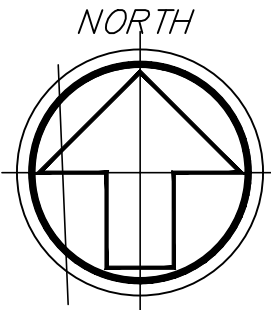


LOCATION MAP

LEGEND

- ALP = ALUMINUM LIGHT POLE
AP = BROWARD COUNTY PROPERTY APPRAISER I.D. NUMBER
B.C.R. = BROWARD COUNTY PUBLIC RECORDS
BFP = BACK FLOW PREVENTOR
BOL = BOLLARD
CBS = CONCRETE BLOCK STRUCTURE
CCR = CERTIFIED CORNER RECORD
CONC = CONCRETE
CO = CLEAN-OUT
CLF = CHAIN LINK FENCE
CLP = CONCRETE LIGHT POLE
CUP = CONCRETE LIGHT POLE
DDCV = DOUBLE DETECTOR CHECK VALVE
DMH = DRAINAGE MANHOLE
ELEC HH = ELECTRIC HAND HOLE
ELEC CAB = ELECTRIC CABINET
ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
FFE = FINISHED FLOOR ELEVATION
F.HYD = FIRE HYDRANT
FND = FOUND
FOC = FIBER OPTIC CABLE
FPL = FLORIDA POWER AND LIGHT
GV = GATE VALVE
ICV = IRRIGATION CONTROL VALVE
INV = INVERT
LB = LICENSE OF BUSINESS
MAP = MAST ARM SIGNAL POLE
MEAS = MEASURED
ND = NAIL AND DISK
OHV = OVERHEAD WIRES
PRM = PERMANENT REFERENCE MONUMENT
SMH = SANITARY MANHOLE
SPD = SPEED
T.B.M. = TEMPORARY BENCH MARK
UB = UTILITY BOX
UE = UTILITY EASEMENT
WUP = WOOD UTILITY POLE
XING = CROSSING
X-WALK = CROSS WALK



WEST LINE SECTION 3-49-42

S02°51'18"E

230.8'

NORTHEAST CORNER OF THE S.E. 1/4
SECTION 3 TOWNSHIP 49 SOUTH, RANGE 42
EAST FOUND 5/8" IRON ROD IN CONCRETE
CCR# 077646

DESCRIPTION:

INSTRUMENT # 114529427 BROWARD COUNTY PUBLIC RECORDS

LOTS 8, 9, 10, 11 AND 12, LESS THE WEST 30 FEET OF LOT 12, BLOCK 10, AMENDED PLAT OF FAIRVIEW, AS RECORDED IN PLAT BOOK 109, PAGE 25, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA, TOGETHER WITH THE SOUTH 250 FEET OF THE NORTH 1,235 FEET OF THE EAST 248 FEET OF THE WEST ONE-HALF OF THE SOUTHWEST ONE-QUARTER OF SECTION 2, TOWNSHIP 49 SOUTH, RANGE 42 EAST, SAID LANDS, SITUATE, LYING AND BEING IN THE CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA.

LESS THE FOLLOWING TWO PARCELS OF LAND

BEGIN AT THE NORTHEAST CORNER OF SAID SOUTH 250 FEET THEREOF; THENCE SOUTH 88° 26' 46" WEST FOR 222.60 FEET TO A POINT OF CURVATURE, SAID POINT ALSO BEING THE POINT OF BEGINNING; THENCE SOUTHWESTERLY ALONG SAID CURVE, CONCAVE TO THE SOUTHEAST HAVING TO CENTRAL ANGLES OF 90° 56' 57" AND TWO RADII OF 25 FEET FOR AN ARC DISTANCE OF 39.68 FEET TO A POINT ON THE EAST BOUNDARY OF S.W. 12TH AVENUE; THENCE 2° 30' 11" WEST ALONG SAID WEST BOUNDARY OF S.W. 12TH AVENUE FOR 25.40 FEET; THENCE NORTH 88° 28' 46" EAST FOR 25.40 FEET TO THE POINT OF BEGINNING; AND

THAT PART OF LOT 8, BLOCK 10 OF FAIRVIEW AMENDED ACCORDING TO THE PLAT AS RECORDED IN PLAT BOOK 10 AT PAGE 25 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA IN SECTION 2, TOWNSHIP 49 SOUTH, RANGE 42 EAST, SAID PART BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF SAID LOT 8; THENCE RUN NORTHWESTERLY ALONG THE EAST LINE OF SAID LOT 8, A DISTANCE OF 160.33 FEET TO THE NORTHEAST CORNER THEREOF; THENCE S 86° 16' 42" W A DISTANCE OF 10.69 FEET; THENCE S 0° 50' 09" E A DISTANCE OF 160.08 FEET; THENCE N 88° 16' 42" W A DISTANCE OF 14.27 FEET TO THE POINT OF BEGINNING.

FOLIO NOS.: 494202000510, 494202030850 AND 494202030840

SURVEY NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- THE BEARINGS SHOWN HEREON ARE RELATIVE TO THE FLORIDA EAST STATE PLANE COORDINATE SYSTEM AS DEFINED BY GPS OBSERVATION OF GPS POINTS ESTABLISHED BY THE BROWARD COUNTY DIVISION OF ENGINEERING'S EASTERN BROWARD COUNTY HORIZONTAL GPS COUNTY NETWORK (AS 8/3/00). THE BEARING BASE IS THAT LINE MEASURED BETWEEN THE CORNERS FOUND MARKING THE WEST LINE OF THE PROPERTY BEARING N2°23'10"W AT A DISTANCE OF 224.63 FEET.
- THE VERTICAL DATUM BASE FOR THIS MAP IS NAVD88, RELATIVE TO BROWARD COUNTY ENGINEERING DEPARTMENT BM # 722 HAVING A RECORDED ELEVATION OF 9.488(NGVD(1929)) CONVERTED TO NAVD1988 PER BROWARD COUNTY'S VERTCON SOFTWARE RESULTING IN ELEVATION 7.91' NAVD88.
- THE BOUNDARIES OF THE PROPERTY SHOWN HEREON ARE THOSE SAME BOUNDARIES ESTABLISHED AND FOUND MONUMENTED RELATIVE TO A SURVEY PROVIDED BY THE CLIENT, THAT SURVEY BEING AN ALTA/NSPS LAND TITLE SURVEY PRODUCED BY AMERICAN NATIONAL, A COMMERCIAL REAL ESTATE DUE DILIGENCE MANAGEMENT COMPANY, ADDRESSED AT 3465 SOUTH ARLINGTON RD. SUITE E#183, AKRON, OH 44312. THE DATE OF LAST REVISION TO THE SURVEY INDICATED AS APRIL 18, 2017.
- THE LOCATION OF THE CENTERLINE OF ANDREWS AVE. (SW 12 AVE.), AS SHOWN HEREON, IS BASED ON THE LOCATION OF PHYSICAL MONUMENTATION FOUND AND ACCEPTED AS MARKING THE CURRENT RIGHT OF WAY LINE OF ANDREWS AVE. AS INDICATED ON RECORDED PLATS OF PUBLIC RECORD LYING NORTH AND SOUTH OF THE SUBJECT PROPERTY, IN ADDITION TO RIGHT OF WAY INFORMATION PROVIDED BY THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION.

FLOOD MAP

FLOOD INSURANCE RATE MAP NUMBER 12011C0367H
EFFECTIVE DATE: AUGUST 18, 2014
COMMUNITY NUMBER 120056, PANEL 0357, SUFFIX "H"
ZONE "X", ZONE X SHADED AND ZONE AH WITH BFE OF ELEVATION 7, NORTH AMERICAN VERTICAL DATUM 1988
ZONES LINES SHOWN ON THIS SURVEY ARE BY GRAPHIC SCALE ONLY

REVISIONS		DESCRIPTION
DATE	BY	
1-6-2020		UPDATE BUILDING IMPROVEMENTS

ENGINEERING
SURVEYING
PLANNING

SHAH DROTOS & ASSOCIATES

ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, FL 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MDS
CHECKED BY: MDS
DESIGNED BY:
APPROVED BY: S.D.A.
SCALE: 1"=30'

U-HAUL 790-820 SW 12 AVENUE
PORTION OF PLAT BOOK 10 PAGE 25
PORTION OF SECTION 2, TOWNSHIP
49 S, RANGE 42 EAST

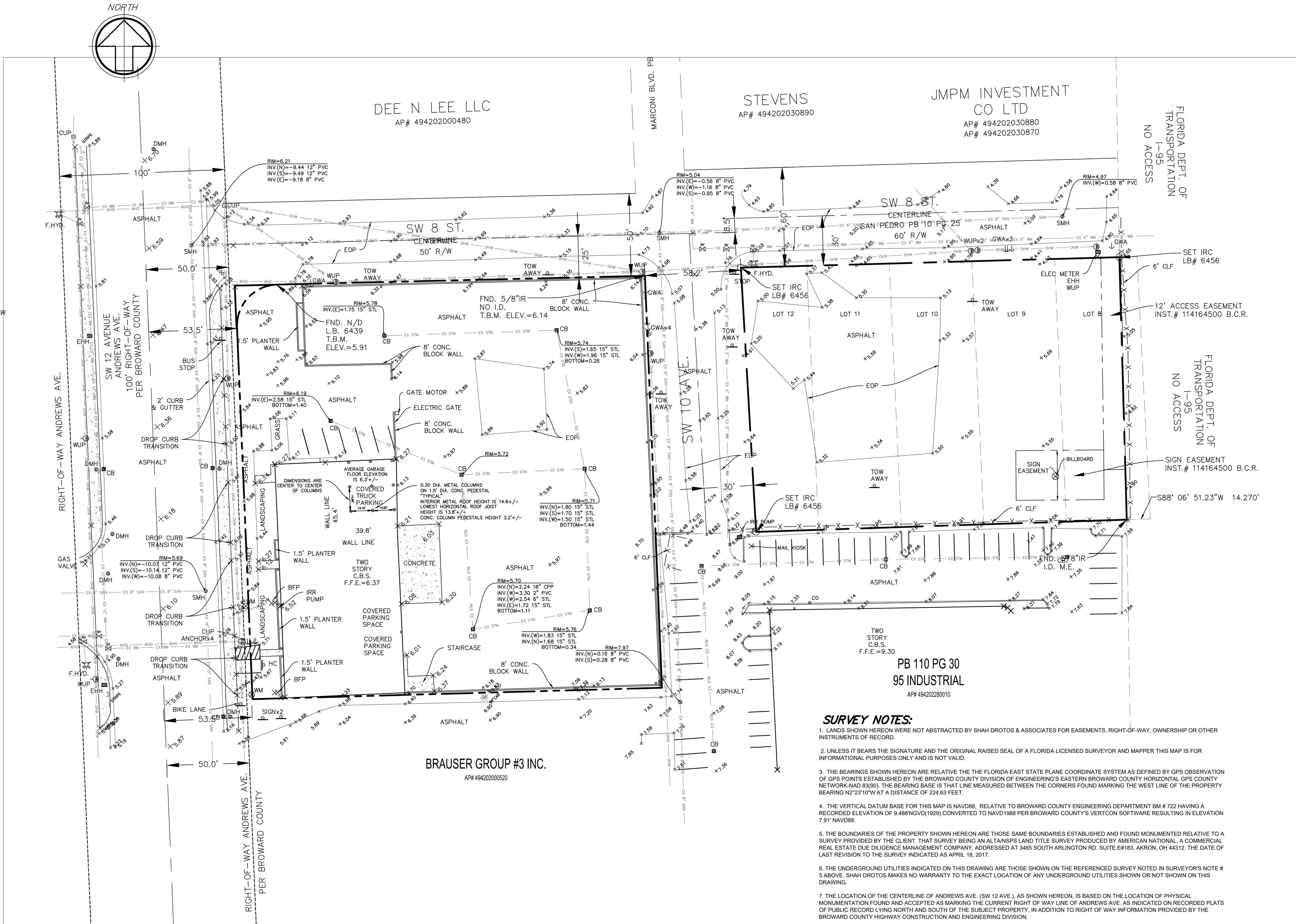
**BOUNDARY & TOPOGRAPHIC
SURVEY**

SEAL	
FOR THE FIRM, BY:	
MICHAEL D. SARVER FLORIDA PROFESSIONAL SURVEYOR AND MAPPER # 4174	
DATE:	AUGUST 2018
JOB NO.	1121A.00
SHEET	1 OF 2

LAST FIELD WORK DATE: 3-4-2021
MAP DATE: 1-6-2020 (BOUNDARY)

SCALE: 1"=30'
15 30 60
GRAPHIC SCALE IN FEET

LEGEND
ALP = ALUMINUM LIGHT POLE
AP = BROWARD COUNTY PROPERTY APPRAISER I.D. NUMBER
B.C.R. = BROWARD COUNTY PUBLIC RECORDS
BFP = BACK FLOW PREVENTOR
BOL = BOLLARD
CBS = CONCRETE BLOCK STRUCTURE
CCR = CERTIFIED CORNER RECORD
CONC = CONCRETE
CO = CLEAN-OUT
CLF = CHAIN LINK FENCE
CLP = CONCRETE LIGHT POLE
CUP = CONCRETE LIGHT POLE
DDCV = DOUBLE DETECTOR CHECK VALVE
DMH = DRAINAGE MANHOLE
ELEC HH = ELECTRIC HAND HOLE
ELEC CAB = ELECTRIC CABINET
ELEV = ELEVATION
EOP = EDGE OF PAVEMENT
FFE = FINISHED FLOOR ELEVATION
F.HYD = FIRE HYDRANT
FND = FOUND
FOC = FIBER OPTIC CABLE
FPL = FLORIDA POWER AND LIGHT
GV = GATE VALVE
ICV = IRRIGATION CONTROL VALVE
INV = INVERT
LB = LICENSE OF BUSINESS
MAP = MAST ARM SIGNAL POLE
MEAS = MEASURED
ND = NAIL AND DISK
OHV = OVERHEAD WIRES
PRM = PERMANENT REFERENCE MONUMENT
SMH = SANITARY MANHOLE
SPD = SPEED
T.B.M. = TEMPORARY BENCH MARK
UB = UTILITY BOX
UE = UTILITY EASEMENT
WUP = WOOD UTILITY POLE
XING = CROSSING
X-WALK = CROSS WALK



SURVEY NOTES:

- LANDS SHOWN HEREON WERE NOT ABSTRACTED BY SHAH DROTOS & ASSOCIATES FOR EASEMENTS, RIGHT-OF-WAY, OWNERSHIP OR OTHER INSTRUMENTS OF RECORD.
- UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.
- THE BEARINGS SHOWN HEREON ARE RELATIVE THE FLORIDA EAST STATE PLANE COORDINATE SYSTEM AS DEFINED BY GPS OBSERVATION OF GPS POINTS ESTABLISHED BY THE BROWARD COUNTY DIVISION OF ENGINEERING'S EASTERN BROWARD COUNTY HORIZONTAL GPS COUNTY NETWORK-NAD 83(90), THE BEARING BASE IS THAT LINE MEASURED BETWEEN THE CORNERS FOUND MARKING THE WEST LINE OF THE PROPERTY BEARING N2°23'10"W AT A DISTANCE OF 224.63 FEET.
- THE VERTICAL DATUM BASE FOR THIS MAP IS NAVD88, RELATIVE TO BROWARD COUNTY ENGINEERING DEPARTMENT BM # 722 HAVING A RECORDED ELEVATION OF 9.488NGVD(1929) CONVERTED TO NAVD1988 PER BROWARD COUNTY'S VERTCON SOFTWARE RESULTING IN ELEVATION 7.91' NAVD88.
- THE BOUNDARIES OF THE PROPERTY SHOWN HEREON ARE THOSE SAME BOUNDARIES ESTABLISHED AND FOUND MONUMENTED RELATIVE TO A SURVEY PROVIDED BY THE CLIENT. THAT SURVEY BEING AN ALTANSPS LAND TITLE SURVEY PRODUCED BY AMERICAN NATIONAL, A COMMERCIAL REAL ESTATE DUE DILIGENCE MANAGEMENT COMPANY, ADDRESSED AT 3465 SOUTH ARLINGTON RD, SUITE E#183, AKRON, OH 44312. THE DATE OF LAST REVISION TO THE SURVEY INDICATED AS APRIL 16, 2017.
- THE UNDERGROUND UTILITIES INDICATED ON THIS DRAWING ARE THOSE SHOWN ON THE REFERENCED SURVEY NOTED IN SURVEYOR'S NOTE # 5 ABOVE. SHAH DROTOS MAKES NO WARRANTY TO THE EXACT LOCATION OF ANY UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THIS DRAWING.
- THE LOCATION OF THE CENTERLINE OF ANDREWS AVE. (SW 12 AVE.), AS SHOWN HEREON, IS BASED ON THE LOCATION OF PHYSICAL MONUMENTATION FOUND AND ACCEPTED AS MARKING THE CURRENT RIGHT OF WAY LINE OF ANDREWS AVE. AS INDICATED ON RECORDED PLATS OF PUBLIC RECORD LYING NORTH AND SOUTH OF THE SUBJECT PROPERTY, IN ADDITION TO RIGHT OF WAY INFORMATION PROVIDED BY THE BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION.

FLOOD MAP

FLOOD INSURANCE RATE MAP NUMBER 12011C0367H
EFFECTIVE DATE: AUGUST 18, 2014
COMMUNITY NUMBER 120056, PANEL 0357, SUFFIX "H"
ZONE "X". ZONE X SHADED AND ZONE AH WITH BFE OF ELEVATION 7, NORTH AMERICAN VERTICAL DATUM 1988
ZONES LINES SHOWN ON THIS SURVEY ARE BY GRAPHIC SCALE ONLY

REVISIONS		DESCRIPTION
DATE	BY	
9-6-19	MDS	ADD GARAGE COLUMNS
1-6-20	MDS	UPDATE BUILDING IMPROVEMENTS

SHAH DROTOS & ASSOCIATES
ENGINEERING SURVEYING PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, FL 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MDS
CHECKED BY: MDS
DESIGNED BY:
APPROVED BY: S.D.A.
SCALE: 1"=30'

U-HAUL 790-820 SW 12 AVENUE
PORTION OF PLAT BOOK 10 PAGE 25
PORTION OF SECTION 2, TOWNSHIP
49 S, RANGE 42 EAST
BOUNDARY & TOPOGRAPHIC SURVEY

SEAL	
FOR THE FIRM, BY:	
MICHAEL D. SARVER FLORIDA PROFESSIONAL SURVEYOR AND MAPPER # 4174	
DATE:	AUGUST 2018
JOB NO.	1121A.00
SHEET	2 OF 2

LAST FIELD WORK DATE: 3-4-2021
MAP DATE: 1-6-2020 (BOUNDARY)