GUNSTER
FLORIDA'S LAW FIRM FOR BUSINESS

Our File Number: 46679.00003
Writer's Direct Dial Number: 954.468.1391
Writer's E-Mail Address: hdavis@gunster.com

March 23, 2021

VIA FEDERAL EXPRESS
AND ELECTRONIC MAIL

Scott Reale, AICP
Senior Planner
Liaison, Zoning Board of Appeals
City of Pompano Beach
100 W. Atlantic Boulevard
Pompano Beach, FL 33060

Re: U-Haul Co. of Florida – Special Exception Review Standards Narrative
Property located at 780 SW 12th Avenue, Pompano Beach, FL

Dear Scott:

The Applicant, U-Haul Co. of Florida (the "Applicant") is seeking a Special Exception pursuant to Section 155.2406 of the City of Pompano Beach (the "City") Zoning Code in order to redevelop and revitalize its property located at 780 SW 12th Avenue, Pompano Beach, Florida (the "Property"). The Property is made up of three parcels containing approximately 2.25 acres separated by a right-of-way, and currently contains a two story, 7,424 square foot office building. The Applicant is proposing to redevelop the Property with a self-storage facility (the "Project") that complies with the City's newly adopted self-storage regulations. The Project consists of the existing office building and a new 4-story structure of approximately 47,820 square feet, which includes architectural features that enhance the façade to make it look like an office building.

Pursuant to Zoning Code Section 155.2406, the following responses address the Special Exception Review Standards and provide competent substantial evidence to support the Applicant's request for the Special Exception:

Review Standards:

a. Is consistent with the comprehensive plan.

The Project is consistent with the Goals, Objectives and Policies of the City's Comprehensive Plan and Future Land Use Element. Specifically:

- ***Objective 01.01.00*** – **Future Land Use Plan and Levels of Service - Maintain the City's Future Land Use Map consistent with the Broward County Land Use Plan to ensure and all development permits issued are consistent with the City and County land use plans and the adopted level of service requirements for the availability of facilities and services can be met.**

The Property has a land use designation of Industrial and the proposed use of self-storage is consistent with the underlying Industrial land use designation.

- ***Objective 01.02.00*** – **Right-of-Way Protection and Accessibility - Protect the existing and future right-of-way from building encroachments and ensure proper accessibility with the roadway and transit network.** ***Policy 01.02.02*** **- Approve site plans, plats and other development approvals on the condition that the applicant will dedicate right-of-way according to the requirements of the Broward County Trafficways Plan and the City's street standards in Chapter 100 of the City's Code of Ordinances.** ***Policy 01.02.04*** **All property to be platted, or newly created lots are encouraged to be directly accessible from a publicly dedicated and improved road, which satisfies the right-of-way requirements of the Broward County Trafficways Plan and/or the street right-of-way standards in Chapter 100 of the City's Code of Ordinances.**

The Applicant is dedicating additional right-of-way to comply with Broward County Trafficways Plan and the City's street right-of-way standards. The dedication of right-of-way will allow the Site Plan to include larger sidewalks and paths to the structures on the Property that are ADA accessible and compliant with the surrounding roadways and transit network. See, Right-of-Way Vacation Plan, attached as **Ex. 1**.

- ***Policy 01.03.13*** **- Future industrial land uses shall be located with access to major transportation facilities including highways, airports, railroads, and seaports.**

The Property has a land use designation of Industrial and is located in close proximity to major transportation facilities including I-95, which is located to the east of the Property.

- ***Objective 01.23.00*** **– Economic Development - Expand the economic base by attracting Class A office space and higher education institutional uses, continuing to support the industrial and manufacturing sectors while protecting tourism as well as the quality of life and delivery of services to local residents.**

This proposed use will expand the economic base of the City by bringing a new, in demand business to the industrial area of the City. The use will create direct and indirect jobs and collect additional tax revenues for the City. In fact, the City receives a one-half

cent sales tax income on storage rentals and limiting self-storage development would negate further future income from this use. This Objective is to support industrial uses which do not impact local residents' quality of life or delivery of services. The proposed self-storage facility is a benign use with no adverse impacts to residents. There are no residential uses in this area.

b. Complies with all applicable zoning district standards.

The Property is located just west of I-95 and east of Andrews Avenue, surrounded completely by Industrial uses. The Property has a zoning designation of I-1 and self-storage uses are permitted uses in the I-1, subject to a special exception. The Property complies with all applicable zoning district standards. There are no residential uses in close proximity of this area of the City along the western I-95 corridor.

c. Complies with all applicable use-specific standards in Article 4: Use Standards.

The Project as proposed complies with all applicable use-specific standards set forth in Article 4, specifically Section 155.4223.A.3 for self-storage uses. The Property is greater than one (1) acre and there is a minimum separation of ten feet proposed between buildings on the Property. All property stored on site is entirely contained within the enclosed buildings. The proposed site plan has been designed to comply with the parking and circulation requirements set forth in Section 155.4223.A.3.d. (See, Site Plan attached as **Ex. 2**).

The Project has also incorporated the Building Appearance requirements per Section 155.4223.A.3.e into the Project as follows:

- The project will not have garage doors or overhead doors that serve individual storage units, or similar architectural treatment, visible from adjacent streets. The overhead doors within the building will be setback a minimum of 15 feet from any window facing a public right-of-way.

- There are no residential neighborhoods abutting the Property, but the building's colors are compatible with the character of the surrounding area.

- The proposed building will be greater than 24 feet and will include a clearly recognizable base, middle and top configured in accordance with the standards of Section 155.5602.C.4. The base will incorporate thicker walls and the top will use a 12" cornice that will protrude 2" out along with a different color. The west elevation will also include a stepped parapet.

- Each story above the ground level will provide at least 30 percent of the street-facing façade area as glass treatment.

- The Property contains an existing, separate office building, which will be an active commercial use fronting the street and serve as the commercial liner for this project.

d. Avoids overburdening the available capacity of existing public facilities and services, including, but not limited to streets and other transportation facilities, schools, potable water facilities, sewage disposal, stormwater management, and police and fire protection;

The Project will not overburden the capacity of existing public facilities and services. In fact, the Project will improve the capacity in the systems that exist today. See, letter from site engineering firm Shah Drotos providing the improvements that will be made to the Property as a result of the proposed use (See, list of Site Improvements, attached as **Ex. 3**). Self-storage uses do not adversely impact streets, potable water, sewage disposal, stormwater management, police or fire protections. Self-storage uses are very benign and do not use a lot of potable water or sewage disposal, as the use is purely storage. Stormwater management is completely contained on site. See, preliminary stormwater calculations attached as **Ex. 4**, and Paving, Grading and Drainage Plan, attached as **Ex. 5**. The Project includes no residential uses, so there is no impact on schools. To support police services, the design plans for the Project incorporate Crime Prevention Through Environmental Design (CPTED) standards. As required by the City, these standards are reviewed and approved by the Broward County Sheriff's office prior to Site Plan Approval. (See, CPTED plan attached as **Ex. 6)**. Since this is new construction, all fire codes will be followed and plans reviewed by the fire department for compliance.

e. Is appropriate for its location and is compatible with the general character of neighboring lands and the uses permitted in the zoning district(s) of neighboring lands. Evidence for this standard shall include, but not be limited to, population density, intensity, character of activity, traffic and parking conditions and the number of similar uses or special exception uses in the neighborhood;

The Property is located in an industrial area west of I-95 and east of Isle Casino Pompano Park. All properties along the western I-95 corridor are zoned I-1 Industrial and have a land use designation of Industrial. The proposed use for self-storage is appropriate at this location and compatible with the neighboring lands and uses in the I-1 zoning district. See, Area Map, attached as **Ex. 7**. The Project is designed to meet parking and loading requirements per City code requirements, as shown on the Site Plan attached as **Ex. 2**. Self-storage facilities produce low traffic trips, due to the use being for storage of goods and not for occupancy. As shown on Table 1.3a – Market Conditions by Core Based Statistical Area ("CBSA") from the 2020 Self-Storage Almanac, attached as **Ex. 8**, there is an under-supply of self-storage facilities in the Miami-Fort Lauderdale-West Palm Beach CBSA. Based on the total population of 6,114,563 and the fact that 41.80% of the population are renters, there is a demand for self-storage facilities to store personal belongings. The Supply/Demand of 0.70, concludes that the area is under-supplied. There are no similar uses within at least ¼ mile of this proposed Project, and only one other self-storage facility within ½ mile of the Property, which has a high occupancy rate, showing the need for an additional

self-storage facility in this area. The Project will be beautifully designed to appear similar to an office building, which will enhance the surrounding area and complement the uses.

f. Avoids significant adverse odor, noise, glare and vibration impacts on surrounding lands regarding refuse collection, service delivery, parking and loading, signs, lighting and other site elements.

The Self-storage facility will not adversely impact surrounding properties. There are no residential uses or residentially zoned property in this area. The Project will not produce any adverse odor, noise, glare or vibration impacts and all waste service functions, including refuse collection are located within the building (See, Site Plan, attached as **Ex. 2)**. As shown on the Site Plan, the Project's parking and loading meet City requirements. The site lighting will include all new LED pole mounted light fixtures as required by the City standards and will limit illumination spillover at Property lines, while providing for adequate lighting in vehicular use areas. See, Site Lighting Plan, attached as **Ex. 9**.

g. Adequately screens, buffers, or otherwise minimizes adverse visual impacts on neighboring lands.

The Property is currently void of all landscaping, screens or buffers. The Project will provide generous setbacks, landscape bufferyards and screens to enhance the Property's visual impact. Landscape buffers are proposed to be planted to meet or exceed City standards (See, Planting Plan attached as **Ex. 10)**. No neighboring land will be adversely affected by the new Project.

h. Avoids significant deterioration of water and air resources, scenic resources, and other natural resources.

The Project will not deteriorate water, air or other natural resources, but instead will contribute to improving the resources. The Property is currently located in an industrial area which is void of any landscaping. Planting trees, shrubs and greenery around the Property will beautify the area and provide natural filters to clean the air and water. See, Planting Plan attached as **Ex. 10.**

i. Maintains safe and convenience ingress and egress and traffic flow onto and through the site by vehicles and pedestrians, and safe road conditions around the site and neighborhood.

The Project's Site Plan has been carefully designed to maintain safe and convenient ingress and egress and traffic flow onto and through the site by vehicles and pedestrians. See, Site Plan attached as **Ex. 2.** Additionally, the Applicant is dedicating five (5) feet of Property to the City for additional right-of-way, which will create safer road conditions around the site and

neighborhood. The dedicated right-of-way will also be used to add ADA accessible sidewalks for safe pedestrian travels from the right-of-way to buildings on the Property. See, Right-of-Way Vacation Plan, attached as **Ex. 1**. Driveway locations comply with City and Broward County standards (See email from D. McGuire, Broward County, attached as **Ex. 11)**. All driveways, roadways and drive aisles are proposed to comply with City dimensional standards.

j. Allows for the protection of property values and the ability of neighboring lands to develop uses permitted in the zoning district.

The development of the Project will only increase property values in the neighborhood. The Property will be enhanced with a beautifully designed facility to look similar to an office building with bufferyards containing street trees and landscaping around the structures on the Property. The improvements which will be made to the infrastructure (See, **Ex. 3**), only increase the value of the Property and the neighboring lands. The use does not contain any hazardous waste or toxic materials, outside storage of materials or junk, or create any adverse impacts, which may decrease property values. Self-storage facilities are great neighbors, with low impacts that will only improve the surrounding lands and encourage additional permitted uses to be developed.

k. Fulfills a demonstrated need for the public convenience and service of the population of the neighborhood for the special exception use with consideration given to the present availability of such uses.

There is a demonstrated need and growing demand for self-storage to service the population in this area, as people are moving to South Florida and the Pompano Beach area in greater numbers. See, 2020 Self-Storage Almanac Table 1.3a attached as **Ex. 8**. The population in these areas are increasing and storage facilities offer a safe, secure and well managed space to store valuables and belongings due to a variety of reasons including, lifestyle changes, moves and downsizing. Where the proposed use is located, there is only one other self-storage facility within ½ mile of the Property, which has a high occupancy rate, showing the need for an additional self-storage facility in this area.

Moreover, due to the COVID pandemic, lifestyle changes and transitions have been seen in greater numbers this past year, as marriage, divorce, retirement and death have been more prevalent. Family members have moved in together in smaller spaces, creating lifestyle changes where there is an increased need to store belongings. In fact, Pompano Beach in the past few years has approved thousands of new residential developments for the demand based on increased population. Some of these new developments have smaller unit sizes, which produce a need for residents to store their belongings from their previous housing. Offices are also empty or at limited capacity, with employees working from home. Employers are downsizing to smaller footprints and storing files, furniture and other business items. Additionally, some municipalities in close proximity to Pompano Beach, like Lighthouse Point, which is made up of approximately 90% residential use, do not permit self-storage uses at all. These residents, therefore, will utilize self-

storage facilities in Pompano Beach. The need for storage facilities has increased over this past year and will continue in the future.

According to an article written by John Fioramonti, of Kidder Mathews Research, dated December 1, 2020, entitled "*Self-Storage: A Solid Pandemic Investment Opportunity?*":

> There are "4Ds of self-storage—divorce, dislocation, death, and downsizing—as the main demand drivers for the market. The COVID pandemic has amplified all these life events throughout the year. Shutdowns, stay-at-home orders, unemployment, college closures, and more than 200,000 [***now over 500,000***] deaths have caused severe dislocation and significant downsizing across the country. Temporary business closures also drive the use of self-storage as businesses grapple with current and future space management issues. These effects of the pandemic drive greater demand for storage space as people and businesses try to regroup and stabilize their situations. A recent IBISWorld Storage and Warehouse Leasing Industry report found that 1 in 11 Americans are now using self-storage units, paying an average of more than $90 per space per month for rent."

In fact, occupancy rates among the Applicant's current facilities within 5 miles of the Property are at 94.4%. See, U-Haul Storage Metrics chart, attached as **Ex. 12**. Additionally, since March 2019, the occupancy rates have increased 26.5%, and in just the past year (May 2020 – February 2021), presumably due to the pandemic, the occupancy rates jumped over 20%. See, Pompano Beach Occupancy Trend Chart, attached as **Ex.13**. These high occupancy rates evidence the need for additional self-storage facilities in this area.

l. Complies with all other relevant city, state and federal laws and regulations.

The Project complies with all other relevant city, state and federal laws and regulations, including stormwater, environmental and roadway regulations.

m. For purposes of determining impacts on neighboring properties and/or the neighborhood, the terms neighboring properties and neighborhood shall include the area affected by the requested special exception, which is typically an area of 500 ft. to a one-half mile radius from the subject site.

The Property is located in an industrial area west of I-95 and east of Isle Casino Pompano Park. All properties along this western I-95 corridor are zoned I-1 Industrial and have a land use designation of Industrial. There are no residentially zoned properties or residential uses in the neighborhood or anywhere near the Property. See, Area Map, attached as **Ex. 7**. The proposed use for self-storage is appropriate at this location and compatible with the neighboring lands and uses in the I-1 zoning district.

The responses above adequately address each of the Special Exception Review Standards and provide competent substantial evidence to support the Applicant's request for the Special Exception. According to the City's Planning Staff, this Application is the first application for a self-storage facility that has been submitted since prior to the City's Moratorium in September 2019. We respectfully request the Zoning Board of Appeals grant the Special Exception.

Sincerely,

/s/ Heidi Davis Knapik

Heidi Davis Knapik

Enclosures
cc: *via email w/enclosures*
Wesley Chadwick, Esq.
Mario Martinez
Davina Bean
Brian Seymour, Esq.
David Recor
Mark Berman, Esq.
James Saunders, Esq.

Exhibit 1

DEE N LEE LLC
AP# 494202000480

STEVENS
AP# 494202030850

JMPM INVESTMENT CO LTD
AP# 494202030880
AP# 494202030870

SCALE: 1" = 20'

SW 8 ST.
60' R/W

SW 10TH STREET

SW 10TH AVE. TO BE VACATED

SW 12 AVENUE ANDREWS AVE.

EXIST. FIRE HYDRANT

12"X8" WET TAP, 8" GV

EXIST. FPL TO BE RELOCATED ONTO NEW POLES

EXIST. UTILITY POLE TO BE REMOVED

EXIST. LOW VOLTAGE TO BE RE-ROUTED ONTO NEW FPL POLES

PROPOSED FPL POLE

PROPOSED RELOCATED LOW VOLTAGE

PROPOSED 5' RIGHT-OF-WAY DEDICATION TO THE CITY OF POMPANO BEACH

PROPOSED FPL AND LOW VOLTAGE OVERHEAD LINES (TYP.)

155 L.F. OF OVERHEAD WIRES TO BE RELOCATED

EXIST. FPL POLE TO BE REMOVED

CONNECT TO EXIST. 6" WM WITH 8"X6" TEE

PLUG SOUTH INVERT OF EXST. SANITARY MANHOLE

367 L.F. 8" PUBLIC PVC C-900 WATERMAIN

30.00'

5.00'

EXIST. FPL POLE TO BE REMOVED

8" GV

EXIST. FIRE HYDRANT TO REMAIN AND BE CONNECTED TO NEW 8" WATERMAIN

EXIST. SANITARY LATERAL. LOCATION TO BE VERIFIED BY CONTRACTOR

REMOVE 230 L.F. 6" PUBLIC WM AND REPLACE WITH 8" PVC C-900 PUBLIC WM

C.O.#1
RIM=5.00
INV.=EXIST. TO BE VERIFIED BY CONTRACTOR

8"X8" TEE AND 8" GV

13 L.F. 8" PVC C-900 PUBLIC FIREMAIN

2" TAPPING SADDLE W/ 2" RESILIENT SEALED GATE VALVE

13 L.F. 2" PE PUBLIC WATER SERVICE

PROPOSED FPL POLE

6" TO 8" ENLARGER

8"X6" TEE
6" GV

2" TAPPING SADDLE AND CORP. STOP

CONNECT TO EXIST. 6" GV. CONTRACTOR TO VERIFY LOCATION.

EXIST. FPL POLE TO BE REMOVED

EXIST. FPL POLE TO BE REMOVED

EXIST. FPL TO BE RELOCATED ONTO NEW POLES

PROPOSED 10' FPL EASEMENT

R30.00'

PROPOSED FPL POLE

PROPOSED FPL POLE

173 L.F. 2" PE PUBLIC WATER SERVICE

24' TWO-WAY ACCESS ROAD WITH DESIGN SPEED 15MPH

4.00'

3.00'

26.00'

24.00'

10.00'

2' CURB AND GUTTER TYPE "F"

172 L.F. 6" PVC PUBLIC WATER MAIN

60.00' R/W DEDICATION

GUARDRAIL

EXIST. BILLBOARD POST TO REMAIN

SIGN EASEMENT

40.30'

2" RPZ AND METER

R62.00'

R62.00'

PROPOSED FPL POLE

PROPOSED FPL POLE

PROPOSED FPL POLE

FIRE HYDRANT #1

6" GV AND 6" SWING CHECK VALVE

REMOVE 176 L.F. 2" WATER SERVICE

ABANDON AND GROUT 284 L.F. 8" GRAVITY SEWER

PROPOSED 10' FPL EASEMENT

PROPOSED FPL AND LOW VOLTAGE OVERHEAD LINES (TYP.)

PROPOSED FPL POLE

PROPOSED FPL POLE

PROPOSED FPL POLE

TIE INTO EXIST. WATER SERVICE

188 L.F. 2" PVC PRIVATE WATER SERVICE

C.O.#1

EX SAN

EXISTING SEWER LATERAL (FIELD VERIFY)

60 L.F. 6" PVC SDR-35 @ 1.00%

PLUG NORTH INVERT

EXIST. FIRE HYDRANT

RIM EL.=5.40
INV. (N)=-10.40 EX. (1)
INV. (E)=-0.90
INV. (S)=-10.42 EX.

284 L.F. 8" PVC SDR-35 @ 0.42%

12.00'

CUT PIPE AND INSTALL NEW DROP MANHOLE OVER EXISTING 12" GRAVITY SEWER. MAINTAIN EXIST. INVERT ELEVATIONS. STRUCTURE TO BE LINED WITH "SEWPERCOAT".

PROPOSED 12' CITY OF POMPANO BEACH UTILITY EASEMENT

CORE HOLE IN EXIST. STRUCTURE AND CONNECT 8" PVC @ INV.=0.30. BENCH TO BE RE-WORKED TO ACCOMMODATE CHANGE IN FLOW. STRUCTURE TO BE LINED WITH "SEWPERCOAT"

EXIST. 8" GRAVITY SEWER TO REMAIN

BRAUSER GROUP #3 INC.

PB 110 PG 30
05 INDUSTRIAL

UTILITY LEGEND

- SANITARY SEWER STRUCTURE NUMBER
- RIM.= SANITARY SEWER RIM ELEVATION
- INV.= SANITARY SEWER INVERT ELEVATION
- SANITARY SEWER MAINTENANCE ACCESS STRUCTURE/ FLOW DIRECTION
- SANITARY (SINGLE) SERVICE W/CLEANOUT
- FIRE HYDRANT ASSEMBLY
- WATER MAIN TEE, GATE VALVE AND REDUCER
- SINGLE WATER METER BOX
- WATER SAMPLE POINT
- TEES AND BENDS
- FIRE DEPT. CONNECTION
- N PROPOSED BACKFLOW PREV.
- PROPERTY LINE
- CHAINLINK FENCE
- UTILITY TO BE REMOVED
- PROPOSED EASEMENT
- PROPOSED OVERHEAD WIRES
- PROPOSED PUBLIC UTILITY
- PROPOSED PRIVATE UTILITY
- PROPOSED RIGHT-OF-WAY DEDICATION
- PROPOSED RIGHT-OF-WAY VACATION

PRELIMINARY ENGINEERING NOT FOR CONSTRUCTION

REVISIONS	DESCRIPTION	BY	DATE

SDA SHAH DROTOS & ASSOCIATES
ENGINEERING SURVEYING PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, Fl. 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG
CHECKED BY: BRS
DESIGNED BY: BRS
APPROVED BY: S.D.A.
SCALE:1"=20'

U-HAUL SELF-STORAGE

POMPANO BEACH, BROWARD COUNTY, FLORIDA

RIGHT-OF-WAY VACATION PLAN

SEAL

FOR THE FIRM, BY:

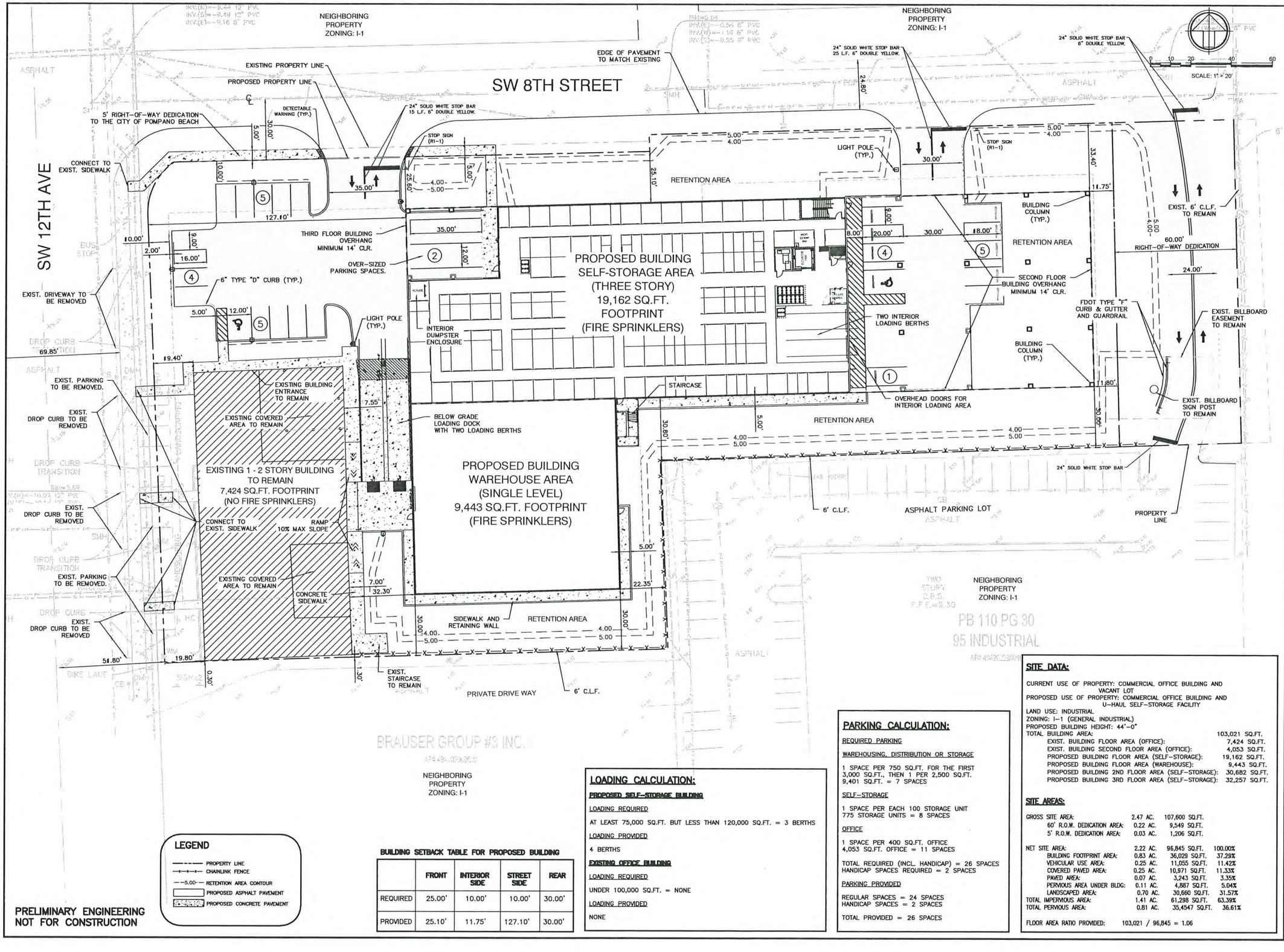
MATTHEW GIANI, P.E.
FLA. P.E. No. 84229

DATE: JANUARY 2021

JOB NO. 1121A.00

SHEET CE2A

Exhibit 2



LEGEND

- PROPERTY LINE
- CHAINLINK FENCE
- 5.00 RETENTION AREA CONTOUR
- PROPOSED ASPHALT PAVEMENT
- PROPOSED CONCRETE PAVEMENT

PRELIMINARY ENGINEERING NOT FOR CONSTRUCTION

BUILDING SETBACK TABLE FOR PROPOSED BUILDING

	FRONT	INTERIOR SIDE	STREET SIDE	REAR
REQUIRED	25.00'	10.00'	10.00'	30.00'
PROVIDED	25.10'	11.75'	127.10'	30.00'

LOADING CALCULATION:

PROPOSED SELF-STORAGE BUILDING

LOADING REQUIRED

AT LEAST 75,000 SQ.FT. BUT LESS THAN 120,000 SQ.FT. = 3 BERTHS

LOADING PROVIDED

4 BERTHS

EXISTING OFFICE BUILDING

LOADING REQUIRED

UNDER 100,000 SQ.FT. = NONE

LOADING PROVIDED

NONE

PARKING CALCULATION:

REQUIRED PARKING

WAREHOUSING, DISTRIBUTION OR STORAGE

1 SPACE PER 750 SQ.FT. FOR THE FIRST 3,000 SQ.FT., THEN 1 PER 2,500 SQ.FT.
9,401 SQ.FT. = 7 SPACES

SELF-STORAGE

1 SPACE PER EACH 100 STORAGE UNIT
775 STORAGE UNITS = 8 SPACES

OFFICE

1 SPACE PER 400 SQ.FT. OFFICE
4,053 SQ.FT. OFFICE = 11 SPACES

TOTAL REQUIRED (INCL. HANDICAP) = 26 SPACES
HANDICAP SPACES REQUIRED = 2 SPACES

PARKING PROVIDED

REGULAR SPACES = 24 SPACES
HANDICAP SPACES = 2 SPACES

TOTAL PROVIDED = 26 SPACES

SITE DATA:

CURRENT USE OF PROPERTY: COMMERCIAL OFFICE BUILDING AND VACANT LOT
PROPOSED USE OF PROPERTY: COMMERCIAL OFFICE BUILDING AND U-HAUL SELF-STORAGE FACILITY

LAND USE: INDUSTRIAL
ZONING: I-1 (GENERAL INDUSTRIAL)
PROPOSED BUILDING HEIGHT: 44'-0"

TOTAL BUILDING AREA:	103,021 SQ.FT.
EXIST. BUILDING FLOOR AREA (OFFICE):	7,424 SQ.FT.
EXIST. BUILDING SECOND FLOOR AREA (OFFICE):	4,053 SQ.FT.
PROPOSED BUILDING FLOOR AREA (SELF-STORAGE):	19,162 SQ.FT.
PROPOSED BUILDING FLOOR AREA (WAREHOUSE):	9,443 SQ.FT.
PROPOSED BUILDING 2ND FLOOR AREA (SELF-STORAGE):	30,682 SQ.FT.
PROPOSED BUILDING 3RD FLOOR AREA (SELF-STORAGE):	32,257 SQ.FT.

SITE AREAS:

GROSS SITE AREA:	2.47 AC.	107,600 SQ.FT.	
60' R.O.W. DEDICATION AREA:	0.22 AC.	9,549 SQ.FT.	
5' R.O.W. DEDICATION AREA:	0.03 AC.	1,206 SQ.FT.	
NET SITE AREA:	2.22 AC.	96,845 SQ.FT.	100.00%
BUILDING FOOTPRINT AREA:	0.83 AC.	36,029 SQ.FT.	37.29%
VEHICULAR USE AREA:	0.25 AC.	11,055 SQ.FT.	11.42%
COVERED PAVED AREA:	0.25 AC.	10,971 SQ.FT.	11.33%
PAVED AREA:	0.07 AC.	3,243 SQ.FT.	3.35%
PERVIOUS AREA UNDER BLDG:	0.11 AC.	4,887 SQ.FT.	5.04%
LANDSCAPED AREA:	0.70 AC.	30,660 SQ.FT.	31.57%
TOTAL IMPERVIOUS AREA:	1.41 AC.	61,298 SQ.FT.	63.39%
TOTAL PERVIOUS AREA:	0.81 AC.	35,4547 SQ.FT.	36.61%

FLOOR AREA RATIO PROVIDED: 103,021 / 96,845 = 1.06

REVISIONS

DATE	BY	DESCRIPTION

SDA SHAH DROTOS & ASSOCIATES
ENGINEERING | SURVEYING | PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, Fl. 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG
CHECKED BY: BRS
DESIGNED BY: BRS
APPROVED BY: S.D.A.
SCALE: 1"=20'

U-HAUL SELF-STORAGE
POMPANO BEACH, BROWARD COUNTY, FLORIDA

SITE PLAN

SEAL
FOR THE FIRM, BY:

MATTHEW GIANI, P.E.
FLA. P.E. No. 84229

DATE: JANUARY 2021
JOB NO. 1121A.00
SHEET CE2

X:\Cad\Eng\1121 U-Haul SW 12th Ave\Conceptual Site Plan\1121 SITE PLAN.dwg, 3/4/2021 10:24:49 AM, DWG To PDF.pc3

Exhibit 3

SHAH DROTOS & ASSOCIATES

Engineering
Surveying
Planning

3410 N. Andrews Ave. Ext
Pompano Beach, FL 33064
PH: (954) 943-9433
FAX: (954) 783-4754

March 17, 2021

Heidi Davis
Gunster
Las Olas Centre, 450 East Las Olas Boulevard, Suite 1400
Fort Lauderdale, FL 33301

Re: ***U-Haul Self-Storage - Proposed Site Improvements***
790 SW 12th Ave, Pompano Beach, FL

Dear Ms. Davis,

Please accept this letter as a summary of site improvements proposed as part of the U-Haul Self-Storage project located at 790 SW 12th Ave, Pompano Beach, Florida.

- Improvements to transportation facilities (as shown on the Site Plan) as part of this project include the following:

  i. Proposed 5' right-of-way dedication along SW 8th Street to comply with City of Pompano Beach standards for roadway width.

  ii. Proposed vacation of existing portion of SW 10th Ave and dedicate new 60' right-of-way with 24' two-lane roadway per City of Pompano Beach standards.

  iii. Proposed removal of existing back-out parking onto Andrews Ave, as requested by Broward County to comply with current Broward County standards.

  iv. Proposed removal of existing driveway along Andrews Ave as requested by Broward County to comply with current Broward County standards.

- Improvements to public water and sewer and fire protection facilities (as shown on the Right-of-Way Vacation Plan) as part of this project include:

  i. Upgrading existing watermain along SW 8th Street from 6" to 8" to provide adequate water capacity for commercial building fire suppression systems, as required by the City of Pompano Beach.

ii. Connecting existing watermain along SW 8th Street to existing 12" watermain along west side of Andrews Ave. to create a looped system to improve water capacity and reliability.

iii. Addition of a fire hydrant near the southeast corner of U-Haul's property to provide fire water access to neighboring property to the south.

iv. Replacing existing 8" gravity sewer running along SW 10th Ave with new 8" gravity sewer connecting directly to Andrews Ave gravity sewer main.

- Improvements to stormwater management as part of this project include:

i. Current site does not have a Surface Water Management License with Broward County or Environmental Resource Permit with Florida Department of Environmental Protection, as it was originally developed before these were required. Proposed development would bring site into compliance by obtaining this license and permit.

ii. Proposed development would consist of a surface water management system designed to comply with state water quality standards. (calculations and PGD plan attached)

iii. Surface water management system proposes to keep all stormwater runoff on-site with no off-site discharge.

iv. Surface water management system proposes to lower the stormwater system stage elevations for the 100-yr 3-day storm event, the 25-year, 3-day storm event, the 10-yr, 1-day storm event and the 5-yr, 1-day storm event.

If you have any questions or need any additional information, please do not hesitate to contact me.

Yours truly,

SHAH DROTOS AND ASSOCIATES, P.A.

Matthew J. Giani, P.E.
Project Manager
mattgiani@shahdrotos.com

Exhibit 4

SHAH DROTOS & Associated

PRELIMINARY SURFACE WATER MANAGEMENT CALCULATIONS
for
U-Haul Self-Storage and SW 10th Ave - Existing Site
Pompano Beach, FL

NAVD Datum
3/16/2021
NGVD to NAVD = -1.58

1) PROPOSED LAND USE

	PHASE AREA (ACRES)	BUILDINGS (ACRES)	IMPERVIOUS VEHICULAR USE AREA OF DEVELOPED PARCEL (ACRES)	IMPERVIOUS VEHICULAR USE AREA OF UNDEVELOPED PARCEL AND (ACRES)	OTHER PAVED AREA (ACRES)	IMPERVIOUS AREA (ACRES)	% IMPERV.
Drainage Basin	2.45	0.17	1.04	0.29	0.10	1.60	65.4%
TOTAL	**2.45**	**0.17**	**1.04**	**0.29**	**0.10**	**1.60**	**65.4%**

Gross Site Area..... 2.45 acres

Net Site Area..... 2.45 acres

Building Area..... 0.17 acres
Vehicular Use Area (Developed Parcel).... 1.04 acres
Vehicular Use Area (Undeveloped Parcel). 0.29 acres
Other Paved Area..... 0.10 acres
Green Area..... 0.85 acres

2) FLOOD AND RAINFALL CRITERIA

RAINFALL

5 year, 1 hour storm..... 3.20 inches
5 year, 1 day storm..... 8.00 inches
10 year, 1 day storm..... 9.00 inches
25 year, 3 day storm..... 16.00 inches
100 year, 3 day storm..... 20.00 inches

FLOOD CRITERIA
Building Floors

FEMA flood criteria..... Zone AH 7
FEMA minimum required floor elev. (BFE + 1) 8 navd
Existing building floor elevation 6.37 navd
Proposed building min. finished floor elevation 8.05 navd

3) Compute Soil Storage

Wet season water elev..... 3.00 navd
Ave. groundwater elev..... 3.00 navd

Pervious Component	Area (Ac.)	Ave. Elevation	Area x Elevation
Green	0.85	6.00	5.09
Total	**0.85**		**5.09**

Ave. site elevation..... 6.00 navd
Depth to water table..... 3.00 ft.
Assuming 25% compaction, available ground storage for depressional soils is..... 3.30 inches
Storage available in pervious areas of the site is ..... 0.23 acre ft.
Converting to site wide moisture storage, S ..... 1.14 inches
SCS Curve Number..... 89.8

4) WATER QUALITY REQUIREMENTS

i) Based on the first 1" of runoff

Site area	2.45	acres
Required detention	0.20	acre ft.

ii) Based on 2.5 inches times percent impervious

Site area	2.28	acres (Excluding building areas & lake)
Impervious area	1.43	acres (Excluding building areas & lake)
Percent impervious	62.84	%
Required detention	0.32	acre ft.

Therefore the required detention is	**0.32**	**acre ft.**	3.85 ac. Inches
Corresponding stage is between	5.70	and	6.00 navd
Interpolating gives a weir crest of	6.01	navd	

iii) Water Quality Provided in Dry Retention

Remaining in dry retention			0.32 acre ft.
Applying 50% credit, retention required			0.16 acre ft.
Therefore the required treatment in dry retention is			0.16 ac.ft
Corresponding stage is between	NA	and NA	
Interpolating gives an overflow elevation of	**NA**	**navd**	

No Water Quality Provided

5) COMPUTE STAGE STORAGE

Assumptions:

Vehicular Use Developed areas store linearly from.....	5.70	to elevation.....	6.50 then vertically
Vehicular Use Undeveloped areas and Road store linearly from...	5.00	to elevation.....	6.50 then vertically
Other paved areas store linearly from.....	6.00	to elevation.....	6.35 then vertically
Site Green areas store linearly from.....	4.50	to elevation.....	7.50 then vertically

Storage (acre ft.)

Stage	Vehicular Use Developed	Vehicular Use Undeveloped and Road	Other Paved	Site Green	Total	Stage	
0.00	0.00	0.00	0.00	0.00	0.00	0.00	3.00
3.00	0.00	0.00	0.00	0.00	0.00	3.00	3.50
3.50	0.00	0.00	0.00	0.00	0.00	3.50	4.00
4.00	0.00	0.00	0.00	0.00	0.00	4.00	4.50
4.50	0.00	0.00	0.00	0.00	0.00	4.50	5.00
5.00	0.00	0.00	0.00	0.04	0.04	5.00	5.50
5.50	0.00	0.02	0.00	0.14	0.17	5.50	5.70
5.70	0.00	0.05	0.00	0.20	0.25	5.70	6.00
6.00	0.06	0.10	0.00	0.32	0.47	6.00	6.35
6.35	0.27	0.18	0.02	0.48	0.95	6.35	6.50
6.50	0.42	0.22	0.03	0.57	1.23	6.50	7.00
7.00	0.93	0.37	0.08	0.88	2.27	7.00	7.50
7.50	1.45	0.51	0.13	1.27	3.37	7.50	8.00
8.00	1.97	0.66	0.19	1.70	4.51	8.00	8.50
8.50	2.49	0.81	0.24	2.12	5.65	8.50	9.00
9.00	3.01	0.95	0.29	2.54	6.79	9.00	9.50
9.50	3.53	1.10	0.34	2.97	7.93	9.50	10.00
10.00	4.05	1.25	0.39	3.39	9.07	10.00	10.50
10.50	4.57	1.39	0.44	3.81	10.22	10.50	11.00
11.00	5.09	1.54	0.49	4.24	11.36	11.00	0.00

6) FLOOD STAGE CRITERIA

100 Year 3 day Flood *(zero discharge)*

100 year, 3 day storm	20.00	in.
Runoff	18.69	in.
Volume of runoff	3.82	acre ft.

Corresponding stage is between..... 7.50 and..... 8.00 navd

Interpolating gives an elevation of..... **7.70 navd**

Existing Building Finished Floor = *6.37*

25 Year 3 day Flood *(zero discharge)*

25 year, 3 day storm	16.00	in.
Runoff	14.71	in.
Volume of runoff	3.00	acre ft.

Corresponding stage is between..... 7.00 and..... 7.50 navd

Interpolating gives an elevation of..... **7.33 navd**

10 Year 1 day Flood *(zero discharge)*

10 year, 1 day storm	9.00	in.
Runoff	7.76	in.
Volume of runoff	1.59	acre ft.

Corresponding stage is between..... 6.50 and..... 7.00 navd

Interpolating gives an elevation of..... **6.67 navd**

5 Year 1 day Flood *(zero discharge)*

5 year, 1 day storm	8.00	in.
Runoff	6.78	in.
Volume of runoff	1.38	acre ft.

Corresponding stage is between..... 6.50 and..... 7.00 navd

Interpolating gives an elevation of..... **6.57 navd**

SHAH DROTOS & Associates

PRELIMINARY SURFACE WATER MANAGEMENT CALCULATIONS
for
U-Haul Self-Storage and SW 10th Ave - Proposed Development
Pompano Beach, FL

NAVD Datum
3/16/2021
NGVD to NAVD = -1.58

1) PROPOSED LAND USE

	PHASE AREA (ACRES)	BUILDINGS (ACRES)	PAVED AREA (ACRES)	HIGH PAVED AREA (ACRES)	IMPERVIOUS AREA (ACRES)	% IMPERV.
Drainage Basin	2.42	0.83	0.40	0.30	1.53	63.3%
TOTAL	**2.42**	**0.83**	**0.40**	**0.30**	**1.53**	**63.3%**

Gross Site Area..... 2.46 acres

SW 8th Street Dedication ..... 0.04 acres

Net Site Area..... 2.42 acres

Building Area..... 0.83 acres
Vehicular Use Area..... 0.40 acres
Other Paved Area..... 0.30 acres

Green Area..... 0.33 acres

Total Vehicular Use Area..... 0.40 acres

Underground Storage Area (Rainstore)	Area 1	Area 2	Area 3
Storage Volume (Voids)	94.00%	94.00%	94.00%
Storage Top Elevation	5.00	6.50	4.70
Storage Bottom Elevation	3.00	3.00	3.00
Storage Area	0.04	0.06	0.08

Dry Retention

Dry ret. area (bottom) ..... 0.47 acres
Dry ret. Top of bank elev..... 5.00 navd
Dry ret. Top of bank area..... 0.56 acres
Dry ret. Bottom Elev..... 4.00 navd

No. of trees in retention area..... 50
Trunk diameter at maturity 2 ft
Loss in storage due to trees 157.05 sf
0.0036 ac.ft.

2) FLOOD AND RAINFALL CRITERIA

RAINFALL

5 year, 1 hour storm..... 3.20 inches
5 year, 1 day storm..... 8.00 inches
10 year, 1 day storm..... 9.00 inches
25 year, 3 day storm..... 16.00 inches
100 year, 3 day storm..... 20.00 inches

FLOOD CRITERIA

Building Floors

FEMA flood criteria..... Zone AH 7
FEMA minimum required floor elev. (BFE + 1) 8 navd
Existing building floor elevation* 6.37 navd
Proposed building min. finished floor elevation 8.05 navd

*Existing building to be floodproofed to elevation 8 NAVD

3) Compute Soil Storage

Wet season water elev..... 3.00 navd
Ave. groundwater elev..... 3.00 navd

Pervious Component	Area (Ac.)	Ave. Elevation	Area x Elevation
Green	0.33	6.13	2.04
~~Pervious Paver~~	~~0.00~~	~~9.53~~	~~0.00~~
Retention Bottom	0.47	4.00	1.90
Retention sides	0.08	4.50	0.36
Total	**0.89**		**4.31**

Ave. site elevation..... 4.84 navd
Depth to water table..... 1.84 ft.
Assuming 25% compaction, available ground storage for depressional soils is..... 1.40 inches
Storage available in pervious areas of the site is ..... 0.10 acre ft.
Converting to site wide moisture storage, S ..... 0.51 inches
SCS Curve Number..... 95.2

4) WATER QUALITY REQUIREMENTS

i) Based on the first 1" of runoff

Site area	2.42	acres
Required detention	0.20	acre ft.

ii) Based on 2.5 inches times percent impervious

Site area	1.60	acres (Excluding building areas & lake)
Impervious area	0.71	acres (Excluding building areas & lake)
Percent impervious	44.31	%
Required detention	0.18	acre ft.

Therefore the required detention is	**0.20**	**acre ft.**	2.42	ac. Inches
Corresponding stage is between	4.25	and.....	4.70	navd
Interpolating gives a weir crest of	4.41	navd		

iii) Water quality Provided in Exfiltration Trench

Required retention in exfiltration trench..... 0.202 acre ft. 2.42 ac. Inches

Perc Test Results:

2.50E-04

Average Hydraulic conductivity, K..... 2.50E-04

Trench Design	Proposed
Length of trench provided (lf)	60
Percentage of total trench on site	100%
Minimum Discharge Elevation	4.25
Minimum top of trench elevation (navd)	4.25
Minimum bottom of trench elevation (navd)	-0.75
Trench width (ft)	10.00
Trench height (ft)	5.00
Min. Pipe diameter (ft)	1.25
Minimum depth to water table (H2) (ft)	1.25
Non saturated trench depth (ft)	1.25
Saturated trench depth (ft)	3.75
Trench storage area (sq. ft.)	6.86

0.00 ac. ft

Trench length required for retention volume to be exfiltrated in 1 hour:

Length required	**542**	**ft**		
Associated average percolation rate			2.44 cfs	**0.20 ac.ft/hr**

Trench length required for 5 year 1 hour storm to be exfiltrated over 1 hour:

Rainfall volume, Q			0.65 ac.ft or	7.75 ac.inches
Length required	1734	ft		
Length of trench to be used	**60**	**l.f.**		
Associated average percolation rate for water quality			0.27 cfs or	**0.02 ac.ft/hr**
Associated average percolation rate in addition to water quality			0.00 cfs or	0.00 ac.ft/hr
Associated average percolation rate			0.27 cfs or	**0.02 ac.ft/hr**

iv) Water Quality Provided in Dry Retention

Remaining in dry retention		0.18	acre ft.
Applying 50% credit, retention required		0.09	acre ft.
Therefore the required treatment in dry retention is		0.09	ac.ft
Corresponding stage is between	4.00 and.....	4.25	
Interpolating gives an overflow elevation of	**4.19**	**navd**	

5) COMPUTE STAGE STORAGE

Assumptions:

Paved areas store linearly from	4.80	to elevation.....	6.50 then vertically
High paved areas store linearly from	6.50	to elevation.....	8.00 then vertically
Site Green areas store linearly from	5.00	to elevation.....	7.25 then vertically
Trench stores linearly from	3.00	to elevation.....	4.25 then vertically
Dry Retention areas store linearly from	4.00	to elevation.....	5.00 then vertically
Underground Storage Area 1 stores linearly from	3.00	to elevation.....	5.00 then vertically
Underground Storage Area 2 stores linearly from	3.00	to elevation.....	6.50 then vertically
Underground Storage Area 3 stores linearly from	3.00	to elevation.....	4.70 then vertically

Storage (acre ft.)

Stage	Vehicular Use	Other Paved	Site Green	Trench	Dry Retention	Underground Storage Area 1	Underground Storage Area 2	Underground Storage Area 3	Total
0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
3.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
4.00	0.00	0.00	0.00	0.01	0.00	0.04	0.06	0.07	0.18
4.25	0.00	0.00	0.00	0.02	0.12	0.05	0.07	0.09	0.36
4.70	0.00	0.00	0.00	0.02	0.35	0.07	0.10	0.12	0.66
4.80	0.00	0.00	0.00	0.02	0.40	0.07	0.10	0.12	0.73
5.00	0.00	0.00	0.00	0.02	0.51	0.08	0.12	0.12	0.86
5.50	0.06	0.00	0.02	0.02	0.79	0.08	0.15	0.12	1.24
6.00	0.17	0.00	0.07	0.02	1.06	0.08	0.17	0.12	1.71
6.50	0.34	0.00	0.17	0.02	1.34	0.08	0.20	0.12	2.29
7.00	0.55	0.03	0.30	0.02	1.62	0.08	0.20	0.12	2.92
7.25	0.65	0.06	0.38	0.02	1.76	0.08	0.20	0.12	3.27
7.50	0.75	0.10	0.46	0.02	1.90	0.08	0.20	0.12	3.64
8.00	0.95	0.23	0.63	0.02	2.18	0.08	0.20	0.12	4.41
8.50	1.15	0.38	0.79	0.02	2.45	0.08	0.20	0.12	5.21
9.00	1.35	0.53	0.96	0.02	2.73	0.08	0.20	0.12	6.01
9.50	1.56	0.68	1.13	0.02	3.01	0.08	0.20	0.12	6.81
10.00	1.76	0.83	1.29	0.02	3.29	0.08	0.20	0.12	7.61
10.50	1.96	0.98	1.46	0.02	3.57	0.08	0.20	0.12	8.40
11.00	2.16	1.14	1.63	0.02	3.84	0.08	0.20	0.12	9.20

6) FLOOD STAGE CRITERIA

100 Year 3 day Flood *(zero discharge)*

100 year, 3 day storm ..... 20.00 in.
Runoff ..... 19.41 in.
Volume of runoff ..... 3.92 acre ft.

Corresponding stage is between..... 7.50 and..... 8.00 navd
Interpolating gives an elevation of..... **7.68 navd**
Proposed Building Finished Floor = *8.05*

10 Year 1 day Flood *(zero discharge)*

10 year, 1 day storm ..... 9.00 in.
Runoff ..... 8.42 in.
Volume of runoff ..... 1.70 acre ft.

Corresponding stage is between..... 5.50 and..... 6.00 navd
Interpolating gives an elevation of..... **5.99 navd**

5 Year 1 day Flood *(zero discharge)*

5 year, 1 day storm ..... 8.00 in.
Runoff ..... 7.42 in.
Volume of runoff ..... 1.50 acre ft.

Corresponding stage is between..... 5.50 and..... 6.00 navd
Interpolating gives an elevation of..... **5.77 navd**

5 Year 1 hour Flood *(zero discharge)*

5 year, 1 hourstorm ..... 3.20 in.
Runoff ..... 2.66 in.
Volume of runoff ..... 0.54 acre ft.

Corresponding stage is between..... 4.25 and..... 4.70 navd
Interpolating gives an elevation of..... **4.52 navd**

Lowest Inlet = ***4.90***

7) STAGE DISCHARGE CALCULATIONS

a) Basin Allowable Discharge (C-14 West)	**69.20 csm**
Allowable Development Discharge	**0.26 cfs**
Existing Development Discharge	**0.00 cfs**
Proposed Development Discharge	**0.00 cfs**

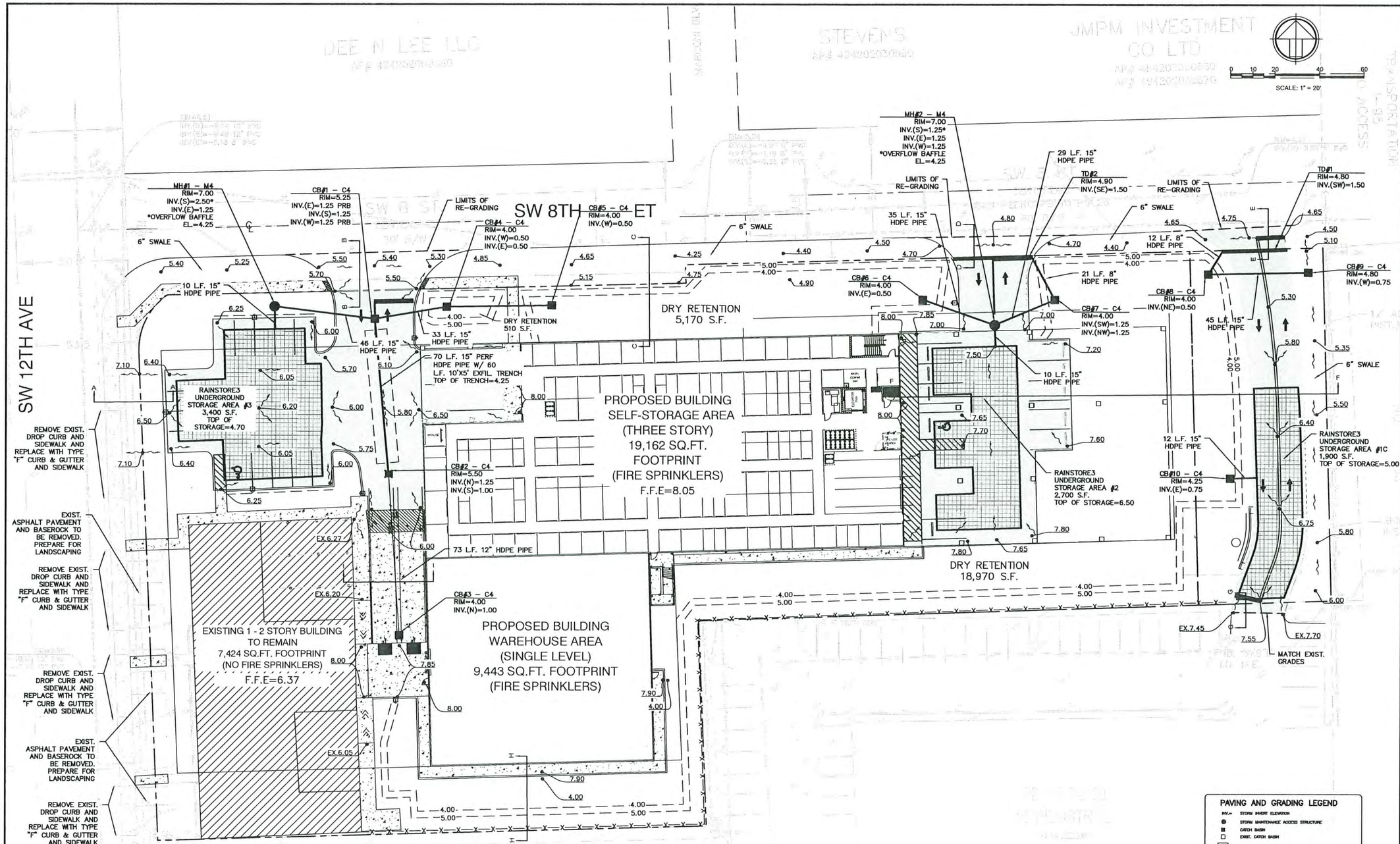
b) Determine the maximum stage discharge during 25 year, 3 day storm (zero discharge)

25 year, 3 day storm	16.00	in.
Runoff	15.41	in.
Volume of runoff	3.11	acre ft.

Corresponding stage is between	7.00	and.....	7.25 navd
Interpolating gives an elevation of	**7.14**	**navd**	

Storm Event	Original Stormwater System Stage (NAVD)	Modified Stormwater System Stage (NAVD)
100 yr 3 day storm	7.70	7.68
25 yr 3 day storm	7.33	7.14
10 yr 1 day storm	6.67	5.99
5 yr 1 day storm	6.57	5.77

Exhibit 5



NOTES:

1. ALL EXISTING & PROPOSED GRADES ARE NAVD88 AS REQUIRED BY BROWARD COUNTY.
2. NAVD88 = NGVD29 – 1.58
   NGVD29 = NAVD88 + 1.58
3. F.F.E. OF EXISTING BUILDING ON–SITE = 6.37 NAVD
4. F.F.E. OF PROPOSED BUILDING = 8.05 NAVD
5. FEMA FLOOD ZONE AH 7
6. WET SEASON WATER TABLE ELEVATION = 3.00 NAVD

PAVING AND GRADING LEGEND

INV.= STORM INVERT ELEVATION
STORM MAINTENANCE ACCESS STRUCTURE
CATCH BASIN
EXIST. CATCH BASIN
CONCRETE APRON
POLLUTION RETARDANT BAFFLE
EXISTING ELEVATION
PROPOSED ELEVATION
TOP OF CURB ELEVATION
STRUCTURE NO.
TYPE OF STRUCTURE
RIM ELEVATION
INVERT ELEVATION
TYPE "D" CURB
TYPE "F" CURB
VALLEY GUTTER
HANDICAPPED RAMP PER FDOT INDEX 304
OVERHEAD WIRE
DRY RETENTION AREA

PRELIMINARY ENGINEERING NOT FOR CONSTRUCTION

REVISIONS		
DESCRIPTION	BY	DATE

SDA SHAH DROTOS & ASSOCIATES
ENGINEERING | SURVEYING | PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, Fl. 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG
CHECKED BY: BRS
DESIGNED BY: BRS
APPROVED BY: S.D.A.
SCALE:1"=20'

U-HAUL SELF-STORAGE
POMPANO BEACH, BROWARD COUNTY, FLORIDA

PAVING, GRADING AND DRAINAGE PLAN

SEAL
FOR THE FIRM, BY:

MATTHEW GIANI, P.E.
FLA. P.E. No. 84229

DATE: FEBRUARY 2021
JOB NO. 1121A.00
SHEET CE3

Exhibit 6

Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Tag	Lum. Lumens
	15	ARC1 LED P1 30K	SINGLE	0.900	ARC1 LED P1 30K	ARC1-P1	1376
	7	DSX1 LED P4 30K T4M MVOLT HS	SINGLE	0.900	DSX1 LED P4 30K T4M MVOLT HS	P4-T4M-HS	10217
	17	CLX L36 7500LM HEF FDL MVOLT	SINGLE	0.900	CLX L36 7500LM HEF FDL MVOLT GZ10 30K 80CRI	CLX-L36	6632

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Covered Parking Area 1	Illuminance	Fc	7.08	9.3	4.4	1.61	2.11
Covered Parking Area 2	Illuminance	Fc	9.45	15.1	1.3	7.27	11.62
Property Line	Illuminance	Fc	0.23	3.0	0.0	N.A.	N.A.
Vehicular Driveway	Illuminance	Fc	3.94	6.0	2.3	1.71	2.61
VUA	Illuminance	Fc	3.65	7.8	1.8	2.03	4.33

0 10 20 40 60

SCALE: 1" = 20'

SW 8TH STREET

SW 12TH AVE

LOW SHRUBS

LED POLE LIGHTING

LED POLE LIGHTING

VISUAL EXPOSURE OF BUILDING FROM STREET

LED POLE LIGHTING

INTERIOR DUMPSTER ENCLOSURE

GLASS WINDOWS FOR VISIBILITY OF EXTERIOR PROPERTY FROM INSIDE

SECURITY CAMERAS

PROPOSED BUILDING
SELF-STORAGE AREA
(THREE STORY)
19,162 SQ.FT.
FOOTPRINT
(FIRE SPRINKLERS)

VISUAL EXPOSURE OF BUILDING FROM STREET

LED POLE LIGHTING

6' CHAIN LINK FENCE

SECURITY CAMERAS

GLASS WINDOWS FOR VISIBILITY OF EXTERIOR PROPERTY FROM INSIDE

SECURITY CAMERAS

FULL CUT-OFF LED WALL-PAC LIGHTING (TYP.)

VISUAL EXPOSURE OF BUILDING FROM STREET

SECURITY CAMERAS

EXISTING 1 - 2 STORY BUILDING
TO REMAIN
7,422 SQ.FT. FOOTPRINT
(NO FIRE SPRINKLERS)

VISUAL EXPOSURE OF BUILDING FROM STREET

PROPOSED BUILDING
WAREHOUSE AREA
(SINGLE LEVEL)
9,443 SQ.FT. FOOTPRINT
(FIRE SPRINKLERS)

LOW SHRUBS

FULL CUT-OFF LED WALL-PAC LIGHTING (TYP.)

6' CHAIN LINK FENCE

LOW SHRUBS

6' CHAIN LINK FENCE

BRAUSER GROUP #3 INC.

U-HAUL SELF STORAGE

CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN

The proposed U-Haul Self Storage and Leasing Center is to be located at 880 SW 12th Avenue in Pompano Beach. The project is to be marketed as an in-door self storage facility. The project will consist of 775 self storage units. This site also features an existing office building which will remain as part of this development.

CPTED PRINCIPLE #1

The site is bordered by SW 12th Ave on the West, I-95 on the East, and SW 8th street on the North, which provides this site with excellent street visibility from three sides. All customer and employee parking is located on the West and East sides of the project with direct access to SW 8th Street. The landscaping, ease of access and the glass façade features of the building provide parking area visibility for people inside the buildings. Low hedges and shrubs along the front of the property and against the buildings will not obstruct visibility from the right-of-way or the buildings. The site will also be well lit during the night with LED lighting on poles within the parking lot/storage area and under all canopy areas as well as wall mounted lights around the storage building. Security cameras will be present throughout the site and around all building entrances.

CPTED PRINCIPLE #2

The site has two entrances off of SW 8th Street. There is also a cross-access road on the East side of the project that does not provide access to the U-Haul site. Customers will access the site through one of two driveways to and from the property. All driveways provide direct access to the building. The South portion of the site will be separated from the neighboring property by a 6' tall chain link fence. The other areas of the site will utilize low shrubs and hedges to provide access control.

CPTED PRINCIPLE #3

The entire site will be clearly distinguished as a private area by the 6' chain link fencing, landscaping, and building layout of the site, which will discourage unauthorized entry. Broward County "No Trespassing" signs shall be posted on the fencing and along the property perimeter.

CPTED PRINCIPLE #4

This being a U-Haul Company property, great attention to detail for maintenance of the grounds and structure is absolutely required. The property management team on-site will have a comprehensive maintenance plan in place to address any and all maintenance issues. The glass portions of the buildings are impact resistant hurricane rated glass.

CEPTED Principle #5

Customers utilizing the parking areas for this site will typically be utilizing the storage facility by loading and un-loading, which will promote natural surveillance by the customers. The facility will be locked and secured after-hours.

CRIME PREVENTION & CPTED PUBLIC SAFETY/ SECURITY DRAWING LEGEND	
CPTED & Crime Prevention Security Principles (use the abbreviations)	Symbols (samples only)
SN: Surveillance Natural	
SE: Surveillance Electronic	
ACN: Access Control - Natural	
ACP: Access Control - Physical (Built)	
ACE: Access Control - Electronic	
TR: Territorial Reinforcement	
M: Maintenance	
AS: Activity Support	

NOTE: CPTED & Crime Prevention SECURITY concepts complement each other and overlap. Example: SN can overlap with TR & AS, etc.

PRELIMINARY ENGINEERING NOT FOR CONSTRUCTION

REVISIONS

DATE	BY	DESCRIPTION

SDA SHAH DROTOS & ASSOCIATES
ENGINEERING
SURVEYING
PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, Fl. 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG

CHECKED BY: BRS

DESIGNED BY: BRS

APPROVED BY: S.D.A.

SCALE:1"=20'

U-HAUL SELF-STORAGE

POMPANO BEACH, BROWARD COUNTY, FLORIDA

CRIME PREVENTION PLAN

SEAL

FOR THE FIRM, BY:

MATTHEW GIANI, P.E.
FLA. P.E. No. 84229

DATE: FEBRUARY 2021

JOB NO. 1121A.00

SHEET CE5

Exhibit 7

SW 16th Terrace
SW 13th Terrace
SW 9th Terrace
ZONING: INDUSTRIAL (I-1)
FUTURE LAND USE: INDUSTRIAL
R500.00'
R500.00'
INTERSTATE 95
APPROX.
PROPERTY
BOUNDARY
SW 14th Ave
ZONING: INDUSTRIAL (I-1)
FUTURE LAND USE: INDUSTRIAL
R500.00'
R500.00'
R500.00'
ZONING: INDUSTRIAL (I-1)
FUTURE LAND USE: INDUSTRIAL
SW 12th Ave
SW 10th Ave
SW 8th Ave
SW 9th Ave

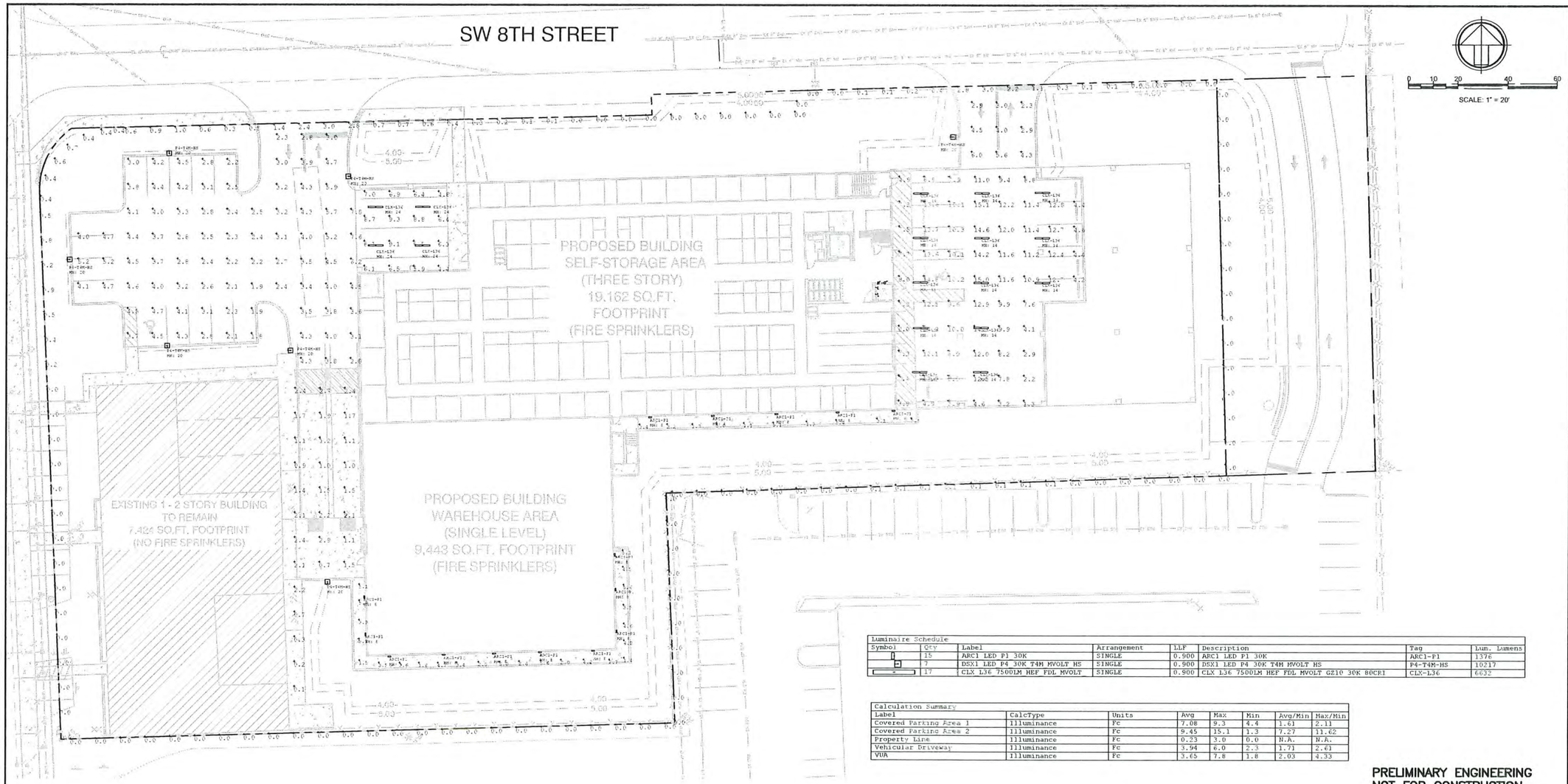
Exhibit 8

Table 1.3a – Market Conditions by CBSA (Core Based Statistical Area)

Source: Radius+ and NKF

	Number Of Facilities	Total Area (SF)	Total Population	% Renters	Household Size (Avg.)	Average HH Income	Total Supply	Estimated Demand	Supply / Demand	Conclusion
New York-Newark-Jersey City, NY-NJ-PA	1005	57,660,300	20,438,199	49.54%	2.68	$114,227	2.82	3.61	0.79	Under-Supplied
Los Angeles-Long Beach-Anaheim, CA	866	60,562,412	13,507,681	51.56%	3.00	$103,493	4.48	4.68	0.20	Near Equilibrium
Chicago-Naperville-Elgin, IL-IN-WI	862	43,195,862	9,601,766	36.01%	2.68	$97,963	4.50	4.76	0.26	Near Equilibrium
Dallas-FortWorth-Arlington, TX	1250	66,421,222	7,715,602	40.80%	2.79	$107,511	8.61	5.31	(3.30)	Over-Supplied
Houston-The Woodlands-Sugar Land, TX	1071	61,545,948	7,154,526	39.07%	2.83	$95,264	8.60	5.88	(2.73)	Over-Supplied
Washington-Arlington-Alexandria, DC-VA-MD-WV	447	26,357,854	6,249,043	36.82%	2.66	$137,124	4.22	4.32	0.10	Near Equilibrium
Philadelphia-Camden-Wilmington, PA-NJ-DE-MD	441	23,655,587	6,203,916	34.71%	2.58	$99,907	3.81	5.39	1.57	Under-Supplied
Miami-Fort Lauderdale-West Palm Beach, FL	512	34,529,860	6,114,563	41.80%	2.64	$83,818	5.65	6.35	0.70	Under-Supplied
Atlanta-Sandy Springs-Roswell, GA	781	41,127,139	5,986,262	35.79%	2.69	$93,820	6.87	5.88	(0.99)	Over-Supplied
Boston-Cambridge-Newton, MA-NH	401	18,308,806	4,892,994	39.72%	2.52	$122,651	3.74	5.07	1.32	Under-Supplied
Phoenix-Mesa-Scottsdale, AZ	514	30,693,924	4,885,176	35.38%	2.70	$87,428	6.28	6.39	0.11	Near Equilibrium
San Francisco-Oakland-Hayward, CA	352	22,021,601	4,679,805	45.25%	2.63	$147,168	4.71	4.69	(0.02)	Near Equilibrium
Riverside-San Bernardino-Ontario, CA	464	31,665,253	4,635,956	37.18%	3.23	$85,499	6.83	7.46	0.63	Under-Supplied
Detroit-Warren-Dearborn, MI	370	18,691,266	4,361,255	31.50%	2.50	$85,158	4.29	6.12	1.84	Under-Supplied
Seattle-Tacoma-Bellevue, WA	429	23,403,061	3,962,957	39.23%	2.51	$116,745	5.91	5.48	(0.43)	Over-Supplied
Minneapolis-St.Paul-Bloomington, MN-WI	386	18,181,878	3,661,687	29.10%	2.54	$104,651	4.97	5.61	0.64	Under-Supplied
San Diego-Carlsbad, CA	265	19,374,093	3,334,024	46.18%	2.77	$108,186	5.81	6.65	0.83	Under-Supplied
Tampa-St.Petersburg-Clearwater, FL	398	20,785,430	3,160,627	35.28%	2.42	$77,199	6.58	6.74	0.16	Near Equilibrium
Denver-Aurora-Lakewood, CO	356	19,954,338	2,960,386	36.72%	2.52	$105,531	6.74	6.04	(0.70)	Over-Supplied
St.Louis, MO-IL	389	14,010,508	2,864,359	31.28%	2.47	$86,579	4.89	6.42	1.53	Under-Supplied
Baltimore-Columbia-Towson, MD	207	12,454,726	2,844,291	33.18%	2.56	$106,599	4.38	5.96	1.58	Under-Supplied
Charlotte-Concord-Gastonia, NC-SC	400	17,496,949	2,616,243	34.53%	2.58	$88,460	6.69	6.73	0.04	Near Equilibrium
Orlando-Kissimmee-Sanford, FL	310	17,723,974	2,567,010	39.68%	2.66	$79,437	6.90	7.37	0.46	Under-Supplied
San Antonio-New Braunfels, TX	426	20,829,136	2,547,033	36.85%	2.76	$79,695	8.18	7.43	(0.74)	Over-Supplied
Portland-Vancouver-Hillsboro, OR-WA	308	14,221,186	2,518,319	38.07%	2.54	$98,175	5.65	6.50	0.85	Under-Supplied
Pittsburgh, PA	370	10,349,435	2,359,300	31.52%	2.27	$82,603	4.39	6.37	1.99	Under-Supplied
Sacramento-Roseville-Arden-Arcade, CA	318	17,184,412	2,358,443	39.24%	2.72	$95,322	7.29	6.98	(0.30)	Over-Supplied
Las Vegas-Henderson-Paradise, NV	263	17,009,350	2,257,890	44.51%	2.74	$79,787	7.53	7.79	0.25	Near Equilibrium
Austin-Round Rock, TX	394	19,039,508	2,231,469	40.41%	2.60	$103,045	8.53	6.60	(1.93)	Over-Supplied
Cincinnati, OH-KY-IN	280	12,264,533	2,219,679	35.20%	2.51	$86,148	5.53	6.83	1.30	Under-Supplied
Kansas City, MO-KS	298	12,801,465	2,179,053	36.20%	2.51	$88,209	5.87	6.81	0.93	Under-Supplied
Columbus, OH	310	12,022,748	2,109,197	38.86%	2.48	$85,341	5.70	6.99	1.29	Under-Supplied
Cleveland-Elyria, OH	215	9,206,780	2,073,482	36.08%	2.36	$76,968	4.44	6.97	2.53	Under-Supplied
Indianapolis-Carmel-Anderson, IN	358	14,955,527	2,070,626	35.38%	2.54	$84,917	7.22	6.97	(0.26)	Over-Supplied
San Jose-Sunnyvale-Santa Clara, CA	147	9,735,602	2,010,116	43.62%	2.95	$160,831	4.84	5.38	0.54	Under-Supplied
Nashville-Davidson-Murfreesboro-Franklin, TN	324	14,196,026	1,986,283	33.49%	2.54	$89,041	7.15	6.77	(0.38)	Over-Supplied
Virginia Beach-Norfolk-Newport News, VA-NC	268	16,043,894	1,771,432	38.78%	2.56	$86,425	9.06	7.17	(1.89)	Over-Supplied
Providence-Warwick, RI-MA	127	5,154,818	1,643,721	39.41%	2.46	$89,998	3.14	6.94	3.80	Under-Supplied
Milwaukee-Waukesha-West Allis, WI	210	9,484,981	1,577,534	41.21%	2.44	$83,681	6.01	7.21	1.20	Under-Supplied
Jacksonville, FL	214	12,426,558	1,565,102	35.04%	2.54	$80,952	7.94	7.22	(0.72)	Over-Supplied
Oklahoma City, OK	324	15,375,186	1,420,798	36.63%	2.53	$77,845	10.82	7.42	(3.41)	Over-Supplied
Raleigh, NC	200	9,899,938	1,388,381	33.05%	2.59	$100,233	7.13	6.61	(0.52)	Over-Supplied
Memphis, TN-MS-AR	184	9,553,882	1,370,698	38.09%	2.63	$75,353	6.97	7.74	0.77	Under-Supplied
Richmond, VA	172	9,602,977	1,320,715	34.24%	2.52	$92,190	7.27	6.84	(0.43)	Over-Supplied
Louisville-Jefferson County, KY-IN	197	8,355,770	1,314,144	32.79%	2.45	$80,917	6.36	7.05	0.69	Under-Supplied
New Orleans-Metairie, LA	188	8,934,043	1,281,272	39.97%	2.51	$73,615	6.97	7.70	0.73	Under-Supplied
Salt Lake City, UT	187	9,423,944	1,256,116	33.80%	3.01	$94,729	7.50	7.55	0.04	Near Equilibrium
Hartford-West Hartford-East Hartford, CT	113	4,610,352	1,227,817	33.71%	2.47	$99,639	3.75	6.51	2.75	Under-Supplied
Birmingham-Hoover, AL	243	8,587,113	1,178,282	32.83%	2.50	$77,918	7.29	7.28	(0.01)	Near Equilibrium
Buffalo-Cheektowaga-Niagara Falls, NY	105	4,020,969	1,147,442	35.21%	2.32	$76,104	3.50	7.15	3.65	Under-Supplied

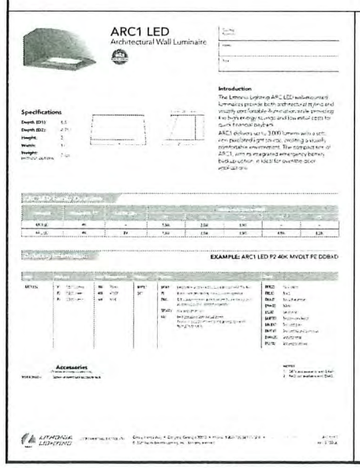
Exhibit 9

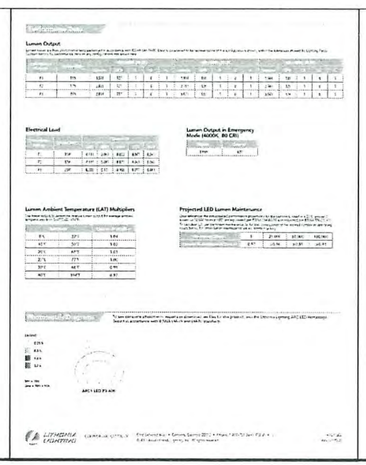


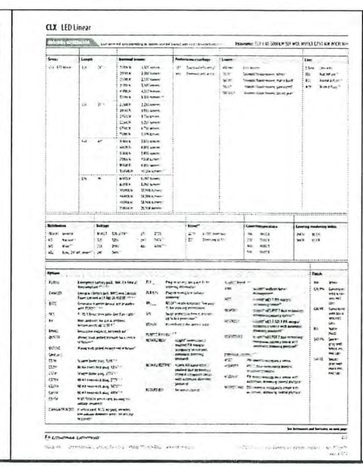
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LLF	Description	Tag	Lum. Lumens
	15	ARC1 LED P1 30K	SINGLE	0.900	ARC1 LED P1 30K	ARC1-P1	1376
	7	DSX1 LED P4 30K T4M MVOLT HS	SINGLE	0.900	DSX1 LED P4 30K T4M MVOLT HS	P4-T4M-HS	10217
	17	CLX L36 7500LM HEF FDL MVOLT	SINGLE	0.900	CLX L36 7500LM HEF FDL MVOLT GZ10 30K 80CRI	CLX-L36	6632

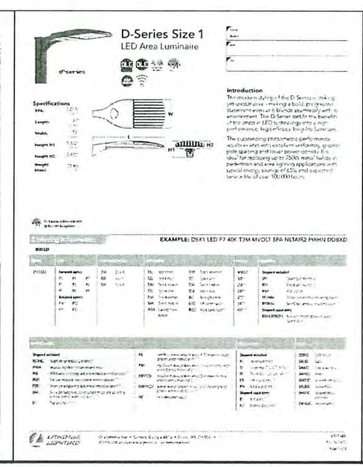
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Covered Parking Area 1	Illuminance	Fc	7.08	9.3	4.4	1.61	2.11
Covered Parking Area 2	Illuminance	Fc	9.45	15.1	1.3	7.27	11.62
Property Line	Illuminance	Fc	0.23	3.0	0.0	N.A.	N.A.
Vehicular Driveway	Illuminance	Fc	3.94	6.0	2.3	1.71	2.61
VUA	Illuminance	Fc	3.65	7.8	1.8	2.03	4.33

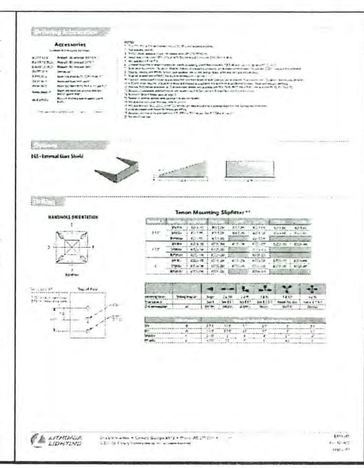
PRELIMINARY ENGINEERING NOT FOR CONSTRUCTION











REVISIONS			
DESCRIPTION	BY	DATE	

SDA SHAH DROTOS & ASSOCIATES
ENGINEERING | SURVEYING | PLANNING
ENGINEERING AUTH. NO. 5634 SURVEYING LIC. NO. LB-6456
3410 N. Andrews Avenue Ext. • Pompano Beach, FL 33064
PH: 954-943-9433 • FAX: 954-783-4754

DRAWN BY: MJG
CHECKED BY: BRS
DESIGNED BY: BRS
APPROVED BY: S.D.A.
SCALE: 1"=20'

U-HAUL SELF-STORAGE
POMPANO BEACH, BROWARD COUNTY, FLORIDA

SITE LIGHTING PLAN

SEAL

FOR THE FIRM, BY:

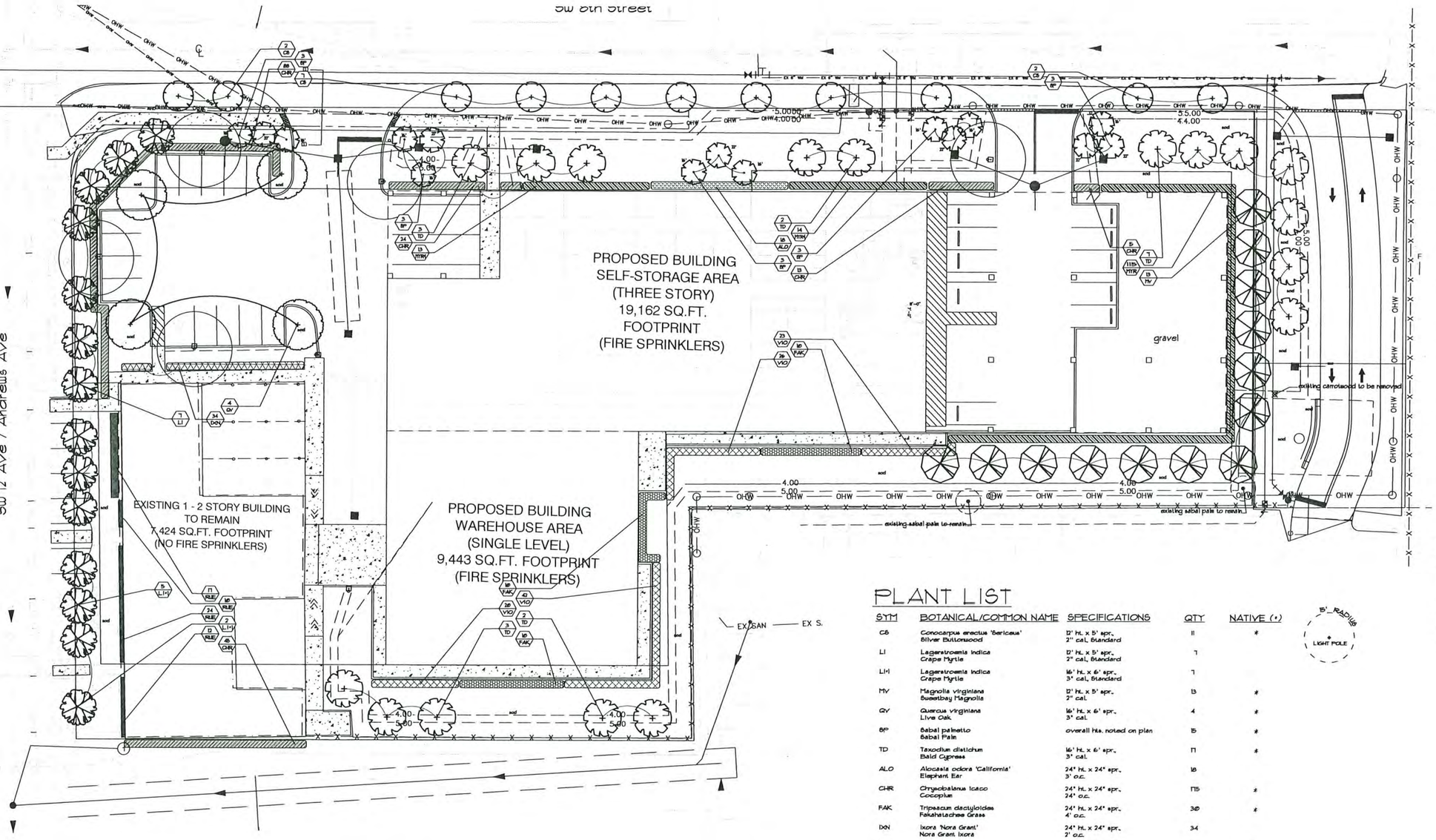
MATTHEW GIANI, P.E.
FLA P.E. No. 84229

DATE: FEBRUARY 2021

JOB NO. 1121A.00

SHEET CE8

Exhibit 10



CODE COMPLIANCE DATA

Minimum Development Site Landscape
Total Lot: 55,993 s.f. / .5898 ac

	30 trees required
	62 trees provided
32 x 5 =	
	160 hedge required
	356ft hedge provided

Perimeter Landscape

Southwest Bdy Property Line Overhead Power Lines
184' / 28' =

	6 Trees Required
	6 Trees Provided
	Hedge Required
	Hedge Provided

South Property Line - Overhead power lines
258' / 28' =

	10 Trees Required
	10 Trees Provided
	Hedge Required
	Hedge Provided

East Property Line
164' / 28' =

	6 Trees Required
	6 Trees Provided
	Hedge Required
	Hedge Provided

North Property Line - overhead power lines
238' / 28' =

	12 Trees Required
	13 Trees Provided
	Hedge Required
	Hedge Provided

Landscaping between VUAs and Buildings and Building Base Planting
7ft. 8" wide
1 shrub / 6'

Existing Building
West side of existing building
148' / 6' =

	23 shrubs required
	63 shrubs provided

South side of existing building
58' / 6' =

	15 shrubs required
	48 shrubs provided

North side of existing building
74' / 6' =

	13 shrubs required
	34 shrubs provided

Proposed Building
South side of proposed building
335' / 6' =

	56 shrubs required
	141 shrubs provided

North side of proposed building
118' / 6' =

	25 shrubs required
	48 shrubs provided

STREET TREES | / 40'

WEST ROW - Andrews Ave
240' / 40' =

	7 trees required
	7 trees provided

EAST ROW
159' / 40' =

	4 trees required
	4 trees provided

NORTH ROW - SW 8th STREET
416'-65' = 413' / 40' =

	11 trees required
	11 trees provided

INTERIOR LANDSCAPE REQUIRED
1 Tree / Island (includes all VUA's) =

	4 trees required
	4 trees provided

TOTAL TREES REQUIRED =	64
TOTAL TREES PROVIDED =	62
20% of required trees must be native =	12 native trees required
	48 native trees provided
50% of trees must relate to bldg. ht. =	32 trees @ 16' ht. x 6' spr. or palms @ 22' o.a. ht. required
	36 trees or palms provided
75% of trees must be shade trees =	48 shade trees required
	49 shade trees provided
50% of required trees can be palms =	36 palms allowed
	5 groups of 3 palms provided

NOTE:
VERIFY DESIGNATED STOP SIGN LOCATIONS PRIOR TO TREE PLANTING TO INSURE THAT STOP SIGNS WILL NOT BE OBSCURED.

PLANT LIST

SYM	BOTANICAL/COMMON NAME	SPECIFICATIONS	QTY	NATIVE (*)
CS	Conocarpus erectus 'Sericeus' Silver Buttonwood	12' Ht. x 5' spr., 2" cal, Standard	11	*
LI	Lagerstroemia indica Crape Myrtle	12' Ht. x 5' spr., 2" cal, Standard	7	
LIM	Lagerstroemia indica Crape Myrtle	16' Ht. x 6' spr., 3" cal, Standard	7	
MV	Magnolia virginiana Sweetbay Magnolia	12' Ht. x 5' spr., 2" cal.	13	*
QV	Quercus virginiana Live Oak	16' Ht. x 6' spr., 3" cal.	4	*
SP	Sabal palmetto Sabal Palm	overall hts. noted on plan	15	*
TD	Taxodium distichum Bald Cypress	16' Ht. x 6' spr., 3" cal.	17	*
ALO	Alocasia odora 'California' Elephant Ear	24" ht. x 24" spr., 3' o.c.	18	
CHR	Chrysobalanus icaco Cocoplum	24" ht. x 24" spr., 24" o.c.	175	*
FAK	Tripsacum dactyloides Fakahatchee Grass	24" ht. x 24" spr., 4' o.c.	38	*
IXN	Ixora 'Nora Grant' Nora Grant Ixora	24" ht. x 24" spr., 2' o.c.	34	
MYR	Myrica cerifera Wax Myrtle shrub	24" ht. x 24" spr., 2' o.c.	115	*
MYR-I	Myrica cerifera Wax Myrtle shrub	24" ht. x 24" spr., 4' o.c.	27	*
RUE	Ruellia simplex Purple Showers	24" ht. x 24" spr., 24" o.c.	63	
VIO	Viburnum obovatum Walters Viburnum	24" ht. x 24" spr., 24" o.c.	111	*
SOD	Stenotaphrum secundatum St. Augustine Sod	full, fresh sod	as req'd	

15' RADIUS
LIGHT POLE

NOTE: All trees need new root zone mulched with 3' diameter.

NORTH

project:
u=haul
790 sw 12th avenue
pompano beach, fl

dave bodker
landscape architecture/planning inc.
601 n. congress ave., suite 105-a
delray beach, florida 33445
561-276-6311
#LA0000999

sheet title:
planting plan

project number: 7420
date: 01/20/2021
scale: 1" = 20'
drawn by: dkb

revisions:

sheet:
L-1
1 of 2 sheets

Exhibit 11

mattgiani@shahdrotos.com

From: Mcguire, David <DMCGUIRE@broward.org>
Sent: Thursday, January 7, 2021 9:15 AM
To: mattgiani@shahdrotos.com
Subject: Re: U-Haul Storage Re-Development and Plat - Pompano Beach - SW 12th Ave

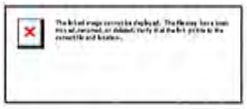
Good Morning,

Happy New Year.

Below you will find a couple of comments in red.

Should you have additional questions, please contact me at DMCGUIRE@BROWARD.ORG or by phone on (954) 577-4602

Sincerely,



David G. McGuire (D.G.) RLA
Broward County
Highway Construction and Engineering Division
1 North University Drive, Box B300. Plantation, FL 33324-2038
954-577-4602
DMCGUIRE@BROWARD.ORG

From: mattgiani@shahdrotos.com <mattgiani@shahdrotos.com>
Sent: Wednesday, January 6, 2021 5:35 PM
To: Mcguire, David
Subject: U-Haul Storage Re-Development and Plat - Pompano Beach - SW 12th Ave

Good Afternoon David,

I hope you are doing well. I am currently working on a site plan project requiring a Plat in the City of Pompano Beach, and I had a few questions I was hoping you could answer.

The project is located on the southeast corner of SW 12th Ave (Andrews Ave) and SW 8th Street. The project involves joining multiple parcels of land together to develop a self-storage and warehouse facility. One of the parcels is currently developed with an office building that is operational and is to remain as part of this re-development. The office building

parcel contains multiple curb cuts along SW 12th Ave which serve as a driveway to access the site, as well as direct access to parking stalls that service the office building. We are currently working on finalizing a site plan and Plat to submit to the City of Pompano Beach. At this time I have the following questions:

1. What, if any, R/W dedications will Broward County require along SW 12th Ave as part of this project? It appears the current 53 feet is sufficient to meet the Trafficways Plan.
2. Will the existing curb cut and driveway along SW 12th Ave be allowed to remain as part of this development? This driveway currently services the office building and would continue to do so after the proposed re-development. Access to Andrews Avenue will need to be located 50 feet from the end of the corner chord. The corner chord shall be based upon a 30-foot radius.
3. Will the existing curb cuts along SW 12th Ave and associated parking stalls be allowed to remain as part of this development? This parking currently services the office building and would continue to do so after the proposed re-development. No. Back out parking is not allowed on Broward County roadways an will be removed.
4. Does Broward County have any objections to the location of the proposed driveway along SW 8th Street? Any driveway on SW 8th shall be located a minimum of 50 feet from the end of the corner chord.

I've attached an exhibit of our currently conceptual site plan (with curb cut dimensions), as well as a current copy of the site survey (with R/W dimensions), and a draft of the proposed Plat for the project.

Your earliest attention would be greatly appreciated, as we are trying to finalize these submittals to the City.
Thank you for your assistance.

Matthew J. Giani, P.E.
Project Manager
Shah Drotos & Associates
3410 N. Andrews Ave. Ext.
Pompano Beach, FL 33064
Ph: (954) 943-9433
Fax: (954) 783-4754
Cell: (561) 302-9482

Exhibit 12

U-Haul Storage Locations within 5 Miles

Location	Name	Distance (Mi)	Tot Rooms	Occ Rooms	Room Occ %	Tot NRSF	Occ NRSF	NRSF Occ %
788080	Five Points	3.90	149	144	96.6%	18,083	17,482	96.7%
788029	Sample and Powerline	3.94	1,006	897	89.2%	78,115	72,925	93.4%
788055	Sample Rd.	4.30	150	117	78.0%	9,005	6,895	76.6%
788022	Margate	4.43	827	802	97.0%	71,401	69,326	97.1%
Total			**2,132**	**1,960**	**91.9%**	**176,604**	**166,628**	**94.4%**

** Occupancy greater than 90% indicates high demand for storage within the market area*

Storage Presence

Location	Name	Stg w/i 3mi	Avg Size (FL)	Est. NRSF	Pop 3mi	NRSF/Pop
788053	Pompano Beach	27	50,933	1,375,201	118,752	11.58
788080	Five Points	23	50,933	1,171,468	144,799	8.09
788029	Sample and Powerline	23	50,933	1,171,468	120,569	9.72
788055	Sample Rd.	16	50,933	814,934	115,565	7.05
788022	Margate	14	50,933	713,067	166,580	4.28

Facility Data By State - 2020 Self-Storage Almanac

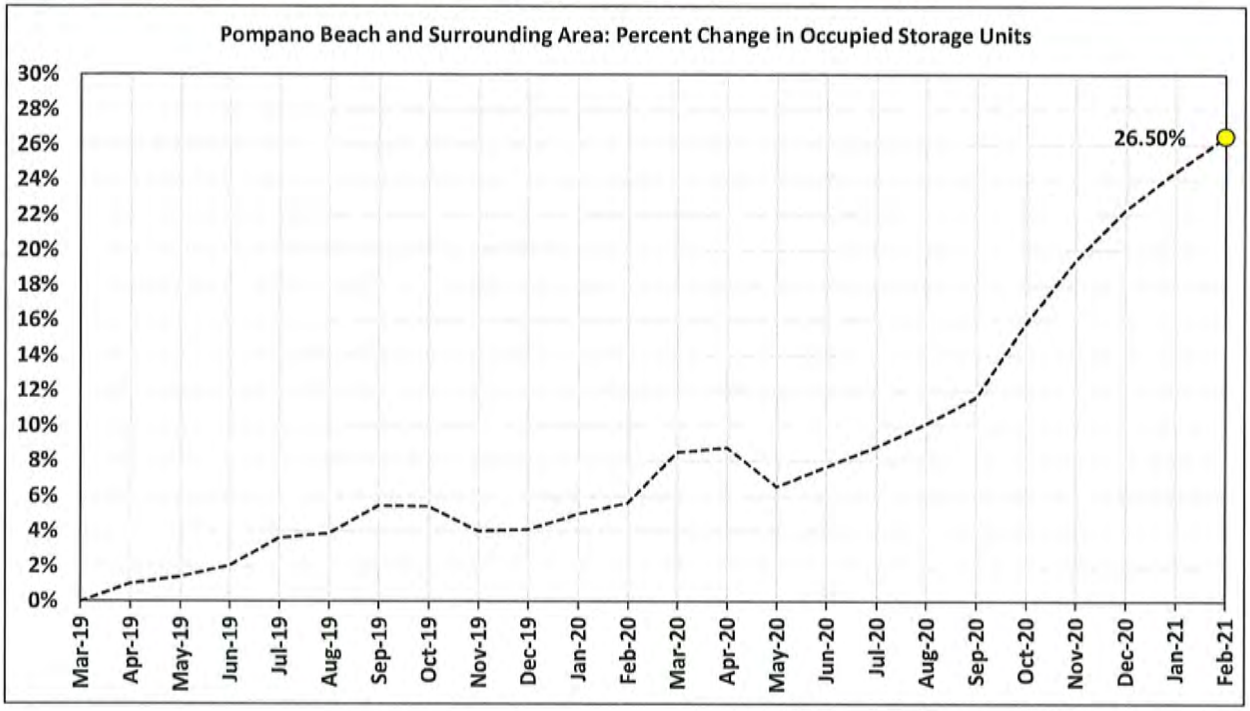
State	Facility Count	NRSF	Avg Size	Population	NRSF / Pop
Florida	2,747	139,913,968	50,933	21,239,528	6.59
US	47,863	1,898,604,872	39,667	332,360,891	5.71

Market Conditions by CBSA - 2020 Self-Storage Almanac

CBSA	Facility Count	NRSF	Population	NRSF/Pop	Est. Demand	Conclusion
Miami-Fort Lauderdale-West Palm Beach	512	34,529,860	6,114,563	5.65	6.35	Under-Supplied

Exhibit 13

Pompano Beach, FL - Occupancy Trend



Included Locations	Address	City	State	Zip
U-Haul Moving & Storage at Sample Rd	903 E Sample Rd	Pompano Beach	FL	33064
U-Haul Moving & Storage of Margate	1700 N State Rd 7	Margate	FL	33063
U-Haul Moving & Storage of Coconut Creek	5431 Johnson Rd	Coconut Creek	FL	33073
U-Haul Moving & Storage at Sample and Powerline	2150 W Sample Rd	Pompano Beach	FL	33073