

07.13

ORDINANCE NO. 2019- 65

CITY OF POMPANO BEACH
Broward County, Florida

AN ORDINANCE OF THE CITY COMMISSION OF THE CITY OF POMPANO BEACH, FLORIDA, REZONING PROPERTY LOCATED ON THE NORTHWEST CORNER OF NW 27TH AVENUE AND NW 13TH STREET COMMONLY KNOWN AS 2701 NW 13TH STREET FROM RM-12 (MULTIPLE-FAMILY RESIDENCE 12) TO RPUD (RESIDENTIAL PLANNED UNIT DEVELOPMENT); PROVIDING FOR SEVERABILITY; PROVIDING AN EFFECTIVE DATE.

WHEREAS, pursuant to law, ten (10) days' notice has been given by publication in a paper of general circulation in the City, notifying the public of this proposed ordinance and of a public hearing in the City Commission Chambers of the City of Pompano Beach, Florida; and

WHEREAS, pursuant to Section 155.2305.C, of the Pompano Beach Code of Ordinances, notice in accordance with said section has been mailed notifying owners of real property within 500 feet of the subject parcel of the first City Commission public hearing on this proposed Ordinance; and

WHEREAS, a public hearing before the City Commission was held pursuant to the aforesaid notice, at which hearing the parties in interest and all other citizens so desiring, had an opportunity to be, and were, in fact, heard; now, therefore,

BE IT ENACTED BY THE CITY OF POMPANO BEACH, FLORIDA:

SECTION 1. - FINDINGS: The City Commission finds as follows: that the rezoning of the property described herein is consistent with the Comprehensive Plan; that the rezoning complies with Section 135.3602., General Standards for All Planned Development Districts, as well as all other requirements of the Zoning Code; that the rezoning does not have a potentially

injurious effect on land adjacent to the rezoned parcel; and that rezoning is reasonably related to the public health, safety and welfare.

SECTION 2. - REZONING AND APPROVAL OF PLANNED DEVELOPMENT

PLAN: The property more particularly described in Exhibit "A," attached hereto and made a part hereof is hereby rezoned from a present zoning classification of RM-12 (Multiple-Family Residence 12) to RPUD (Residential Planned Unit Development) as said zoning classification is defined by Chapter 155 of the Code of Ordinances of the City of Pompano Beach, Florida.

Pursuant to the requirements of Section 155.3602 and Section 155.3603 of the Code of Ordinances of the City of Pompano Beach, Florida, the Planned Development Plan ("Plan") submitted for the Property, attached hereto and made a part hereof as Exhibit "B," is hereby adopted. All development of the Property shall proceed in accordance with the Plan, as approved, and Section 155.3603 of the Code of Ordinances of the City of Pompano Beach.

SECTION 3. - EFFECTIVE PERIOD OF APPROVAL: Pursuant to Section 155.2405.I, Expiration, approval of this rezoning shall automatically expire if an application for a Site Plan (Major or Minor) for any part of the development shown on the approved Plan is not submitted within two years after approval of the RPUD, or an extension of this time period authorized in accordance with Section 155.2308.B.2, Extension of Expiration Time Period.

SECTION 4. - SEVERABILITY: If any provision of this Ordinance or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of this Ordinance that can be given effect without the invalid provision or application, and to this end the provisions of this Ordinance are declared to be severable.

SECTION 5. - RECORDATION: This Ordinance shall be recorded with Broward County Records in accordance with Section 155.2405.F., Recordation.

SECTION 6. - EFFECTIVE DATE: This Ordinance shall become effective upon passage.

PASSED FIRST READING this 14th day of May, 2019.

PASSED SECOND READING this 28th day of May, 2019.



REX HARDIN, MAYOR

ATTEST:



ASCELETA HAMMOND, CITY CLERK

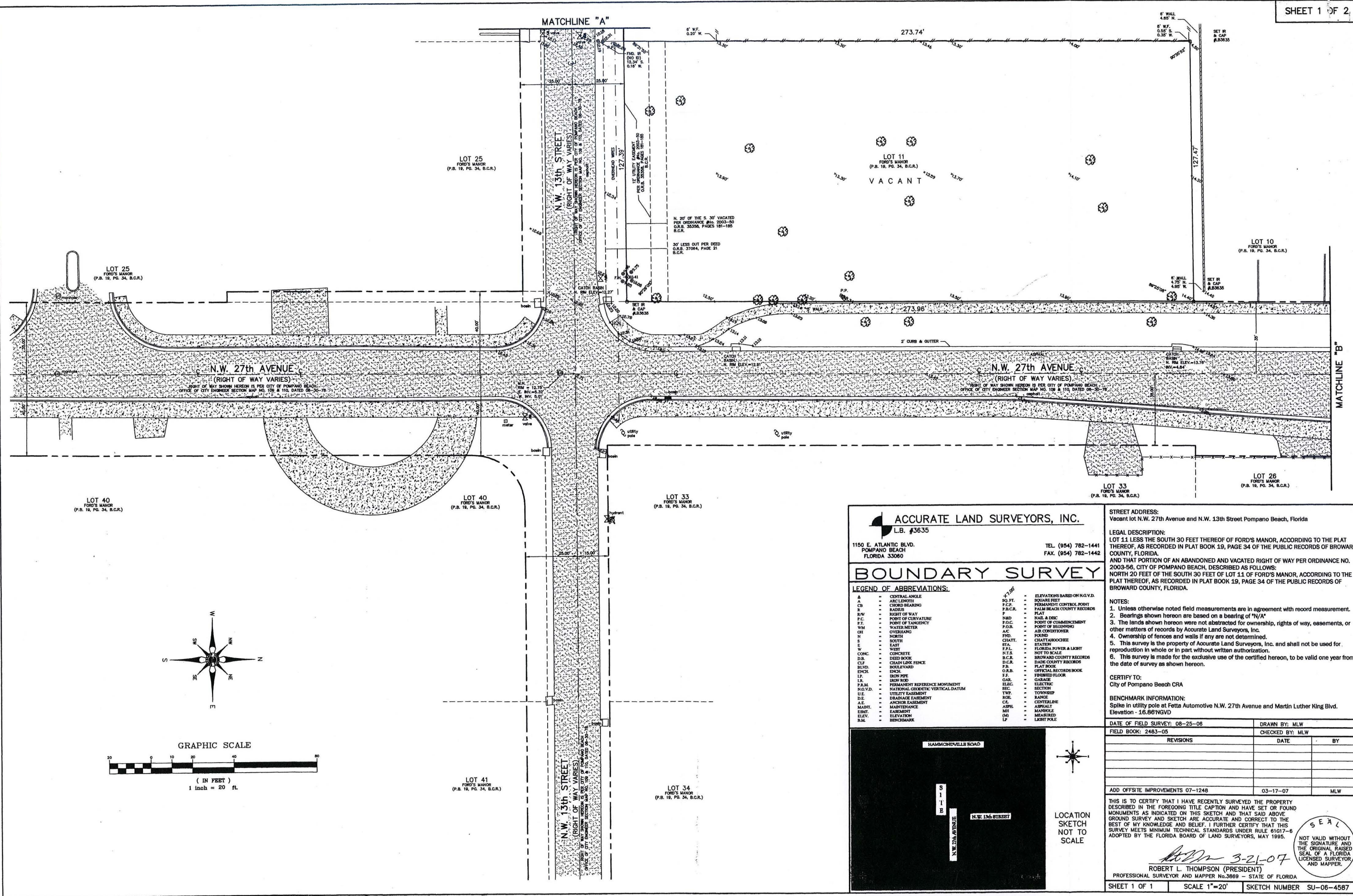
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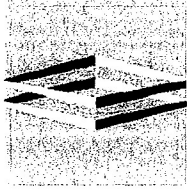
Exhibit A (1 of 2)

LEGAL 18-13000001

LOT 11 LESS THE SOUTH 30 FEET THEREOF OF FORD'S MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 34 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. AND THAT PORTION OF AN ABANDONED AND VACATED RIGHT OF WAY PER ORDINANCE NO. 2003-56, CITY OF POMPANO BEACH, DESCRIBED AS FOLLOWS: NORTH 20 FEET OF THE SOUTH 30 FEET OF LOT 11 OF FORD'S MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 34 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Exhibit A (2 of 2)





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Kensington Townhomes
Residential Planned Unit Development (RPUD) Application
Vacant Parcel Located
on the Northwest Corner
of NW 13th St. & NW 27th Ave.
City of Pompano Beach

Project Contact Information

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Also Included

Exhibit A: Legal Description

Exhibit B: Dimensional Requirements

Exhibit C: Masterplan

Exhibit D: Conceptual Area Plan

Exhibit E: Drainage Plan

Exhibit F: Utility Plan

Exhibit G: Pedestrian Circulation Plan

Exhibit H: Unit Floor Plans

Exhibit I: Landscape Plan

Exhibit J: Tree Survey/Disposition Plan

Exhibit K: Irrigation Plan

Exhibit L: Fire Staging Plan

1. Introduction

a. General Purpose

The existing use of the property is vacant land. The proposed use for the property is a residential multi-family project with 11 townhome units. It is rectangular in shape, located on the northwest corner of the intersection of NW 27th Ave. & NW 13th St. and is .80 acres in size.

b. Classification of Planned Development Zoning Districts

It is the intent of Hadar Homes, LLC to establish a RPUD in accordance with the procedures and requirements of Section 155.3602 of the Pompano Beach Zoning Code.

c. Reserved

d. Organization of Planned Development Zoning District Regulations

This document for the RPUD rezoning on the property located on the northwest corner of the intersection of NW 27th Ave. & NW 13th St. will address and establish each of the requirements in General Standards for all Planned Development Districts and the enclosed plans which are a graphical representation of the project site.

2. General Standards for Planned Development District

a. PD Plan

i. Planning Objective

The objective of the rezoning is to construct a multi-family project within an underdeveloped neighborhood located in the Northwest CRA. The construction of a multi-family project on this property was requested in an RFP put out to bid by the CRA to further the redevelopment of the neighborhood and provide residential dwelling units within walking density to current and future commercial uses. Due to the small size of the lot, a rezoning to RPUD is required to allow the construction of 11 dwelling units.

The following objectives are used in the creation of this RPUD:

1. Construct a multi-family townhome community at a density consistent with the underlying land use.
2. Contribute to the growth and redevelopment of the neighborhood and the Northwest CRA.

3. Discourage urban sprawl through an urban infill project. This site is located in a developed area with existing utilities and infrastructure.
4. Make site improvements such as drainage and landscaping. The property will be developed with potable water, sanitary sewer, drainage facilities and landscaping.
5. Create a project centered on the pedestrian scale and front the buildings along the street.

ii. Detailed Description of the Entire PD Plan

The property is located on the northwest corner of the intersection of NW 27th Ave. & NW 13th St. and is .80 acres in size. The property will be developed with 11 townhome units. The legal description depicting the entire site is provided in Exhibit A.

iii. General Location

The property is generally located on the northwest corner of the intersection of NW 27th Ave. and NW 13th St. Furthermore, the masterplan identifies the area being rezoned and included in the RPUD.

iv. Graphic Demonstration

All requirements of the PD Plan are graphically demonstrated on the enclosed plans and survey.

b. Consistency with City Plans

The RPUD zoning designation is consistent with the existing underlying land use designation LM (5-10 Du/Ac), allowing the construction of 11 townhome units. Maintaining the current RM-12 zoning will only allow for the development of 9 dwelling units as the density for the multi-family zoning districts in the code are calculated using net acres. The rezoning to RPUD will allow the construction of 11 dwellings unit, consistent with the density on the City's Future Land Use Map.

c. Compatibility with Surrounding Area

The property is located within an underdeveloped neighborhood consisting of similar multi-family developments and nearby commercial uses. The development of this property for multi-family dwelling units will add to the growth and

redevelopment of the neighborhood and provide residential dwelling units within walking density to current and future commercial uses.

The table below shows the zoning, existing land uses and future land use designations for the surrounding properties for the project:

Direction	Zoning	Existing Land Use	Future Land Use Designation
North	B-3	Fast Food Restaurant	C (Commercial)
South	RM-12	Church	LM (Low Medium 5-10 DU/Acre)
East	RS-2	Vacant Land	L (Low 1-5 DU/Acre)
West	RM-12	Residential, Multi-Family	LM (Low Medium 5-10)

d. Development Phasing Plan

The project will be developed in one phase, with the drainage and site improvements (asphalt parking) constructed first, followed by the construction of the townhome units and landscape improvements.

e. Conversion Schedule

There is no conversion schedule for this project as the existing use is vacant land.

f. On-Site Public Facilities

As per the signed resolution and agreement with the CRA, the developer will be responsible for the design and construction of all on-site public facilities and infrastructure, including water, sewer, drainage and lighting.

1. Potable Water & Sewer Services

There is currently enough capacity for water and wastewater to service the project. The location of water and sewer lines servicing the site are shown on the Utilities Plan.

2. Drainage

All storm water will be retained on site, with dry retention areas located within the landscape areas of the project. The location of the retention areas are shown on the Utilities Plan.

3. On-Site Public Facilities

A fire lane is being constructed as part of the project along NW 27th Ave. to allow for fire and emergency services access.

g. Uses

The existing use of the property is vacant land. The proposed use for the property is a residential multi-family project with 11 townhome units.

h. Densities and Intensities

The allowable existing density and proposed density is shown in Exhibit B.

i. Dimensional Standards

The dimensional standards for the existing RM-12 and the proposed RPUD zoning districts are provided in Exhibit B.

j. Development Standards

All development standards required in the City Code & Zoning Code for the project will be met, with the exception of a request for one modification regarding the minimum lot size requirement for a RPUD designation. Specific details regarding the development standards are provided below in Section 3d.

k. Amendments to Approved PD Plan

Amendments and deviations from the approved PD Plan will be in accordance with the Pompano Beach Land Development Code.

3. Residential Planned Unit Development (RPUD)

a. Purpose

The proposed project under the Residential Planned Unit Development RPUD) district is being developed in a manner that uses innovative and creative design to create a human scale project that addresses the street frontage and pedestrian amenities. These design concepts include placing two fronts on the buildings, allowing a front façade along the street and providing three structures rather than two to encourage pedestrian circulation between the buildings. In addition, one vehicle entry/exit point has been provided to one to allow for additional landscape area where a second entry could be located. All of these modifications create a pedestrian scale oriented project with superior design.

b. Use Standards

The project will consist of 11 townhome units.

c. Intensity and Dimensional Standards

The site specific development standards are provided in Exhibit B.

d. Development Standards

The development standards set forth in the Pompano Beach Land Development Code will be followed as established except for the specific modification provided herein to waive the minimum lot size for a RPUD. Specific details regarding the development standards are provided below.

i. Landscaping, Tree Preservation & Screening

The project will meet or go above code requirements as listed in the City Zoning Code for landscaping and tree preservation. As shown in the Dimensional Standards table above, the minimum amount of pervious area required for the existing zoning district (RM-12) is 25% and this project provides 35.5%, going above the code requirement. In addition, there is landscape area along the perimeter of the property, along all property lines, and street trees will be provided along NW 13th St. and NW 27th Ave.

ii. Fences & Walls

There is an existing 6' wood fence along the west property line and an existing 6' concrete wall along the north property line of the property. A concrete wall 3'-6" in height will be placed along the NW 13th St. & NW 27th Ave. Maintaining a low height for the wall along the streets is an additional design component to create a human scaled project, rather than blocking the view completely with a 6' high wall. Additionally, there will be no wall located along the pedestrian walkway corridors between the buildings, encouraging connectivity and walkability for the project.

iii. Exterior lighting

The project will meet or go above code requirements as listed in the City Code for exterior lighting. In addition, all the comments received from the CPTED (Crime Prevention Through Environmental Design) review will be met, including those regarding lighting.

iv. Circulation & Streets

The site is located within a developed area with existing roadways. Specifically, the project is located on the northwest corner of the intersection of NW 27th Ave. & NW 13th St., just south of Martin Luther King Jr. Boulevard (MLK Jr. Blvd.). The site plan is designed with the vehicle entry/exit point along NW 13th St.; this allows easy access to go north to

NW 27th Ave. to MLK Jr. Blvd. or south along NW 27th Ave. to W. Atlantic Blvd. with access to I-95.

v. **Pedestrian & Bicycle Circulation**

There are existing sidewalks along NW 27th Ave. & NW 13th St., allowing residents of this community to safely walk to the commercial uses along MLK Jr. Blvd. In addition, pedestrian connectivity is provided in the pedestrian walkway corridors between the buildings with access to the sidewalk along NW 27th Ave. In addition, a shared bike lane is included on the property allowing safe access for bicyclists to the adjacent roadways.

vi. **Open Space**

As shown on the attached PD Master Plan, the project will provide 12,598 square feet (36.1%) of pervious area. This will be improved with grass, trees and shrubs along the perimeter of the property, including street trees along NW 27th Ave. and NW 13th St. Pedestrian walkways with landscaping will also be provided between each of the three buildings, connecting to the parking lot. Each townhome unit will also have a private back yard area with greenspace.

e. Master Parking Requirements

Per Section 155.5102(D)(4)(a) the Zoning Code, all multi-family projects located in the Northwest CRA and permitted post January 4, 2016, shall require a parking ratio of 1 space for each 1,000 square feet of gross floor area. In addition, the Code requires one parking space for each 5 townhome units for guest parking spaces. The total gross square footage for the project is 17,928 requiring a total of 17.9 or 18 parking spaces; with 11 total townhome units, an additional 2 spaces are required for guest parking, bringing the total amount of required parking spaces to 20. As shown on the provided site plan, the project will provide a total of 20 parking spaces, to include 11 garage parking spaces and 9 asphalt parking spaces

f. Deviations and Justifications

This RPUD includes a modification regarding the minimum lot size required to designate a PRUD designation. The minimum lot size to rezone to RPUD is 5 acres. The parcel size for this project is .80 acres. The small size of the lot requires a rezoning to RPUD to obtain a designation that is consistent with the underlying land use of LM (5- 10 Du/Ac) and allow a net density of 11 dwelling units per acre. The design of the project has been modified from the original conceptual plan to create a more human scale project that addresses the street frontage and

pedestrian amenities. These design changes include removing the parking spaces fronting the street and placing two fronts on the buildings, allowing a front façade along the street and separating the project into three buildings rather than two to encourage pedestrian circulation. In addition, the vehicle entry/exit points were reduced to one to allow for additional landscape area. All of these modifications create a pedestrian scale oriented project with superior design.

Exhibit A

Legal Description

Exhibit A
Legal Description

LOT 11 LESS THE SOUTH 30 FEET THEREOF OF FORD'S MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 34 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA. AND THAT PORTION OF AN ABANDONED AND VACATED RIGHT OF WAY PER ORDINANCE NO. 2003-56, CITY OF POMPANO BEACH, DESCRIBED AS FOLLOWS: NORTH 20 FEET OF THE SOUTH 30 FEET OF LOT 11 OF FORD'S MANOR, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 19, PAGE 34 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

Exhibit B

Dimensional Regulations Table

Exhibit B
Dimensional Requirements

Dimensional Requirement Comparison Table

Dimensional Requirement	RM-12		RPUD	Provided in PD Master Plan	
Lot area, minimum (sq ft)	7,000 ²		5 Acres ¹	.80 Net Acres/1.11 Gross Acres	
Lot width, minimum (ft)	60' ²		To be established in PD Plan-see Section 155.3602.A, PD Plan	127'-6"	
Density, maximum (du/ac)	12 ^{2,3}			Net: 15 Du/Ac	Gross: 10 Du/Ac
Floor area per dwelling unit, minimum (sq ft)	SF	950		Unit A	1783 SF
	2F	750		Unit B	2166 SF
	MF	Efficiency units: 500			
	Other units: 650 + 100 per BR>1				
Lot coverage, maximum (% of lot area)	60% ²			30.7% (10,717 SF)	
Pervious area, minimum (% of lot area)	25% ²			35.5% (12,089 SF)	
Height, maximum (ft)	35'			31'-6"	
Front yard setback, minimum (ft)	25'			25'	
Street side yard setback, minimum (ft)	8' ^{2,4}			10'	
Setback from a waterway or canal, minimum (ft)	25'			N/A	
Setback from a dune vegetationa line, minimum (ft)	25'			N/A	
Interior side yard setback, minimum (ft)	8' ^{2,4,6}			8'	
Rear yard setback, minimum (ft)	10' ⁴			10'	
Spacing between principal structures, minimum (ft)	25'			11'-8"	
Required Front Yard, Pervious Area, minimum (% of Required Front Yard)	50' (for Single Family Dwellings only)			N/A	

Exhibit B Continued
Dimensional Standards-Notes

RM-12 Notes	
1.	See measurement rules and allowed exceptions/variations in Article 9: Part 4.
2.	For townhouse development , applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.
3.	On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.
4.	Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.
5.	For developments with zero-lot-line single-family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.

RPUD Notes	
1.	May be waived by the City Commission on finding that creative site planning is necessary to address a physical development constraint, protect sensitive natural areas, or promote a community goal when more conventional development would result in more difficult or undesirable development .
2.	Residential development may not exceed the maximum gross density established by the Land Use Plan for the Residential land use classification.
3.	Except for RPUD development whose prior zoning district was RM45-HR, the maximum building height shall not exceed 65 feet.
4.	For developments who are restricted to a maximum 65 feet height, the height may be increased to 85 feet provided after 60 feet in height the front façade is stepped back 20 feet. The resulting 20 foot space must be usable plaza or patio space.

Exhibit C

Master Plan

UNIT ALLOWANCE AND RESTRICTIONS

THE INDIVIDUAL UNITS ARE FEE SIMPLE ONLY AND CANNOT BE CONVERTED TO RENTAL PROPERTY. THE HOMES ARE CONSTRUCTED TO HABITAT FOR HUMANITY STANDARDS.	
GARAGE	1. THE HOME OWNER IS NOT ALLOWED TO CONVERT THE GARAGE. THE UNIT OWNER IS REQUIRED TO MAINTAIN PARKING AT ALL TIMES TO INCLUDE THE GARAGE AREA.
GARAGE	2. GARBAGE AND RECYCLING ARE CONTAINER PICKUP. EACH UNIT OWNER WILL BE RESPONSIBLE FOR CARRYING THEIR GARBAGE AND RECYCLING TO THE CONTAINER. GARBAGE AND RECYCLING CONTAINERS SHALL BE PLACED IN THE DESIGNATED LOCATION.
SIDE YARD	3. NO STRUCTURAL IMPROVEMENTS SHALL BE PLACED IN THE SIDE SETBACKS. NO FENCING OR LANDSCAPING SHALL BE PLACED IN DRAINAGE SWALES THAT WOULD PROHIBIT THE FLOWAGE OF STORMWATER.
STREET FRONT	4. THE STREET SIDE YARDS ARE TO REMAIN AS OPEN SPACE USAGE AND BE COMPRISED OF GRASS AND LANDSCAPE MATERIALS.
	5. NO BUILDING EXPANSION, SHEDS OR POOLS ARE ALLOWED. THE UNIT OWNER IS ALLOWED TO PROVIDE FOR A CONCRETE OR BRICK PAVEMENT PATIO TO A MAX. SIZE OF 10' X 10' LOCATED AT THE STREET SIDE DOOR.
FENCING	6. A COVERED CANOPY OR EXTENDED ROOF AWNING IS ALLOWED OVER THE PATIO.
	7. INDIVIDUAL LOT OWNERS CAN PROVIDE A FENCE ON THE SIDE YARD PROPERTY LINE. THE FENCE SHALL BEGIN AT THE BACK WALL OF THE HOUSE AND MAY EXTEND 10' INTO THE BACK YARD. THE FENCE HEIGHT SHALL BE 5' HIGH. THE BACK YARD FENCE MAY BE INSTALLED BY THE UNIT OWNER. THE UNIT OWNER IS RESPONSIBLE FOR MAINTAINING THE FENCE AREA WITHIN THE PRIVATE LOT. SEE EXHIBIT F FOR THE LOCATION OF FENCE FOR TYPICAL LOTS.
FRONT YARD	8. SINGLE STORY UNITS MAY ALLOW COVERED PATIO 5 FEET WITHIN FRONT 25 FEET SETBACK. PATIO AREA CANNOT BE ENCLOSED.

MASTER SITE TABLE

DIMENSIONAL REQUIREMENT COMPARISON TABLE			
DIMENSIONAL REQUIREMENT	RM-12	RPUD	PROVIDED IN PD MASTER PLAN
LOT AREA, MINIMUM (SQ. FT.)	7,000 (NOTE 2)	5 ACRES	80 NET ACRES / 11.11 GROSS ACRES
LOT WIDTH, MINIMUM (FT.)	60' (NOTE 2,3)		127'-6"
DENSITY, MAXIMUM (DU/AC)	12 (NOTE 2,3)		NET 15 DU/AC, GROSS 16 DU/AC
FLOOR AREA PER DWELLING UNIT, MINIMUM (SQ. FT.)	1,780 SF		UNIT A (10 UNITS) 1,780 SF
	1,522 SF (NO GARAGE)		UNIT B (1 UNIT) 2,126 SF
	1,871 SF (NO GARAGE)		
LOT COVERAGE, MAXIMUM (% OF LOT AREA)	60% (NOTE 2)	TO BE ESTABLISHED IN PD PLAN, SEE SECTION 155-3602 A, PD PLAN	30.7% = (10,717 SF)
PERVIOUS AREA, MINIMUM (% OF LOT AREA)	25% (NOTE 2)		35.5% = (12,455 SF)
HEIGHT, MAXIMUM (FT.)	35'		33'-6"
FRONT YARD SETBACK, MINIMUM (FT.)	25'		25'
STREET SIDE YARD SETBACK, MIN. (FT.)	8' (NOTE 2,4)		10'
SETBACK FROM A WATERWAY OR CANAL, MINIMUM (FT.)	25'		N/A
SETBACK FROM A DUNE VEGETATION LINE, MINIMUM (FT.)	25'		N/A
INTERIOR SIDE YARD SETBACK, MIN. (FT.)	8' (NOTE 2,4,5)		8'
REAR YARD SETBACK, MIN. (FT.)	10' (NOTE 4)		11'
SPACING BETWEEN PRINCIPAL STRUCTURE, MINIMUM (FT.)	25'		11'-8"
REQUIRED FRONT YARD, PERVIOUS AREA, MINIMUM (% OF REQUIRED FRONT YARD)	50' (FOR SINGLE FAMILY DWELLINGS ONLY)		N/A

PARKING REQUIREMENT		
DWELLING MULTIFAMILY	MINIMUM OFF-STREET PARKING 1 PER 1,000 SQ. FT. OF GROSS FLOOR AREA (NOT INCLUDING GARAGE) 17,828/1000 = 18	11 GARAGE SPACES & 9 ON-SITE PARKING 18
VISITOR PARKING	1 PER 5 TOWNHOUSE UNIT = 2	2
TOTAL PARKING	20 PARKING SPACES	20 PARKING SPACES
BICYCLE STORAGE	1 PER EACH UNIT INSIDE OF GARAGE	

RM-12 NOTES	RPUD NOTES
1. See measurement rules and allowed exceptions/Variances in Article 9, Part 4.	1. May be waived by the City Commission on finding that creative site planning is necessary to address a physical development constraint, protect sensitive natural areas, or promote a community goal when more conventional development would result in more difficult or undesirable development.
2. For townhouse development, applies only to the development site as a whole, provided individual townhouse lots have a minimum area of 1,800 sq ft and a minimum width of 18 ft.	2. Residential development may not exceed the maximum gross density established by the Land Use Plan for the Residential land use classification.
3. On land classified Residential by the Land Use Plan, maximum gross residential density may not exceed that established for the particular land use classification.	3. Except for RPUD development whose prior zoning district was RM-12, the maximum building height shall not exceed 65 feet, must be usable plaza or patio space.
4. Those portions of a structure extending above a height of 20 feet shall be set back an additional 1 ft for each 4 ft (or major fraction thereof) the height of the portion of the structure exceeds 20 ft.	4. For developments who are restricted to a maximum 65 feet height, the height may be increased to 85 feet provided after 60 feet in height the front facade is stepped back 20 feet. The resulting 20 foot space must be usable plaza or patio space.
5. For developments with zero lot line single family dwellings, 0 ft along the zero lot line and 15 ft for the opposite interior side lot line.	

LEGEND		
POD	USES	STORIES
POD A	4 UNIT TOWNHOUSE - RESIDENTIAL	2 STORIES
POD B	3 UNIT TOWNHOUSE - RESIDENTIAL	2-3 STORIES
POD C	SERVICES	
POD D	OPEN SPACE / PARKING	
POD E	BUFFER	
POD F	VEHICULAR ROAD NETWORK	

1 RPUD - MASTER PLAN
SCALE: 1/16" = 1'-0"

PROJECT AND OWNER

KENSINGTON TOWNHOMES
VACANT LOT AT N.W. 27TH AVENUE AND N.W. 13TH STREET
POMPADOUR BEACH, FL 33060
HADAR HOMES, LLC
300 S. PINE ISLAND ROAD, SUITE 300
PLANTATION, FL 33324

ARCHITECT:

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MIAMI, FL 33155
1 305-790-4372

PLANNING & ZONING

PERMIT APPLICATION DATE: 03/15/18

PROJECT NO.: 1721

DRAWN BY: NJ APPROVED BY: AG

1	City Revision	06/27/18
2	City Revision 2	10/18/18

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SEAL



SIGNATURE
ARTURO G. GRIEGO
LIC# AR94011

SHEET TITLE
MASTER PLAN

SCALE
N.T.S.

SHEET NO

11/18/18

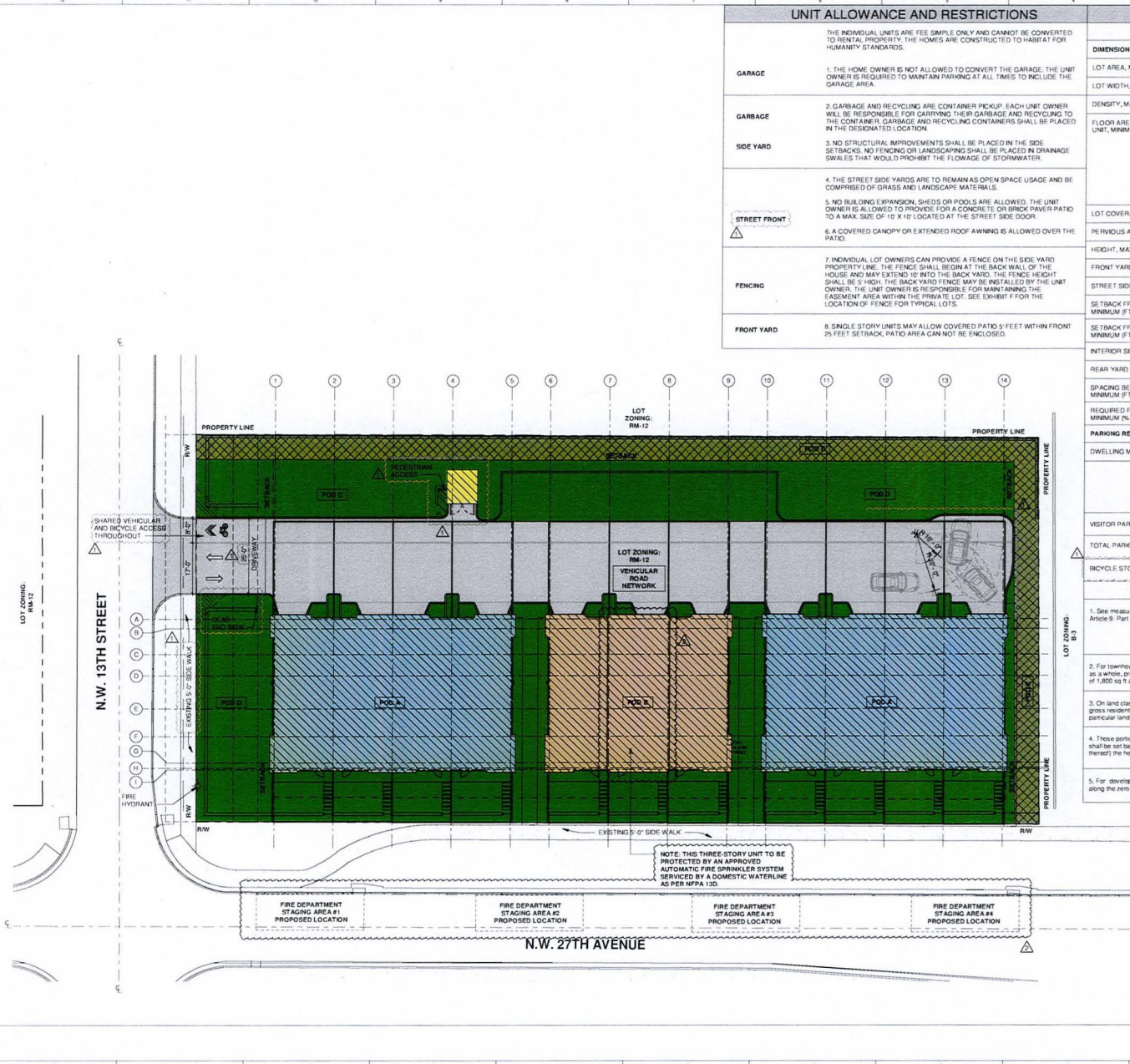
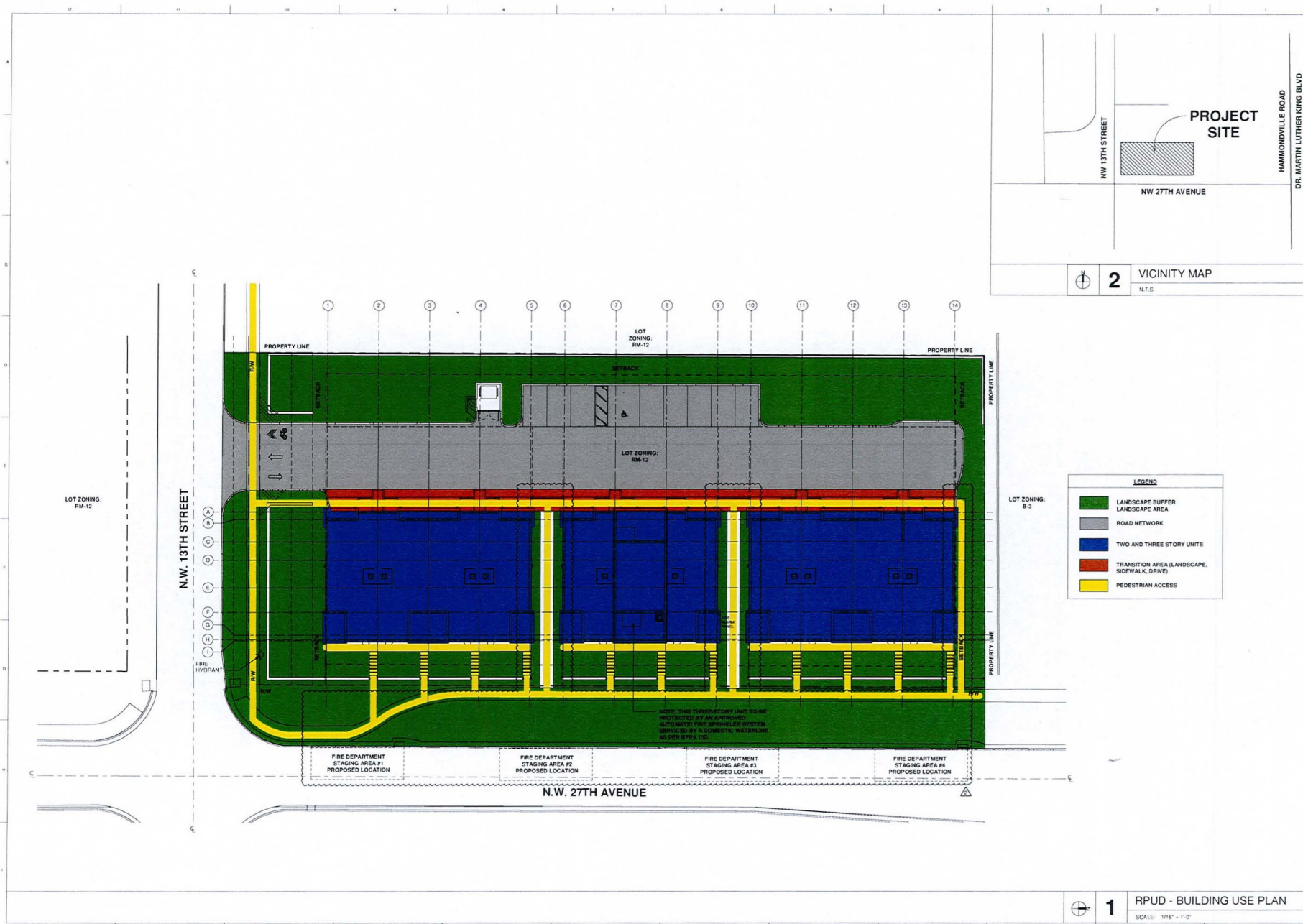


Exhibit D

Conceptual Area Plan



PROJECT AND OWNER: **KENSINGTON TOWNHOMES**

VACANT LOT AT N.W. 27TH AVENUE AND N.W. 13TH STREET
POMPANO BEACH, FL 33068
HADARI HOMES, LLC
300 S. PINE ISLAND ROAD, SUITE 309
PLANTATION, FL 33324

ARCHITECT:
needdesign 14950 NW 44TH CT STE 202
Miami, FL 33554
(1) 305.673.7171
(1) 305.673.4545
www.needdesign.net

CONSULTING ENGINEERS:
MEP
RACH DESIGN ENGINEERS
381 SE 10TH STREET
POMPANO BEACH, FL 33068
(954) 461-4314

CIVIL ENGINEER
COTI ENGINEERING AND PLANNING
4530 HUNTING TRAIL
LAKE WORTH, FL 33467
(561) 524-8800

STRUCTURAL ENGINEER
HAJJARI & ASSOCIATES
45 VALENCIA AVENUE
CORAL GABLES, FL 33134
(305) 445-2999

LANDSCAPE ARCHITECT
H.L. MARTIN LANDSCAPE ARCH. PA
5805 SW 38TH STREET
MIAMI, FL 33155
(305) 780-4372

KEY PLAN

PLANNING & ZONING

PERMIT APPLICATION DATE: 02/15/18
PROJECT NO.: 1721
DRAWN BY: RJ APPROVED BY: AG

2	City Revision 2	10/18/18

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SEAL
ARTURO G. GRIEGO
LIC# AR94011

SIGNATURE
ARTURO G. GRIEGO
LIC# AR94011
SHEET TITLE
BUILDING USE PLAN

SCALE
N.T.S.

SHEET NO.

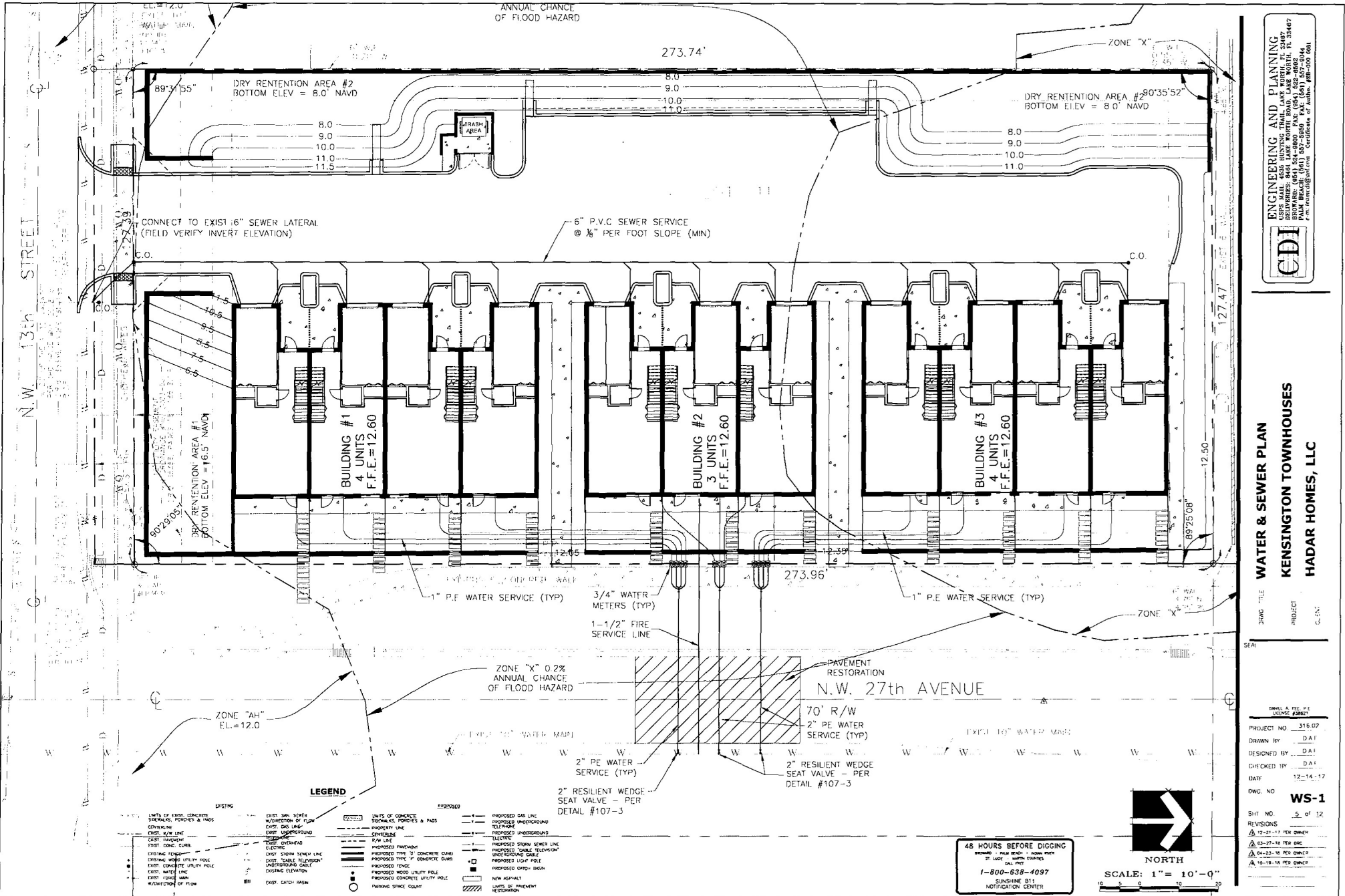
18-0000-01-01

Exhibit E

Drainage Plan

Exhibit F

Utility Plan



ENGINEERING AND PLANNING
 USFS MAIL 555 HUNTING TRAIL LANE W. W. FL 33467
 DELIVERIES: 8461 LANE NORTH ROAD, LANE NORTH, FL 33467
 P.O. BOX 1000, PALM BEACH, FL 33480
 P.O. BOX 1000, PALM BEACH, FL 33480
 P.O. BOX 1000, PALM BEACH, FL 33480
 P.O. BOX 1000, PALM BEACH, FL 33480

WATER & SEWER PLAN
KENSINGTON TOWNHOUSES
HADAR HOMES, LLC

DATE: 12-14-17
 PROJECT: WS-1
 SHEET NO.: 5 OF 12
 REVISIONS:
 12-21-17 NEW OWNER
 02-27-18 PER OWNER
 04-23-18 PER OWNER
 10-19-18 PER OWNER

48 HOURS BEFORE DIGGING
 BEFORE: PAID BY: 1000 HOURS
 1-800-638-4097
 SUNSHINE B11
 NOTIFICATION CENTER



NORTH
SCALE: 1" = 10'-0"

Exhibit G

Pedestrian Circulation Plan



LEGEND

- PROPOSED PEDESTRIAN CIRCULATION
- SIDE WALKS
- WALKWAYS
- LANDSCAPE BUFFER
- LANDSCAPE AREA
- PRIVATE GARDEN AREAS

2 VICINITY MAP

SCALE: 1" = 160' 0"

PROJECT AND OWNER:
KENSINGTON TOWNHOMES
 VACANT LOT AT N.W. 27TH AVENUE AND N.W. 13TH STREET
 POMPANO BEACH, FL 33069
 HADARI HOMES, LLC
 300 S. PINE ISLAND ROAD, SUITE 309
 PLANTATION, FL 33324

ARCHITECT:
 Redesign
 14850 NW 44TH CT STE 202
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 T: 305-673-2121
 F: 305-673-6640
 W: www.reddesign.net

CONSULTING ENGINEERS:
 MEP:
 BACH DESIGN ENGINEERS
 381 SE 10TH STREET
 POMPANO BEACH, FL 33069
 1 854 461 4314

CIVIL ENGINEER:
 COHEN ENGINEERING AND PLANNING
 4535 HUNTING TRAIL
 LAKE WORTH, FL 33467
 1 854 524 9800

STRUCTURAL ENGINEER:
 HALJARI & ASSOCIATES
 45 VALENCIA AVENUE
 CORAL GABLES, FL 33134
 1 305 445 2399

LANDSCAPE ARCHITECT:
 H.L. MARTIN LANDSCAPE ARCH. PA
 5965 SW 36TH STREET
 MIAMI, FL 33155
 1 305 780 4372

REVIEWER:

PLANNING & ZONING

PERMIT APPLICATION DATE: 03/15/18
 PROJECT NO.: 1721
 DRAWN BY: BJ APPROVED BY: AG

2	City Revision 2	10/18/18

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SIGNATURE
 ARTURO G. GRIEGO
 LIC# AR54011

SHEET TITLE
PEDESTRIAN CIRCULATION & LANDSCAPE
 N.T.S.

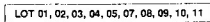
SHEET NO.

1 RPUD - CIRCULATION & LANDS.

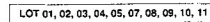
SCALE: 1/8" = 1'-0"

Exhibit H

Unit Floor Plans



1



© 2007
2007

SAE 304-01-102

BUILDING TYPE 1
LOTS 01-04 & 08-11

BUILDING TYPE 2
LOTS 05-07

PROJECT AND OWNER:
**KENSINGTON
TOWNHOMES**

VACANT LOT AT: N.W. 27TH AVENUE AND
N.W. 13TH STREET
POMPANO BEACH, FL 33069
HADARI HOMES, LLC
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PLANTATION | FL | 33324

-ARCHITECT-

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W | www.irecdesign.net

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BACII DESIGN ENGINEERS
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POMPANO BEACH | FL | 33060
t 954 461 4314

CIVIL ENGINEER

CDI ENGINEERING AND PLANNING
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LAKE WORTH, FL 33467
1 (854) 524-8800

STRUCTURAL ENGINEER

HALLER & ASSOCIATES
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CORAL GABLES, FL 33134
1 (305) 445-7389

LANDSCAPE ARCHITECT

LEE MARTIN LANDSCAPE ARCH PA
5865 SW 38TH STREET
MIAMI FL 33155
1305/80 4372

KEY POINTS

PLANNING & ZONING

PERMIT APPLICATION DATE: 02/15/18

PROJECT NO.: 1721

DRAWN BY: ILJ APPROVED BY: AG

[illegible]

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DUPLICATED WITH THEIR WRITTEN
CONSENT

SEAI



SIGNATURE
ARTURO G. GRIEGO
LIC# AR94011

SHEET TITLE
TYPICAL BUILDING
PLANS

FLANS
SCALE
N.T.S.

SHEET NO.

EXHIBIT-F

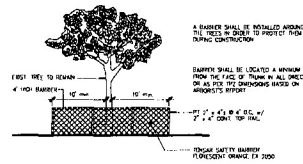
ENCLOSURE

Exhibit I

Landscape Plan

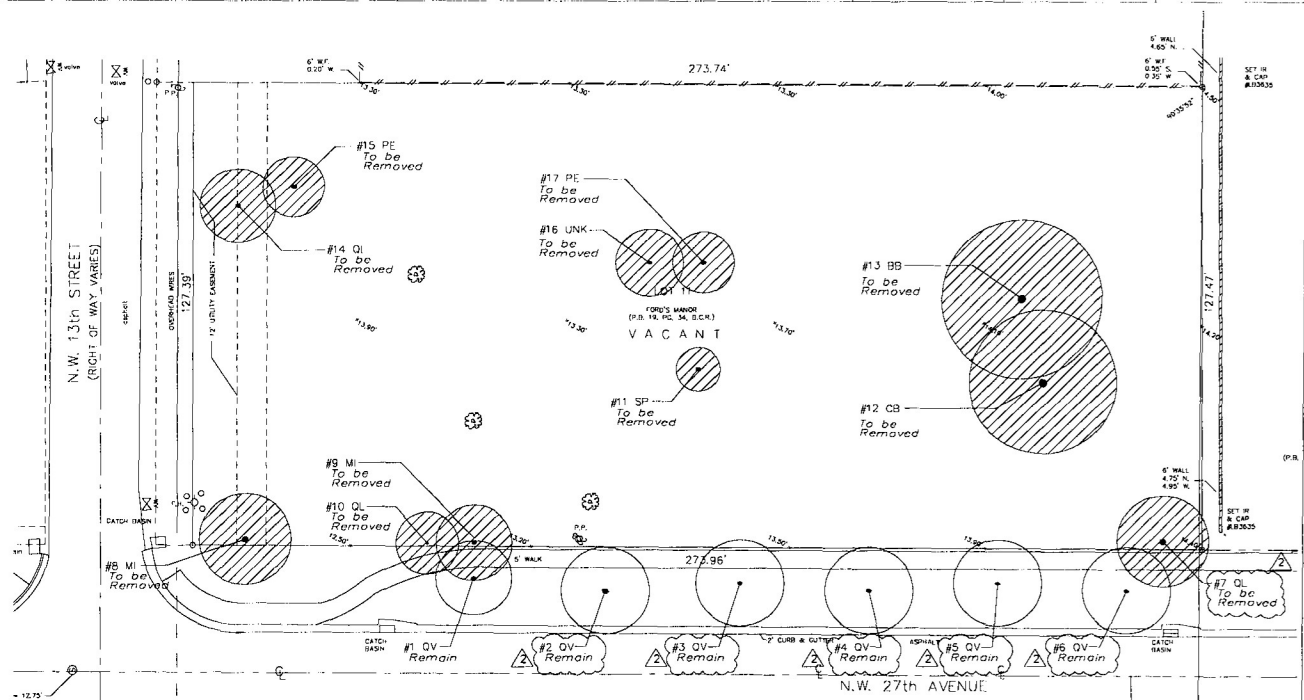
Exhibit J

Tree Survey



TREE PROTECTION BARRIER DETAIL N.T.S.

- Notes:
- 1) Tree Protection Barriers dimensions are measured from the outside of the trunk.
 - 2) Tree Protection Barriers are adjusted where necessary to account for buildings, adjacent sidewalks, & street/curb.
 - 3) No disturbance to soil or disposal of any building material/waste is permitted within the tree protection zone.
 - 4) Barriers to remain in place throughout the duration of construction activities.
 - 5) Barriers to be attached to existing CLF's, WD fences or concrete walls where applicable.



PROJECT AND OWNER
KENSINGTON TOWNHOMES
 VACANT LOT AT N.W. 27TH AVENUE AND N.W. 13TH STREET
 FOWLER/BEACH, FL 33069
 HADAR HOMES, LLC
 3005 S. PINE ISLAND ROAD, SUITE 309
 PLANTATION, FL 33324

ARCHITECT
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 MIAMI, FL 33206
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 (305) 673-4840
 www.treedesign.net

CONSULTING ENGINEERS
 MET

CIVIL ENGINEER
 CD ENGINEERING AND PLANNING
 4033 HUNTING TRAIL
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 (561) 524-8800

STRUCTURAL ENGINEER

LANDSCAPE ARCHITECT
 H.L. MARTIN LANDSCAPE ARCH. PA.
 5865 SW 38TH STREET
 MIAMI, FL 33155
 (305) 780-4372

KEY PLAN

DRC SET

PERMIT APPLICATION DATE: 07/15/18
 PROJECT NO.: 1721
 DRAWN BY: RJ APPROVED BY: AG

1	Planning review	07 02 18
2	Fire Dept	
3	Fire Lane in R/W	12 18 18
4	Deleted	
5		
6		
7		
8		
9		
10		

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SFAL

SIGNATURE

SHEET TITLE
TREE SURVEY / DISPOSITION PLAN
 SCALE
 N.T.S.

SHEET NO

LA1-1.02

Tree Survey List

Num	Botanical / Common Name	Disposition	Description	HT/SPR/DBH/Condition/Notes
#1 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#2 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#3 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#4 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#5 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#6 OV	Quercus virginiana / Live Oak	Remain	30' 20' 8"	Good in R/W
#7 OL	Quercus laurifolia / Laurel Oak	To be Removed	35' 25' 12"	Good
#8 MI	Mangifera indica / Mango	To be Removed	30' 30' 15"	Good
#9 MI	Mangifera indica / Mango	To be Removed	20' 20' 8"	Good
#10 OL	Quercus laurifolia / Laurel Oak	To be Removed	18' 10' 5"	Good
#11 SP	Sabal palmetto / Sabal Palm	To be Removed	20' 12' 13"	Good
#12 CB	Calophyllum brasiliense / Calophyllum	To be Removed	50' 30' 20"	Good
#13 BB	Bucaya buxifolia / Black Olive	To be Removed	50' 35' 20"	Good
#14 OL	Quercus laurifolia / Laurel Oak	To be Removed	35' 25' 15"	Good
#15 PE	Pinus elliotii / Slash Pine	To be Removed	40' 20' 15"	Good
#16 UNK	Unknown	To be Removed	40' 35' 20"	Good
#17 PE	Pinus elliotii / Slash Pine	To be Removed	40' 20' 15"	Good

Tree Survey Note.

- 1) Tree identification & descriptions are based on visual evidence, provided by Google Earth. Descriptions are approximate. A complete and accurate Tree Survey will be provided on the next submittal. Tree Replacement will be provided on the next submittal.



Exhibit K

Irrigation Plan

1

Exhibit L

Fire Staging Plan

