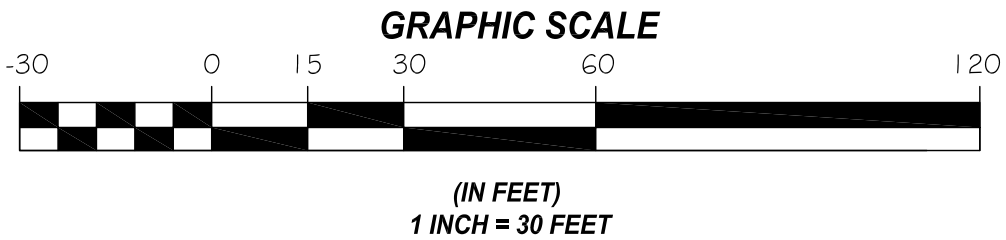


MAP OF BOUNDARY AND TOPOGRAPHIC SURVEY



LEGAL DESCRIPTION:
LOT 10, POWER PARK, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 112, PAGE 45, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

PROPERTY ADDRESS:
2240 N.W. 22ND STREET, POMPANO BEACH, FL 33069

CERTIFICATION:
DP DEVELOPMENT OF POMPANO, LLC.

LEGAL NOTES TO ACCOMPANY SKETCH OF SURVEY:
• THERE MAY BE EASEMENTS RECORDED IN THE PUBLIC RECORDS NOT SHOWN ON THIS SURVEY.
• EXAMINATIONS OF THE ABSTRACT OF TITLE WILL HAVE TO BE MADE TO DETERMINE RECORDED INSTRUMENTS, IF ANY, AFFECTING THE PROPERTY.
• THIS SURVEY IS SUBJECT TO DEDICATIONS, LIMITATIONS, RESTRICTIONS, RESERVATIONS OR EASEMENTS OF RECORD.
• LEGAL DESCRIPTIONS PROVIDED BY CLIENT OR ATTESTING TITLE COMPANY.
• BOUNDARY SURVEY MEANS A DRAWING AND/OR A GRAPHIC REPRESENTATION OF THE SURVEY WORK PERFORMED IN THE FIELD, COULD BE DRAWN AT A SHOWN SCALE AND/OR NOT TO SCALE; THE WALLS OR FENCES MAY BE EXAGGERATED FOR CLARITY PURPOSES.
• EASEMENTS AS SHOWN ARE PER PLAT BOOK, UNLESS DEPICTED OTHERWISE.
• THE TERM "ENCROACHMENT" MEANS VISIBLE AND ABOVE GROUND ENCROACHMENTS.
• ARCHITECTS SHALL VERIFY ZONING REGULATIONS, RESTRICTIONS, SETBACKS AND WILL BE RESPONSIBLE FOR SUBMITTING PLOT PLANS WITH CORRECT INFORMATION FOR "APPROVAL FOR AUTHORIZATION" TO THE PROPER AUTHORITIES IN NEW CONSTRUCTION.
• UNLESS OTHERWISE NOTED, THIS FIRM HAS NOT ATTEMPTED TO LOCATE FOOTING AND/OR FOUNDATIONS.
• FENCE OWNERSHIP NOT DETERMINED.
• THIS PLAN OF SURVEY, HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE ENTITIES NAMED HEREON. THE CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PARTY.

FLOOD ZONE INFORMATION:
THE NFIP FLOOD MAPS HAVE DESIGNATED THE HEREIN DESCRIBED LAND TO BE SITUATED IN:
FLOOD ZONE: "X" / AH"
BASE FLOOD ELEVATION: 13'F1
COMMUNITY: 120055
DATE OF FIRM: 08/18/1992
THE SUBJECT PROPERTY DOES LIE IN A SPECIAL FLOOD HAZARD AREA.

SURVEYOR'S NOTES:
1. IF SHOWN, BEARINGS ARE REFERRED TO AN ASSUMED MERIDIAN, BY SAID PLAT IN THE DESCRIPTION OF THE PROPERTY, IF NOT, BEARINGS ARE THEN REFERRED TO COUNTY, TOWNSHIP MAPS.
2. THE CLOSURE IN THE BOUNDARY SURVEY IS ABOVE 1:7500 FT.
3. CERTIFICATE OF AUTHORIZATION LB # 7806.
4. ALL ELEVATIONS SHOWN ARE REFERRED TO NORTH AMERICAN VERTICAL DATUM OF 1988 BROWARD COUNTY BENCH MARK #2875; ELEVATION IS 11.69 FEET OF N.G.V.D. OF 1929
5. THE SUBJECT PROPERTY LIES WITHIN TWO FLOOD ZONES, "X" AND "AH" ELEV. 13 FEET.

SURVEYOR'S CERTIFICATION:
I HEREBY CERTIFY, THIS "BOUNDARY AND TOPOGRAPHIC SURVEY" OF THE PROPERTY DESCRIBED HEREON, HAS RECENTLY BEEN SURVEYED AND DRAWN UNDER MY SUPERVISION, AND COMPLIES WITH THE STANDARDS OF PRACTICE AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE PURSUANT TO 472.027, FLORIDA STATUTES.

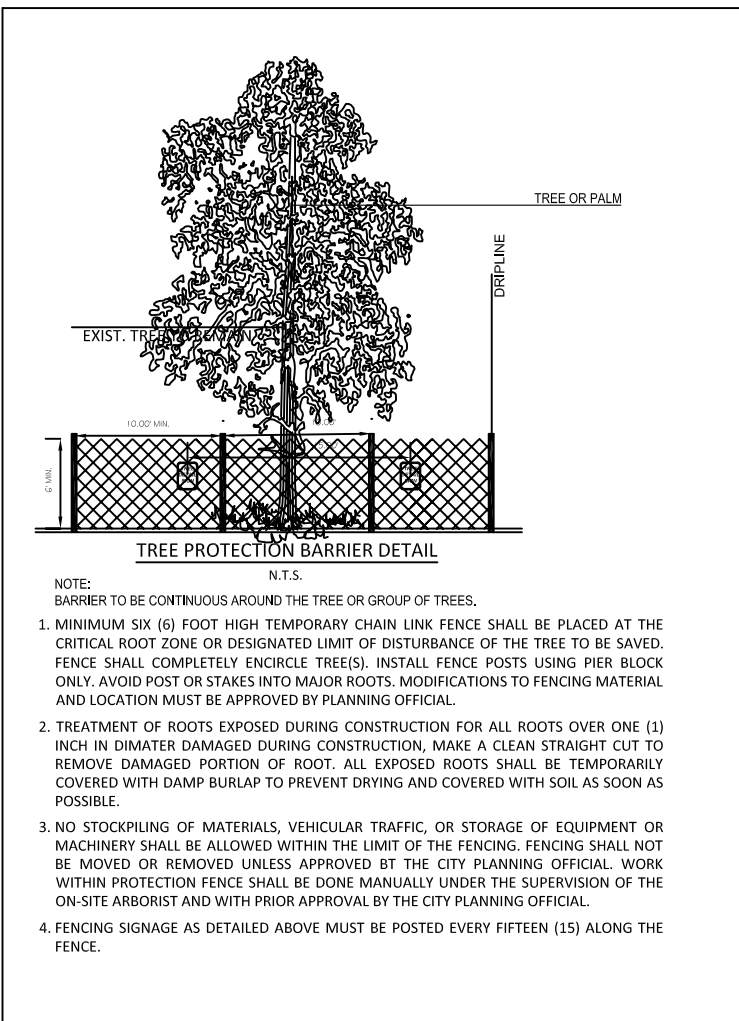
BY: **JOHN IBARRA** (DATE OF FIELD WORK)
PROFESSIONAL LAND SURVEYOR NO.: 5204 STATE OF FLORIDA
REVISED ON: _____
REVISED ON: _____

LEGEND

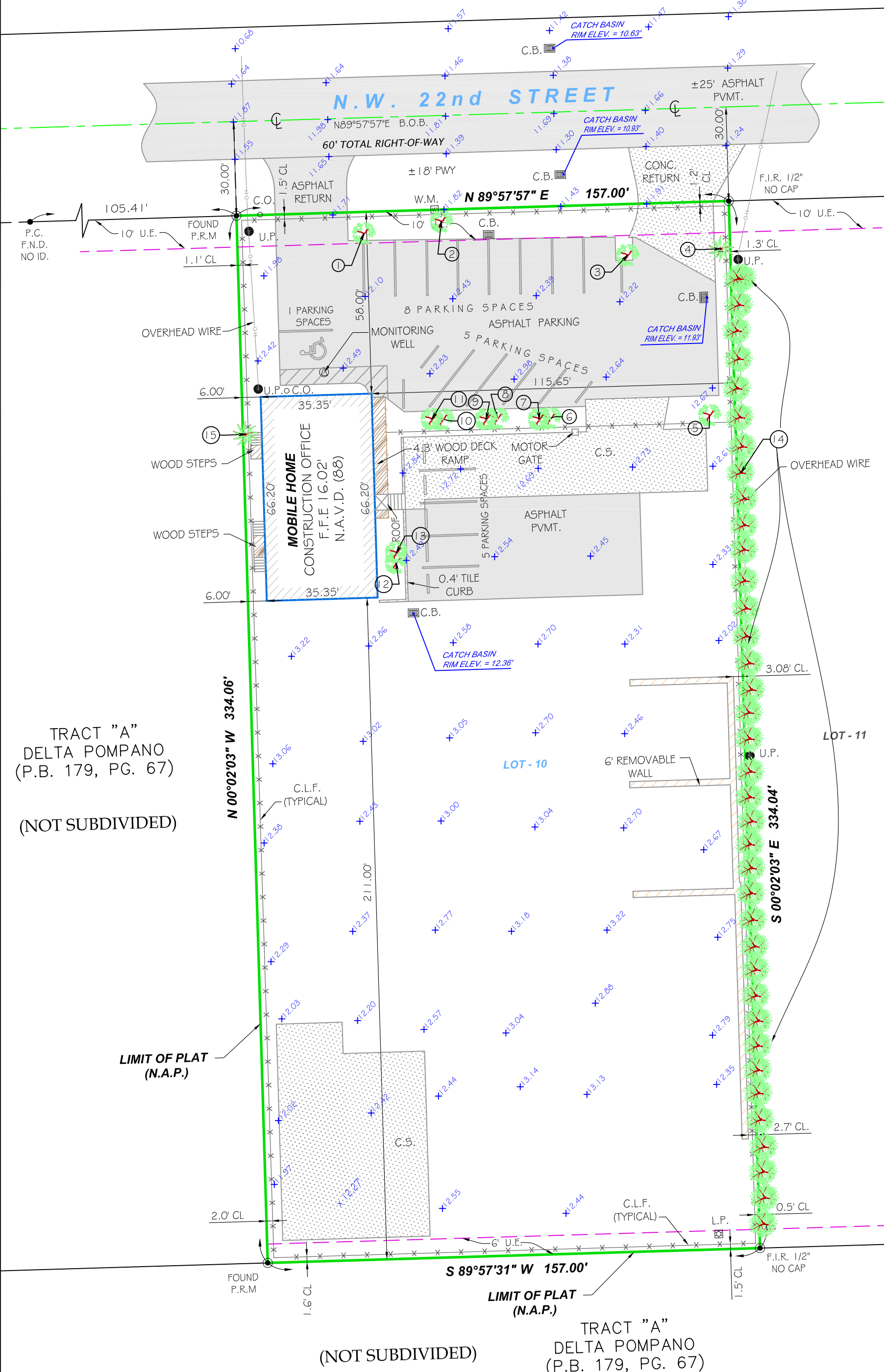
— O — = OVERHEAD UTILITY LINES
— X — = CONCRETE BLOCK WALL
— X — = CHAIN LINK FENCE
— 0 — = IRON FENCE
— 0 — = WOOD FENCE
— 0 — = BUILDING SETBACK
— 0 — = WOOD PORCH
— 0 — = WOOD ROOF
— 0 — = WATER VALVE
— 0 — = UTILITY EASEMENT
— 0 — = LIMITED ACCESS R/W
— 0 — = NON-VEHICULAR ACCESS R/W
— 0 — = EXISTING ELEVATIONS

TREE TABLE				
No.	Name	Diameter (Ft.)	Height (Ft.)	Spread (Ft.)
1	MAHOGANY	1.50	20	15
2	MAHOGANY	2.50	25	25
3	GUMBO LIMBO	1.00	20	10
4	PALM	1.50	20	10
5	MAHOGANY	2.50	35	30
6	ALEXANDER PALM	0.70	15	5
7	ALEXANDER PALM	0.70	15	5
8	ALEXANDER PALM	0.60	15	5
9	ALEXANDER PALM	0.65	15	5
10	ALEXANDER PALM	0.70	15	5
11	ALEXANDER PALM	0.70	15	5
12	ALEXANDER PALM	0.55	15	5
13	ALEXANDER PALM	0.60	15	5
14	FIGUS	0.30	15	5
15	PALM	1.50	20	5

SURVEYOR'S NOTE:
AN ARBORIST MUST CONFIRM ALL THE TREE NAMES, CONDITION AND SPECIES, WHAT IS SHOWN ON THE SURVEY MAY NOT BE THE CORRECT NAME OF THE TREES. LAND SURVEYORS ARE NOT ARBORIST.



NOTE:
BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES.
1. MINIMUM SIX (6) FOOT HIGH TEMPORARY CHAIN LINK FENCE SHALL BE PLACED AT THE CRITICAL ROOT ZONE OR DESIGNATED LIMIT OF DISTURBANCE OF THE TREE TO BE SAVED. FENCE SHALL COMPLETELY ENCRICLE TREE(S). INSTALL FENCE POSTS USING PIER BLOCK ONLY. AVOID POST OR STAKES INTO MAJOR ROOTS. MODIFICATIONS TO FENCING MATERIAL AND LOCATION MUST BE APPROVED BY PLANNING OFFICIAL.
2. TREATMENT OF ROOTS EXPOSED DURING CONSTRUCTION FOR ALL ROOTS OVER ONE (1) INCH IN DIAMETER DAMAGED DURING CONSTRUCTION, MAKE A CLEAN STRAIGHT CUT TO REMOVE DAMAGED PORTION OF ROOT. ALL EXPOSED ROOTS SHALL BE TEMPORARILY COVERED WITH DAMP BURLAP TO PREVENT DRYING AND COVERED WITH SOIL AS SOON AS POSSIBLE.
3. NO STOCKPILING OF MATERIALS, VEHICULAR TRAFFIC, OR STORAGE OF EQUIPMENT OR MACHINERY SHALL BE ALLOWED WITHIN THE LIMIT OF THE FENCING. FENCING SHALL NOT BE MOVED OR REMOVED UNLESS APPROVED BY THE CITY PLANNING OFFICIAL. WORK WITHIN PROTECTION FENCE SHALL BE DONE MANUALLY UNDER THE SUPERVISION OF THE ON-SITE ARBORIST AND WITH PRIOR APPROVAL BY THE CITY PLANNING OFFICIAL.
4. FENCING SIGNAGE AS DETAILED ABOVE MUST BE POSTED EVERY FIFTEEN (15) ALONG THE FENCE.



TRACT "A"
DELTA POMPANO
(P.B. 179, PG. 67)
(NOT SUBDIVIDED)

TRACT "A"
DELTA POMPANO
(P.B. 179, PG. 67)
(NOT SUBDIVIDED)

DRC
DRAWN BY: **MLK**
DATE: 01/12/2021
SURVEY NO.: **13-0012**
SHEET: **P220-12000041**
4/7/21