 days after the construction reaches its greatest height (7460-2, Part 2)

See attachment for additional condition(s) or information.

The structure considered under this study lies in proximity to an airport and occupants may be subjected to noise from aircraft operating to and from the airport.

This determination expires on 04/12/2019 unless:

- (a) the construction is started (not necessarily completed) and FAA Form 7460-2, Notice of Actual Construction or Alteration, is received by this office.
- (b) extended, revised, or terminated by the issuing office.
- (c) the construction is subject to the licensing authority of the Federal Communications Commission (FCC) and an application for a construction permit has been filed, as required by the FCC, within 6 months of the date of this determination. In such case, the determination expires on the date prescribed by the FCC for completion of construction, or the date the FCC denies the application.

NOTE: REQUEST FOR EXTENSION OF THE EFFECTIVE PERIOD OF THIS DETERMINATION MUST BE E-FILED AT LEAST 15 DAYS PRIOR TO THE EXPIRATION DATE. AFTER RE-EVALUATION OF CURRENT OPERATIONS IN THE AREA OF THE STRUCTURE TO DETERMINE THAT NO SIGNIFICANT AERONAUTICAL CHANGES HAVE OCCURRED, YOUR DETERMINATION MAY BE ELIGIBLE FOR ONE EXTENSION OF THE EFFECTIVE PERIOD.

This determination is subject to review if an interested party files a petition that is received by the FAA on or before November 11, 2017. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager, Airspace Policy & Regulation, Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591.

This determination becomes final on November 21, 2017 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Regulations & ATC Procedures Group via telephone -- 202-267-8783 - or facsimile 202-267-9328.

This determination is based, in part, on the foregoing description which includes specific coordinates, heights, frequency(ies) and power. Any changes in coordinates, heights and frequencies or use of greater power, except those frequencies specified in the Colo Void Clause Coalition; Antenna System Co-Location; Voluntary Best Practices, effective 21 Nov 2007, will void this determination. Any future construction or alteration, including increase to heights, power or the addition of other transmitters, requires separate notice to the FAA. This determination includes all previously filed frequencies and power for this structure.

This determination does include temporary construction equipment such as cranes, derricks, etc., which may be used during actual construction of the structure. However, this equipment shall not exceed the overall heights as indicated above. Equipment which has a height greater than the studied structure requires separate notice to the FAA.

This determination concerns the effect of this structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

This aeronautical study considered and analyzed the impact on existing and proposed arrival, departure, and en route procedures for aircraft operating under both visual flight rules and instrument flight rules; the impact on all existing and planned public-use airports, military airports and aeronautical facilities; and the cumulative impact resulting from the studied structure when combined with the impact of other existing or proposed structures. The study disclosed that the described structure would have no substantial adverse effect on air navigation.

An account of the study findings, aeronautical objections received by the FAA during the study (if any), and the basis for the FAA's decision in this matter can be found on the following page(s).

If we can be of further assistance, please contact Michael Blaich, at (404) 305-6462, or mike.blaich@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-ASO-24552-OE.

Signature Control No: 305138408-346089104

(DNH)

Mike Helvey

Manager, Obstruction Evaluation Group

Attachment(s)

Additional Information

Map(s)

Additional information for ASN 2016-ASO-24552-OE

PMP = Pompano Beach Airpark Airport
ASN = Aeronautical Study Number
SIAP = Standard Instrument Approach Procedure
AGL = Above Ground Level
AMSL = Above Mean Sea Level
NM = Nautical Miles
ARP = Airport Reference Point
RWY = Runway
IFR = Instrument Flight Rule

This ASN is for a proposed building at height of 245 feet AGL, 255 feet AMSL.

The structure would be located approximately 1.37 NM east of the PMP ARP.

It would exceed the Obstruction Standards of Title 14, Code of Federal Regulations (14 CFR), Part 77 as follows:

Section 77.17 (a)(2) PMP --- > Exceeds by 36 feet.

Section 77.19 (a) PMP: Horizontal Surface --- > Exceeds by 86 feet.

Part 77 Obstruction Standards are used to screen the many structures submitted in order to identify those which warrant further aeronautical study in order to determine if they would have significant adverse effect on protected aeronautical operations. While the obstruction standards trigger formal aeronautical study, including circularization, they do not constitute absolute or arbitrary criteria for identification of hazards to air navigation. Accordingly, the fact that a structure exceeds an obstruction standard of Part 77 does not provide a basis for a determination that the structure would constitute a hazard to air navigation.

Details of the structure were circularized to the aeronautical public for comment. No letters of objection were received during the comment period.

AERONAUTICAL STUDY FOR POSSIBLE INSTRUMENT FLIGHT RULES (IFR) EFFECT DISCLOSED THE FOLLOWING:

- > The proposed structure would have no effect on any existing or proposed IFR arrival/departure routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR en route routes, operations, or procedures.
- > The proposed structure would have no effect on any existing or proposed IFR minimum flight altitudes.

AERONAUTICAL STUDY FOR POSSIBLE VISUAL FLIGHT RULES (VFR) EFFECT DISCLOSED THE FOLLOWING:

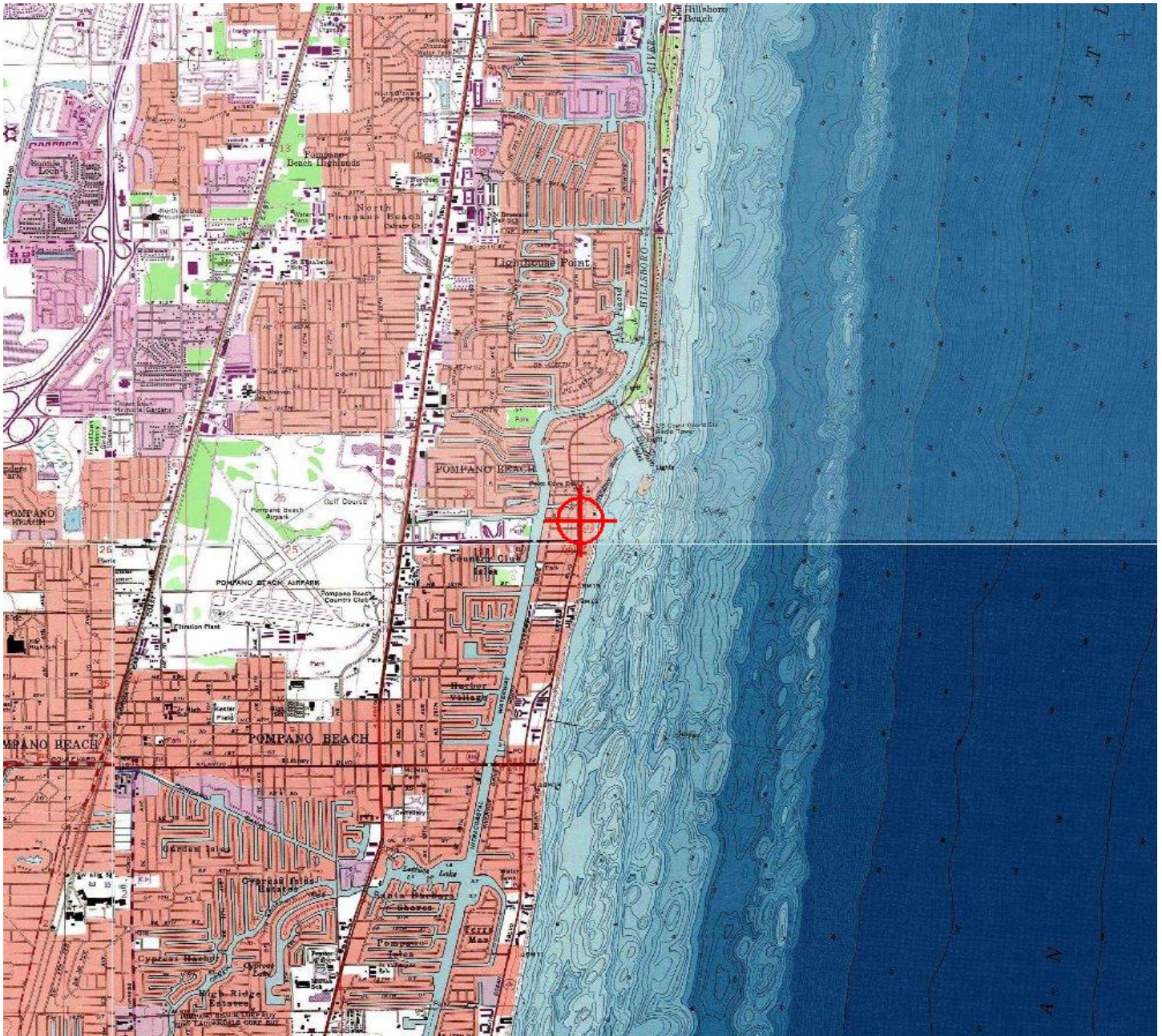
- > The proposed structure would have no effect on any existing or proposed VFR arrival or departure routes, operations or procedures.
- > The proposed structure would not conflict with airspace required to conduct normal VFR traffic pattern operations at any known public use or military airports.
- > The proposed structure would not penetrate those altitudes that are normally considered available to airmen for VFR en route flight.
- > The proposed structure will be appropriately obstruction marked and lighted to make it more conspicuous to airmen flying in VFR weather conditions at night.

The proposed structures' proximity to the airport was considered and found to be acceptable.

The impact on arrival, departure, and en route procedures for aircraft operating under VFR/IFR conditions at existing and planned public use and military airports, as well as aeronautical facilities, was considered during the analysis of the structure. The aeronautical study disclosed that the proposed structure would have no substantial adverse effect upon any terminal or en route instrument procedure or altitude.

The cumulative impact (IFR/VFR) resulting for the structure, when combined with the impact of other existing or proposed structures was considered and found to be acceptable.

Therefore, it is determined that the proposed structure would not have a substantial adverse effect upon the safe and efficient utilization of the navigable airspace by aircraft or on any navigation facility and would not be a hazard to air navigation.





Mail Processing Center
Federal Aviation Administration
Southwest Regional Office
Obstruction Evaluation Group
10101 Hillwood Parkway
Fort Worth, TX 76177

Aeronautical Study No.
2016-ASO-24552-OE
Prior Study No.
2016-ASO-7295-OE

Issued Date: 06/10/2019

Mike Vonder Meulen
Keith & Associates
301 East Atlantic Blvd.
Pompano Beach, FL 33060

**** Extension ****

A Determination was issued by the Federal Aviation Administration (FAA) concerning:

Structure:	Building Ocean Park
Location:	Pompano Beach, FL
Latitude:	26-15-06.98N NAD 83
Longitude:	80-05-10.92W
Heights:	10 feet site elevation (SE) 245 feet above ground level (AGL) 255 feet above mean sea level (AMSL)

In response to your request for an extension of the effective period of the determination, the FAA has reviewed the aeronautical study in light of current aeronautical operations in the area of the structure and finds that no significant aeronautical changes have occurred which would alter the determination issued for this structure.

This extension is subject to review if an interested party files a petition that is received by the FAA on or before July 10, 2019. In the event a petition for review is filed, it must contain a full statement of the basis upon which it is made and be submitted to the Manager of the Airspace Policy Group. Petitions can be submitted via mail to Federal Aviation Administration, 800 Independence Ave, SW, Room 423, Washington, DC 20591, via email at OEPetitions@faa.gov, or via facsimile (202) 267-9328.

This extension becomes final on July 20, 2019 unless a petition is timely filed. In which case, this determination will not become final pending disposition of the petition. Interested parties will be notified of the grant of any review. For any questions regarding your petition, please contact Airspace Policy Group via telephone – 202-267-8783.

Accordingly, pursuant to the authority delegated to me, the effective period of the determination issued under the above cited aeronautical study number is hereby extended and will expire on 12/10/2020 unless otherwise extended, revised, or terminated by this office. You must adhere to all conditions identified in the original determination.

This extension issued in accordance with 49 U.S.C., Section 44718 and, if applicable, Title 14 of the Code of Federal Regulations, part 77, concerns the effect of the structure on the safe and efficient use of navigable airspace by aircraft and does not relieve the sponsor of compliance responsibilities relating to any law, ordinance, or regulation of any Federal, State, or local government body.

If we can be of further assistance, please contact our office at (847) 294-7575, or vivian.vilaro@faa.gov. On any future correspondence concerning this matter, please refer to Aeronautical Study Number 2016-ASO-24552-OE.

Signature Control No: 305138408-408026980

(EXT)

Vivian Vilaro

Specialist

Attachment(s)

Map(s)

