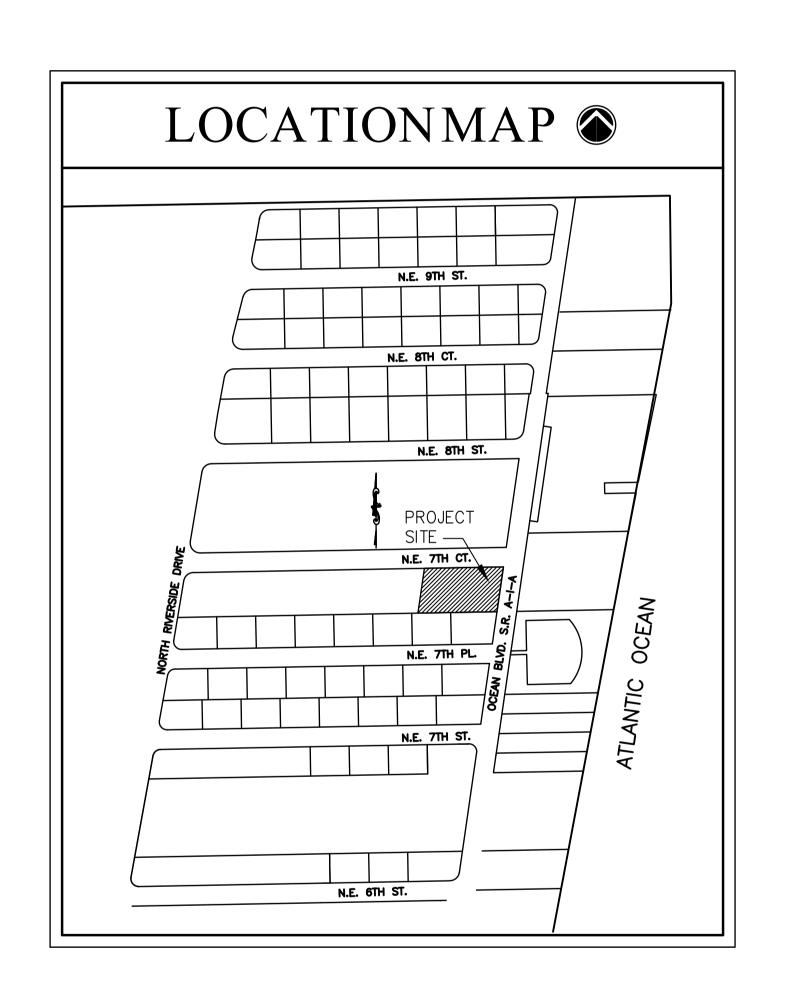
# PROPOSED MULTIFAMILY DEVELOPMENT FOR: "SABBIA BEACH PARCELB"

723 N. OCEAN BOULEVARD POMPANO BEACH FL.

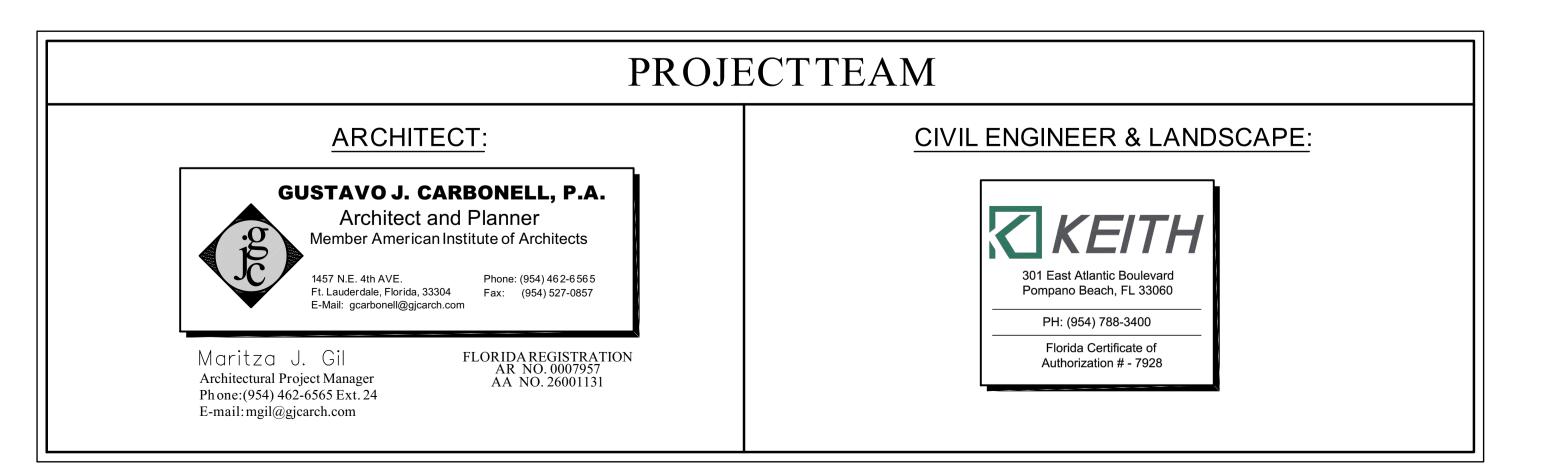




# COVER SHEET SURVEY SITE WORK SP-1 SITE PLAN CIVIL CP-101 PAVING, GRADING AND DRAINAGE PLAN CU-101 WATER AND SEWER PLAN LANDSCAPE LP-101 CONCEPT LANDSCAPE PLAN LP-501 LANDSCAPE DETAILS ARCHITECTURAL A-1 GROUND FLOOR PLAN A-2 2ND. FLOOR PLAN A-3 3RD. FLOOR PLAN A-4 ROOF PLAN A-5 TYPICAL FLOOR PLAN A-6 TYPICAL FLOOR PLAN

**PZ #:** 20-13000007

NORTH AND EAST ELEVATION SOUTH AND WEST ELEVATION



Gustavo Jose Carbonell

Digitally signed by Gustavo Jose Carbonell Date: 2021.03.15 12:09:32

**JOB #:** 20-025



4/28/21

SHEET1 OF 2

# "POMPANO BEACH RESIDENCES"

Description:

The South 100 feet of the North 1,065 feet of Government Lot 1 in Section 31, Township 48 South, Range 43 East, lying East of State Road

Together with:

The East 200 feet of the South 114 feet of the North 1,065 feet of that part of Government Lot 1 in Section 31, Township 48 South, Range 43 East, lying West of State Road A-1-A.

Togetherwith:

The North 100 feet of the South 200 feet of that portion of the North 1065 feet of Government Lot 1 of Section 31, Township 48 South, Range 43 East, lying East of State Road A-1-A.

Said land lying in the City of Pompano Beach, Broward County, Florida, and Containing 96,534 square feet or 2.216 acres more or less.

# Dedication:

KNOW ALL MEN BY THESE PRESENTS that State of Florida County of Broward \$ TW/Beach Residences-Pompano, a Florida limited liability company, owner of the land shown hereon, being in Section 31, Township 48 South, Range 43 East, Broward County, Florida, shown hereon as "POMPANO BEACH RESIDENCES" do hereby dedicate the following:

Parcel "X" and Parcel "Y", as shown hereon, is hereby dedicated to the public for roadway purposes.

Utility Easement (U.E.) as shown hereon is hereby dedicated to the public for the installation and maintenance of utilities. (Refer to the PLAT NOTES of Sheet 2 of 2 for limitations on the use of this easement by cable television providers)

IN WITNESS WHEREOF: We hereto set our hands and affix our seal this 7 day of \_\_\_\_\_\_\_, 2005. TW/Beach Residences-Pompano.

Witnes Substant L. Pleasant
Witnes Substant D. FRALK

By: Taylor Woodrow U.S. Tower,

a Florida limited liability

WITNESS WHEREOF: We hereto set our hands and affix our sequi this 3 day of August Lancaster Ltd., a Floreda Limited

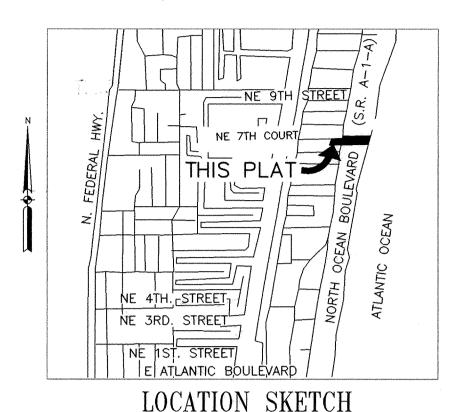
> Partnership By: Sea Castle Wesort, Inc., a Florida Corpo It's Sole general partner HUDRIDGE

Witness: PAVID Witness: Land a Glandge

Lancastle Sea Castle Resort, Ltd., a Norida Limited Partnership By: Sea Castle Resort, Inc., a Florida Corporation It's Sole general partner

Sole general partner

A PORTION OF GOVERNMENT LOT 1 OF SECTION 31, TOWNSHIP 48 SOUTH, RANGE 43 EAST, CITY OF POMPANO BEACH, BROWARD COUNTY, FLORIDA



(NOT TO SCALE)

Acknowledgment:

State of Florida County of Broward

BEFORE ME personally appeared Joseph P. Covelli, who is personally known to me, and who executed the foregoing

instrument as President of Taylor Woodrow U.S. Tower, Inc., Managing Member and severally acknowledged to and before me that he executed such instrument as such Managing member of said company, and that the seal affixed to the foregoing instrument is the company seal of said agency and that it is affixed to said instrument by due and regular authority, and that said instrument is the free act and deed of said company.

WITNESS my hand and official seal this 7 day of Joly

My commission expires:

NOTARY PUBLIC-STATE OF FLORIDA Rita Jane Jacino Commission # DD376706 Expires: DEC. 20, 2008 Attnt Name: Rita Jave Jacios

\*knowledgment: Cotorado County of Bruard of

BEFORE ME personally appeared Thanks Groneway, who is sersonally known to me, or has produce from the Daires License as identification, and who executed the foregoing instrument as Sole

Partner, Sea Castle Research Inc., a Florida Corpolation and severally

My commission xpires: 7-3-2007 Notary Public

BEFORE ME personally appears to me, or has produce Florida Drivelinesse Denver

CFN # 106878855.

Recorded 03/01/2007 at 02:25 PM

Page1 of 2

1000

My commission expires: 7-3-2067 Notary Public

Oliver Sanders

CITY OF POMPANO BEACH APPROVALS:

City Commission:

This is to certify that this plat has been APPROVED and ACCEPTED for recording by the CITY OF POMPANO BEACH, Florida, and by Resolution No. 2006-164 this 11th day of April A.D., 2006.

The City agrees not to issue building permits for the construction, expansion, and / or conversion of a building within this plat until such time as the developer provides the City with written confirmation from Broward County that all applicable impact fees have been paid of are not

In WITNESS WHEREOF said City Commission

Mary L. Chambers

Planning and Zoning Board:

This is to certify that the PLANNING AND ZONING BOARD OF POMPANO BEACH, Florida has ACCEPTED and APPROVED this plat this 210 day of JECEMBER A.D., 2008.5 By: Kung Sich

Planning and Zoning Board Chair A.L. Stein GEORFE FIVEK

Engineering Department:

This plat is hereby APPROVED for record this 26 day of APPLL A.D..

Helen Gray, P.E. Florida Professional Engineer, Registration No. 57837 BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION-MINUTES SECTION

This is to certify that this plat complies with the provisions of Chapter 177, Florida Statutes, and was ACCEPTED for record by the Board of County Commissioners of Broward County, Florida, this 2710 day of Sunt A.D., 2006.

Attest: Pamela D. Brangaccio County Administrator

URBAN PLANNING

CREATED

OCT. 1ST

BROWARD COUNTY FINANCE AND ADMINISTRATIVE SERVICES DEPARTMENT, COUNTY RECORDS DIVISION-RECORDING SECTION

This instrument was filed for record this A.D., 20087and recorded in PLAT BOOK 176 PAGE 166, Record

Attest: Pamela D. Brangaccio County Administrator

BROWARD COUNTY AND REDEVELOPMENT DEPARTMENT

This plat is hereby APPROVED and ACCEPTED for record.

By: Dad M. Dat Director or Designee

Date: 2-28-07

BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION

This plat is hereby APPROVED and ACCEPTED for record.

Richard Tornese Director of Engineering Florida Professional Engineer,

Registration No. 40263

By: Rolt P. Jagy, he Robert P. Legg, Jr. Florida Professional Surveyor and Mapper Registration No. 4030

Date: 2/21/01

Date: 2/27/07

BROWARD COUNTY PLANNING COUNCIL

This is to certify that the Broward County Planning Council APPROVED this plat subject to its compliance with dedication of rights of way this 15t day of December \_\_\_\_, A.D., 200**5.** 

Date: Col72100

This plat complies with the APPROVAL of the Broward County Planning Council on the above date and is hereby APPROVED and ACCEPTED for record this 28 day of Floruary, A.D., 2006.7

Date: 2.28.07

By: Onour Bal Bo Executive Director or Designee

SURVEYOR'S CERTIFICATE

I hereby certify that the attached plat is a true and correct representation of the lands recently surveyed, subdivided and platted under my responsible direction and supervision, that the survey data shown conforms to the applicable requirements of Chapter 177, Part 1, Florida Statutes, and with the applicable sections of Chapter 61G17-6, Florida Administrative Code. The Permanent Reference Monuments (P.R.M.'s) were set on April 27, 2005. The Bench marks shown are referenced to the National Geodetic Vertical Datum of 1929 in conformity with standards adopted by the National Ocean Survey for third order control standards.

Keith & Associates, Inc. Florida Department of Business and Professional Regulation Certificate of Authorization number LB 6860.

Gregory Mire Professional Surveyor and Mapper Registration No. 4437 State of Florida

PREPARED BY:

consulting engineers 301 EAST ATLANTIC BOULEVARD POMPANO BEACH, FLORIDA 33060-6643

4/28/21

TW/BEACH NOTARY DEDICATION RESIDENCES-POMPANO

SEA CASTLE RESORT, INC. NOTARY DEDICATION

SEA CASTLE

RESORT, INC.

NOTARY DEDICATION

COUNTY COMMISSION | COUNTY ENGINEER

No 40263

: STATE OF

COUNTY SURVEYOR

SURVEYOR



(954)788-3400 FAX(954)788-3500 EMAIL:mail@keith-associates.com

# "POMPANO BEACH RESIDENCES"

A PORTION OF GOVERNMENT LOT 1 OF SECTION 31 TOWNSHIP 48 SOUTH, POMPANO BEACH, BR

# CFN #106878855 Page2 of 2

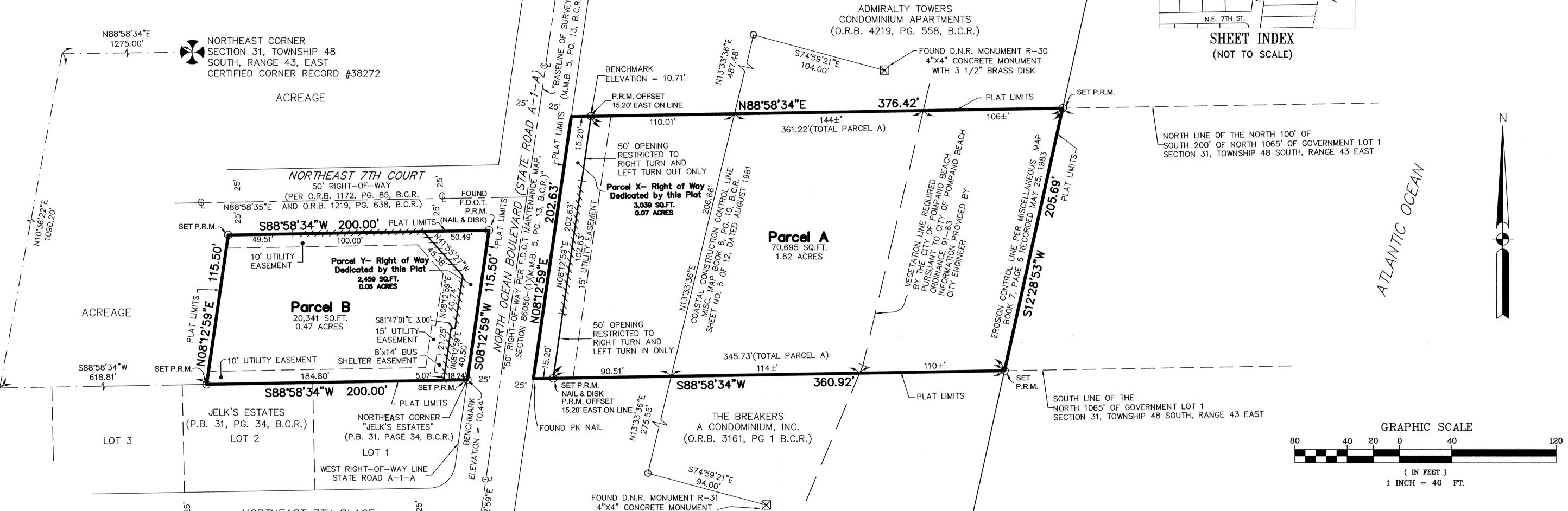
THIS PLAT

N.E. 7TH CT

SHEET 1 OF 1

SHEET 2 OF 2

RENT LOT 1 OF SECTION 31, RANGE 43 EAST, CITY OF ROWARD COUNTY, FLORIDA	
ADMIRALTY TOWERS	



# NOTICE:

THIS PLAT. AS RECORDED IN ITS GRAPHIC FORM, IS THE OFFICIAL DEPICTION OF THE SUBDIVIDED LANDS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCES BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE PLAT. THERE MAY BE ADDITIONAL RESTRICTIONS THAT ARE NOT RECORDED ON THIS PLAT THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY.

NORTHEAST 7TH PLACE

# PLAT NOTES:

**AREA TABULATION** 

SQ.FT.

70,695

20,341

3,039

2,459 96,534

ACRES

1.62

0.47

0.07 0.06

2.22

PARCEL

PARCEL A

PARCEL B

PARCEL X

IPARCEL Y

• Indicates set Permanent Reference Monument (P.R.M.) 4"x4"x24" concrete monument with brass disk No. LB6860 (unless noted otherwise).

Bearings, shown hereon, are based on an assumed meridian on the Coastal Construction Setback Line between monuments R-31 and R-30 as described on Miscellaneous Map Book 6, page 10, Broward County Records = North 13°33'36" East.

Elevations, shown hereon, are based on National Geodesic Vertical Datum of 1929 and said elevations are based on benchmarks supplied by the Broward County Highway Construction and Engineering Division; Benchmark number 3863: Concrete marker in the vicinity of "Shore Crest Motel", 9.3 feet East Northeast of the Southeast corner of the North building, 1.6 feet West of the East edge of seawall and 30.6 feet South of it's Northeast corner, 3.3 feet East of the East edge of a small sidewalk between building and seawall. Has a standard Department of Natural Resources Brass disk and is flush with surface benchmarks found 9-26-2000, Note:Mark is behind ADD.#700. Elevation= 14.91'.

The following note is required by the Broward County Surveyor present to Chapter 177.091, subsection (28), Florida Statutes: Platted utility easements are also easements for the construction, installation, maintenance, and operation of cable Television services; Provided, however, no such construction, installation, maintenance, and operation of cable television services shall interfere with the facilities and services of an electric, telephone, gas, or other public utility. In the event a cable television company damages the facilities of a public utility, it shall be solely responsible for the damages. This note does not apply to private easements granted to or obtained by a particular electric, telephone, gas, or other public utility. Such construction, installation, Maintenance, and operation shall comply with the National Electric Safety Code, as adopted by the Florida Public Service Commission.

If a building permit for a principal building (excluding dry models, sales and construction offices) and first inspection approval are not issued by June 27, 2011, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame; and/or

WITH 3 1/2" BRASS DISK

If project water lines, sewer lines, drainage, and the rock base for internal roads are not installed by June 27, 2011, which date is five (5) years from the date of approval of this plat by Broward County, then the County's finding of adequacy shall expire and no additional building permits shall be issued until such time as Broward County makes a subsequent finding that the application satisfies the adequacy requirements set forth within the Broward County Land Development Code. This requirement may be satisfied for a phase of the project, provided a phasing plan has been approved by Broward County. The owner of the property shall be responsible for providing evidence to Broward County from the appropriate governmental entity, documenting compliance with this requirement within the above referenced time frame.

This plat is restricted to 50 High Rise Units on Parcel A and 9 Townhouse Units on Parcel B.

This note is required by Chapter 5, Article IX, Broward County Code of Ordinances, and may be amended by approval of the Broward County Board of County Commissioners. The notation and any amendments thereto are solely indicating the approved development level for property located within the plat and do not operate as a restriction in favor of any property owner including an owner or owners of property within this plat who took title to the property with reference to this

Any structure within this plat must comply with Section IV D. 1. f., Development Review requirements, of the Broward County Land Use Plan, regarding hazards to air navigation.

# LEGEND:

P.B. PLAT BOOK

O.R.B. OFFICIAL RECORD BOOK

PG. PAGE

B.C.R. BROWARD COUNTY RECORDS

L.B. FLORIDA DEPARTMENT OF BUSINESS AND PROFESSIONAL REGULATION CERTIFICATE OF AUTHORIZATION LICENSED BUSINESS DESIGNATION

PERMANENT REFERENCE MONUMENT (PRM)

SQ. FT. SQUARE FEET

NGVD NATIONAL GEODETIC VERTICAL DATUM OF 1929

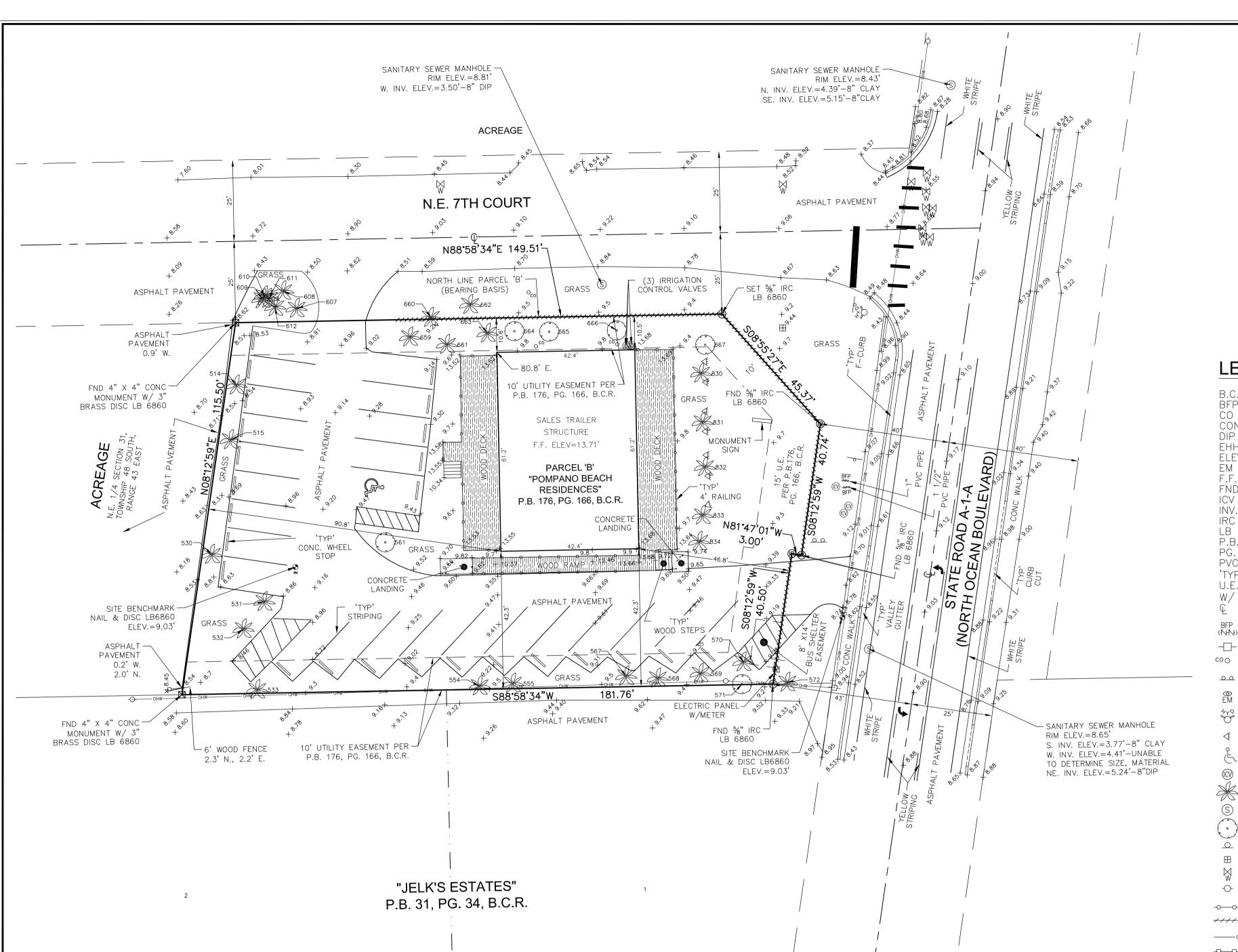
-///// NON VEHICULAR ACCESS LINE

D.N.R. DEPARTMENT OF NATURAL RESOURCES

F.D.O.T. FLORIDA DEPARTMENT OF TRANSPORTATION

M.M.B. MISCELLANEOUS MAP BOOK





# GRAPHIC SCALE

( IN FEET )

1 inch = 20 ft.

# LEGEND:

BROWARD COUNTY RECORDS BACK FLOW PREVENTER CO CONC DIP CLEAN OUT CONCRETE DUCTILE IRON PIPE ELECTRIC HAND HOLE ELEV. ELEVATION ELECTRIC METER FINISHED FLOOR FND FOUND ICV IRRIGATION CONTROL VALVE INVERT IRON ROD WITH CAP FLORIDA LICENSED BUSINESS NUMBER PLAT BOOK POLYVINYL CHLORIDE TYPICAL UTILITY EASEMENT WITH

CENTERLINE BACK FLOW PREVENTER CONCRETE UTILITY POLE

CLEANOUT DOUBLE POST SIGN ELECTRIC PANEL WITH METER

FIRE HYDRANT FLOOD LIGHT HANDICAP PARKING IRRIGATION CONTROL VALVE

PALM TREE SANITARY SEWER MANHOLE SHADE TREE

SINGLE POST SIGN

WATER METER WATER VALVE WOOD UTILITY POLE -O-O-O- METAL HAND RAIL +++++++ NON-VEHICULAR ACCESS LINE

OVERHEAD LINES WOOD FENCE CONCRETE

WOOD SURFACE

#### 11. FEATURES AND LINE WORK SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN HORIZONTAL DATUM OF 1983 WITH THE 2011 ADJUSTMENT APPLIED (83/NSRS11) TRANSVERSE MERCATOR, FLORIDA EAST ZONE WHICH WAS ESTABLISHED VIA MULTIPLE REAL TIME KINEMATIC (RTK) GPS OBSERVATIONS ON THE PROJECT CONTROL POINTS. THE HORIZONTAL COORDINATE VALUES FROM THE RTK GPS OBSERVATIONS WERE OBTAINED AND PROCESSED THROUGH THE FLORIDA DEPARTMENT OF TRANSPORTATION'S (FPRN) FLORIDA PERMANENT REFERENCE NETWORK.

- 12. THE EXPECTED VERTICAL ACCURACY OF THE INFORMATION SHOWN HEREON IS  $\pm 0.03$ ' FOR HARD SURFACE ELEVATIONS AND 0.1 FOOT FOR SOFT SURFACE ELEVATIONS. THE EXPECTED HORIZONTAL ACCURACY OF THE INFORMATION SHOWN HEREON IS  $\pm 0.1$ '.
- 13. THE HORIZONTAL FEATURES SHOWN HEREON ARE PLOTTED TO WITHIN 1/20 OF THE MAP SCALE. HORIZONTAL FEATURE LOCATION IS TO THE CENTER OF THE SYMBOL AND MAY BE ALTERED FOR CLARITY. DISTANCES AND ELEVATIONS SHOWN HEREON ARE U.S. SURVEY FEET UNLESS OTHERWISE NOTED.
- 14. THE FEATURES SHOWN HEREON WERE LOCATED FROM PROJECT CONTROL POINTS THAT ACHIEVED A HORIZONTAL RELATIVE DISTANCE ACCURACY OF 1 FOOT IN 29,238 FEET. THAT RELATIVE DISTANCE ACCURACY WAS OBTAINED BY REDUNDANT ANGLE AND DISTANCE MEASUREMENTS AND CALCULATION OF A CLOSED GEOMETRIC FIGURE (TRAVERSE).
- 15. THE INTENDED DISPLAY SCALE FOR THIS SURVEY IS 1"= 20' OR SMALLER.
- 16. ALL MAPPED FEATURES AND ELEVATIONS SHOWN HEREON WERE OBTAINED BY KEITH AND ASSOCIATES FOR THE PURPOSE OF THIS SURVEY.
- 17. ACCORDING TO THE LETTER OF MAP REVISION (LOMR) CASE NO. 15-04-4261P, EFFECTIVE DATE OF 4-6-2016; THIS PROPERTY LIES IN ZONE AE, BASE FLOOD ELEVATION (7).

# TREE TABLE:

TREE		DIAMETER IN	CANOPY IN
NUMBER	TREE NAME	INCHES	FEET
514	PALM	12	15
515	PALM	12	15
530	PALM	12	15
531	PALM	12	15
532	PALM	12	15
533	PALM	16	15
554	PALM	24	20
555	PALM	18	20
561	UNKNOWN	6	25
567	PALM	12	15
568	PALM	12	15
569	PALM	12	15
570	PALM	14	15
571	SEA GRAPE	4	20
572	PALM	14	15
607	PALM	8	15
608	PALM	8	15
609	PALM	8	15
610	PALM	12	15
611	PALM	12	15
612	PALM	12	15
659	PALM	12	15
660	PALM	10	15
661	PALM	12	15
662	PALM	10	15
663	PALM	10	15
664	UNKNOWN	6	25
665	UNKNOWN	6	25
666	UNKNOWN	8	25
667	SEA GRAPE	6	20
830	PALM	8	15
831	PALM	8	20
832	PALM	8	20
833	PALM	8	20
00.4	54144		40

8 | 10

N.E. 8TH CT.

SURVEY

N.E. 7TH CT.

N.E. 6TH ST.

**LOCATION SKETCH** 

NOT TO SCALE

N.E. 8TH ST.

N.E. 7TH PL.

N.E. 7TH ST.

# SITE ADDRESS:

723 NORTH OCEAN BOULEVARD POMPANO BEACH, FLORIDA 33062.

# LAND DESCRIPTION:

PARCEL B, "POMPANO BEACH RESIDENCES" ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 176, ON PAGE 166, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

# **CERTIFICATION:**

I HEREBY CERTIFY THAT THE ATTACHED BOUNDARY AND TOPOGRAPHIC SURVEY OF THE HEREON DESCRIBED PROPERTY IS DEPICTED TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THE INFORMATION AS SURVEYED UNDER MY DIRECTION ON NOVEMBER 24, 2020 MEETS THE STANDARDS OF PRACTICE RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, SUBJECT TO THE QUALIFICATIONS NOTED HEREON.

KEITH & ASSOCIATES, INC. CONSULTING ENGINEERS

Digitally signed by Michael M Mossey Date: 2020.11.24 11:15:39 -05'00'

PALM

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY MICHAEL M. MOSSEY ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY

ELECTRONIC COPIES.





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 $\propto$ 

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4/28/21

# **SURVEY NOTES:**

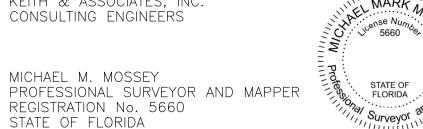
- 1. LAND DESCRIPTION SHOWN HEREON IS IN ACCORDANCE WITH THE INSTRUMENT OF RECORD.
- 2. NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL SEAL OR DIGITALLY ENCRYPTED SIGNATURE OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- 4. OTHER THAN AS SHOWN, THERE IS NO EVIDENCE THAT UNDERGROUND ENCROACHMENTS EXIST. HOWEVER SUBSURFACE

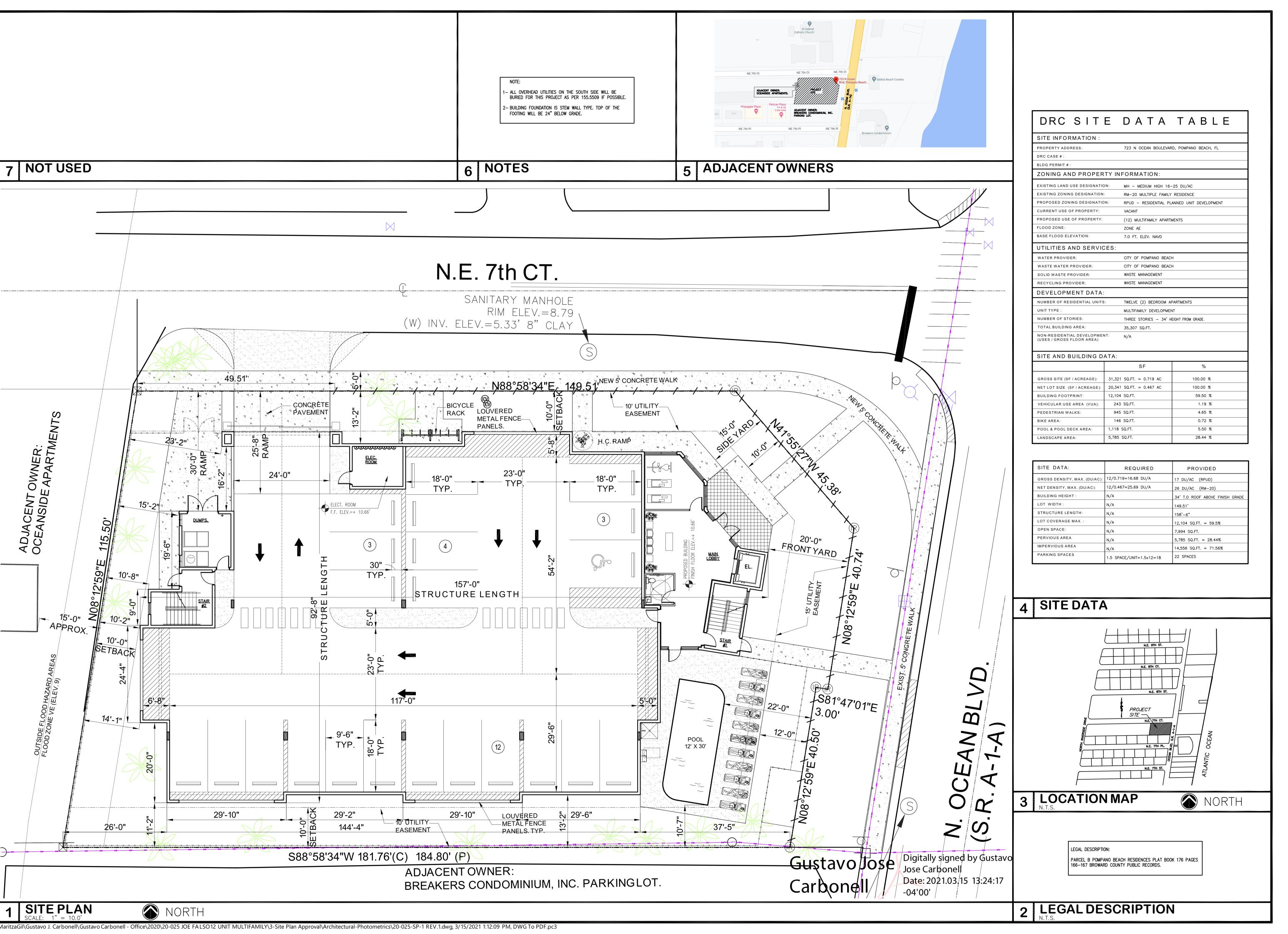
3. LANDS SHOWN HEREON WERE NOT ABSTRACTED FOR RIGHTS OF WAY, EASEMENTS, OWNERSHIP, OR OTHER INSTRUMENTS OF

5. THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENTS OF POTENTIAL JURISDICTIONAL BOUNDARIES.

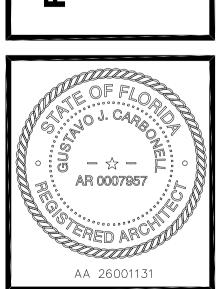
INVESTIGATION WAS NOT PERFORMED TO DETERMINE IF UNDERGROUND ENCROACHMENTS EXIST.

- 6. BEARINGS SHOWN HEREON ARE BASED ON A REFERENCE BEARING OF NORTH 88°58'34" EAST ALONG THE NORTH LINE OF PARCEL 'B', "POMPANO BEACH RESIDENCES", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 176, ON PAGE 166 OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.
- 7. UNLESS OTHERWISE NOTED, RECORD VALUES AND FIELD MEASURED VALUES ARE IN SUBSTANTIAL AGREEMENT.
- 8. IT IS A VIOLATION OF THE STANDARDS OF PRACTICE, RULE 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, TO ALTER THIS SURVEY WITHOUT THE EXPRESS PRIOR WRITTEN CONSENT OF THE SURVEYOR. ADDITIONS AND/OR DELETIONS MADE TO THE FACE OF THIS SURVEY WILL MAKE THIS SURVEY INVALID.
- 9. THE OWNERSHIP OF FENCES, PERIMETER WALLS, PONDS AND/OR HEDGES SHOWN HEREON ARE NOT KNOWN AND THUS ARE NOT LISTED AS ENCROACHMENTS.
- 10. ELEVATIONS SHOWN HEREON ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88). SAID ELEVATIONS ARE BASED ON NATIONAL GEODETIC SURVEY (NGS) BENCHMARKS. ORIGIN BENCHMARK 14.745 IS A SURVEY DISC IN THE TOP OF THE NORTH END OF THE EAST ABUTMENT OF THE HIGHWAY BRIDGE OVER THE INTRACOASTAL WATERWAY ABOUT 0.2 MILE WEST ALONG STATE HIGHWAY 814 FROM THE JUNCTION OF STATE HIGHWAY A 1 A; ELEVATION=13.17' AND BENCHMARK Y-311 IS A BRASS DISC SET ON THE TOP OF THE EAST SIDE OF THE BASE OF THE THE COAST GUARD STATION LIGHTHOUSE ABOUT 2.35 MILES NORTH ALONG STATE HIGHWAY A 1 A FROM THE JUNCTION OF STATE HIGHWAY 814 AT POMPANO BEACH, 10 FEET SOUTH OF THE SOUTHEAST CORNER OF THE STEPS LEADING UP TO LIGHTHOUSE, 14.6 FEET WEST OF THE SOUTHEAST LEG OF THE LIGHTHOUSE AND ABOUT LEVEL WITH THE GROUND; ELEVATION=9.63'.

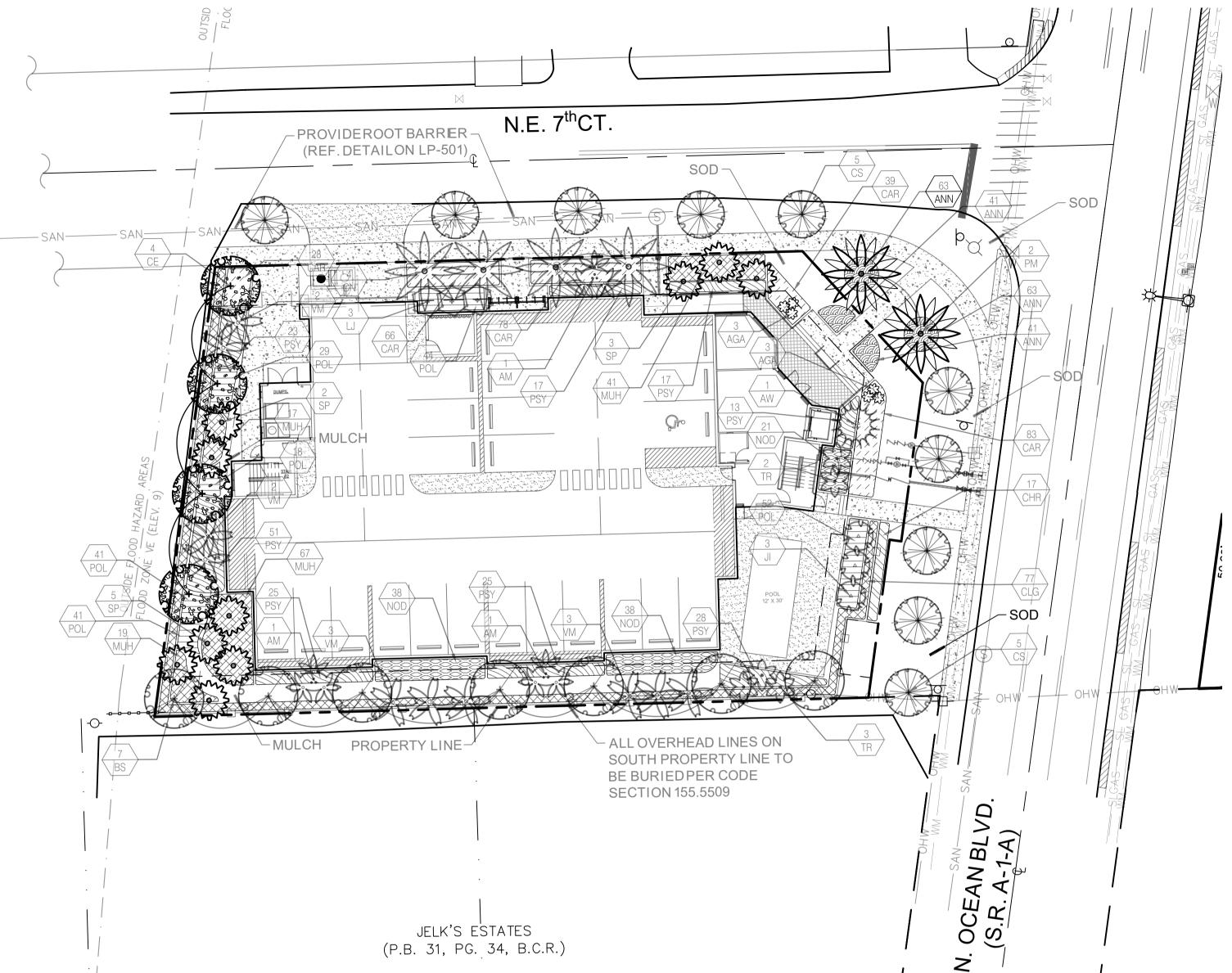




 $\sqrt{103-11-2021}$  M.J.



M.J.G. CHECKED G.J.C. **JUNE 2020** SCALE AS NOTED OB. NO. **20-025** PZ20-13000007 4/28/21



LANDSCAPE REQUIRE	MENTS:		
PROJECT INFORMATION:			
ZONING DESIGNATION:	RPUD		
NET SITE AREA (S.F.)			
	20,34	1	
TOTAL SITE AREA (S.F.)	20,341		<b>0.47</b> AC
TOTAL TREES REQUIRED	REQUIRED	PROVIDED	
SUM OF SITE + PERIMETER BUFFER + STREET TREES	25	27	
BREAKDOWN CATEGORIZED BELOW:			
TREE HT RELATIVE TO BLDG 155.5203.B.2.g	REQUIRED	PROVIDED	
50% REQ'D. TREES TO BE 16' OA	12	11	
50% REQ'D. PALMS TO BE 22' OA		10	
NATIVE TREE REQUIREMENT 155.5203.B	REQUIRED	PROVIDED	
50% OF REQUIRED TREES TO BE NATIVE	12	173	
TREE SPECIES DIVERSITY 155.5203.B	REQUIRED	PROVIDED	
WHERE 20 TREES ARE REQ'D, FOR SITE, 4 DIFFERENT SPECIES			
REQ'D ON PLAN	4	11	
MIN. REQUIREMENTS PER ZONING 155.5203.C	REQUIRED	PROVIDED	
(1) TREE PER 3000 SF	7	27	
(5) SHRUBS PER 3000 SF	34	437	
PERIMETER BUFFER 155.5203.F- TYPE B	REQUIRED	PROVIDED	
(1) TREE PER 30 LF			
WEST - 115 LF	4	5	
SOUTH - 181 LF	6	7	
TOTAL	10	12	
STREET TREES 155.5203.G	REQUIRED	PROVIDED	
(1) TREE PER 40 LF			
NE 7TH CT - 187 LF	5	4	
SR A1A - 116 LF	3	5	
TOTAL	8	9	

TREES	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
BS 7		BURSERA SIMARUBA GUMBO LIMBO	16` HT X 8` SPRD, 4" DBH, FULL CANOPY		
CE	4	CONOCARPUS ERECTUS GREEN BUTTONWOOD	16` HT X 8` SPRD, 4" DBH, FULL CANOPY	N**	
CS	10	CONOCARPUS ERECTUS SERICEUS SILVER BUTTONWOOD	12` HT X 5` SPRD, 2.5" CAL	N**	
JI	3	JATROPHA INTEGERRIMA SPICY JATROPHA	5` HT, 4` SPRD., FULL, 1.5"		
LJ	3	LIGUSTRUM JAPONICUM JAPANESE PRIVET	5` HT., 5` SPRD., HEAVY, FULL		
PALMS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
AW	1	ACOELORRHAPHE WRIGHTII PAUROTIS PALM	12` HT X 5` SPRD, FULL CANOPY	N**	MULTI-TRUI
AM	3	ADONIDIA MERRILLII MANILA PALM	6-7` CT MIN., TRIPLE, FULL		
CN	4	COCOS NUCIFERA `GREEN MALAYAN` COCONUT PALM	10` & 16 CT	N**	STAGGERE PER PLAN
PM	2	PHOENIX DACTYLIFERA `MEDJOOL` DATE PALM	12` CT, HEAVY, MATCHED		
SP	10	SABAL PALMETTO SABAL PALM	14`, 20`, 26` CT STAGGERED	N**	SLICK, HURRICANI CUT
TR	5 THRINAX RADIATA 6-7` CT FLORIDA THATCH PALM		N**		
VM	10	VEITCHIA MONTGOMERYANA MONTGOMERY PALM	12` & 16` CT	*	
SHRUBS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	REMARKS
AGA	6	AGAVE ATTENUATA FOXTAIL AGAVE	16" X 16"		
SHRUB AREAS	QTY	BOTANICAL / COMMON NAME	SIZE	NATIVE	SPACING
ANN	208	ANNUALS _	8" SPRD. 12" O.C.		12" OC
CAR	294	CARISSA MACROCARPA DWARF NATAL PLUM	12" HT X 16" SPRD. 18" O.C.	**	18" OC
CHR	17	CHRYSOBALANUS ICACO COCO PLUM	24" HT. X 24" SPRD.	N**	24" OC
CLG	77	CLUSIA GUTTIFERA SMALL LEAF CLUSIA	48" HT. X 36" SPRD., 36" O.C.		
MUH	144	MUHLENBERGIA CAPILLARIS PINK MUHLY GRASS	24" HT. X 24" SPRD.	N**	24" OC
NOD	97	NERIUM OLEANDER `DWARF` DWARF OLEANDER	18" X 24" SPRD. 24" O.C.		
POL	184	POLYPODIUM SCOLOPENDRIA WART FERN	12" HT. X 14" SPRD.	**	18" OC
PSY	199	PSYCHOTRIA NERVOSA WILD COFFEE	24" HT. X 24" SPRD.	N**	24" OC

# NOTES

SOD TO BE ST. AUGUSTINE 'FLORATAM', EXCEPT IN RETENTIONAREAS.

CONTRACTOR TO DETERMINEQUANTITY.

ALL PLANTS TO BE FLORIDANO. 1 OR BETTER PER FLORIDAGRADES AND STANDARDS FOR NURSERY PLANTS.

ALL TREES TO BE BALLED & BURLAPPED UNLESS SPECIFIEDOTHERWISE.

ALL SOD AND LANDSCAPETO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATICIRRIGATIONSYSTEM USING AN APPROVED WATER SOURCE.

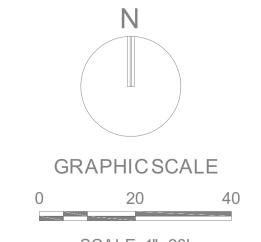
BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.

CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND LANDSCAPE SPECIFICATION ATTACHED TO THIS PLAN AND PLANT LIST. PLAN AND SPECIFICATION SHALL BE CONSIDERED CONTRACT DOCUMENTS.

PRE-CONSTRUCTION MEETING IS REQUIREDBEFORE ANY PLANT MATERIAL IS INSTALLEDON SITE.

ALL ROAD ROCK, CONCRETE, ASPHALT AND OTHER NON-NATURAL MATERIAL BE REMOVED AND BE REPLACED WITH PLANTING SOIL PRIOR TO LANDSCAPE INSTALLATION.

NO TRENCHINGALLOWED WITHINROOT ZONES OF EXISTINGTREES.



SCALE: 1"=20'

NOTE: PRINTEDDRAWINGSIZE MAY HAVE
CHANGED FROM ORIGINAL.VERIFYSCALE
USING BAR SCALE ABOVE.



301 East Atlantic Boulevard Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of

Authorization # - 7928

BID/ CONTRACT NO. :

REVISIONS

NO. DESCRIPTION DATE

# SABBIA BEACH - PARCELB

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

SCALE:	AS NOTED
DATE ISSUED:	NOVEMBER 2020
DRAWNBY:	JR
DESIGNED BY:	JR,MP
CHECKED BY:	MP

Digitally signed by Michael J
Phillips
Date: 2021.03.10
13:14:18 -05'00'

MICHAELJ. PHILLIPS,RLA FLORIDAREG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

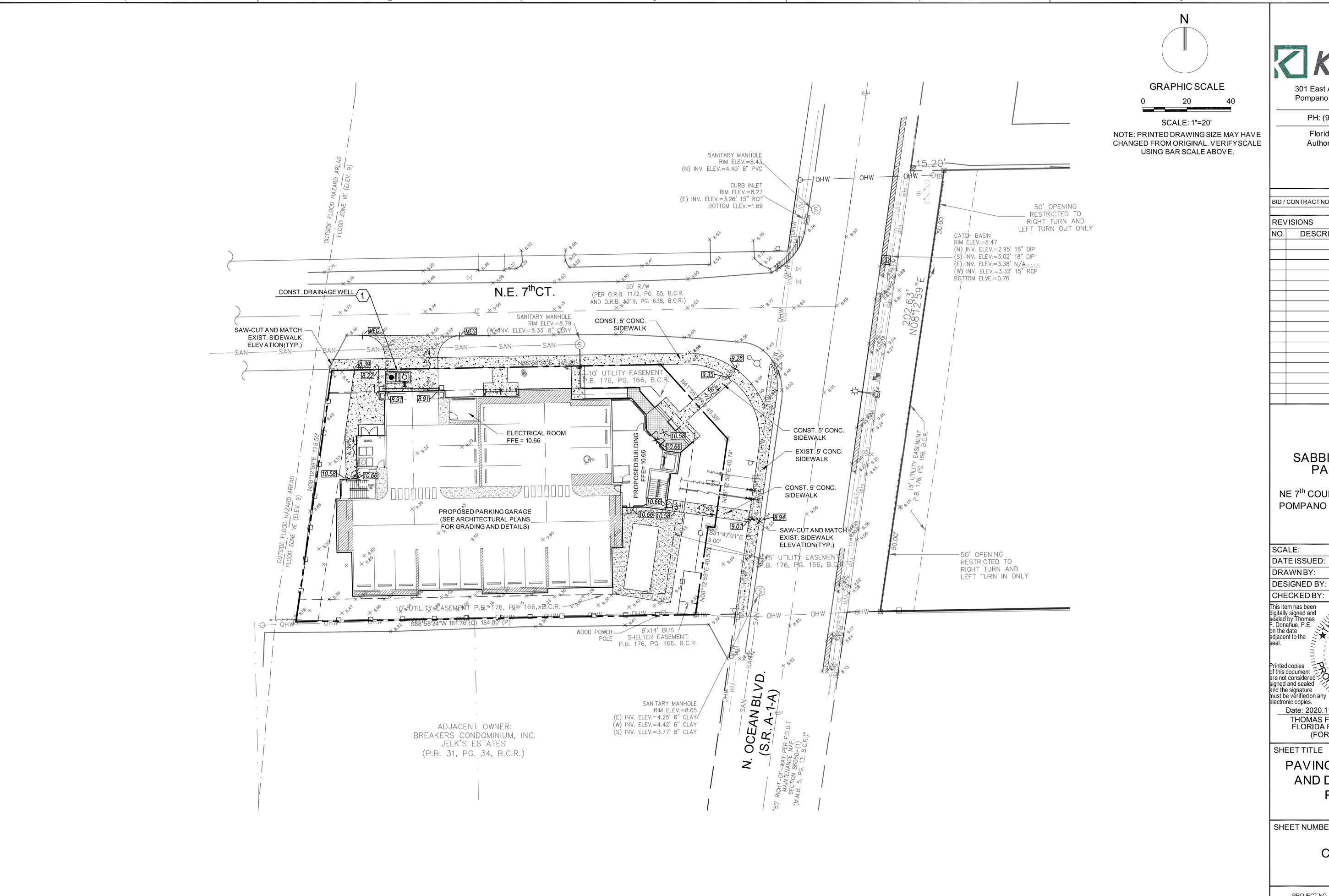
LANDSCAPEPLAN

SHEET NUMBER

LP-101

PROJECT NO. 1189 100





301 East Atlantic Boulevard Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of Authorization# - 7928

BID / CONTRACT NO. :

DESCRIPTION DATE

SABBIA BEACH -**PARCELB** 

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

**AS NOTED** NOVEMBER 2020 DATE ISSUED: DRAWNBY: DESIGNED BY: PS CHECKED BY: TD

This item has been digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

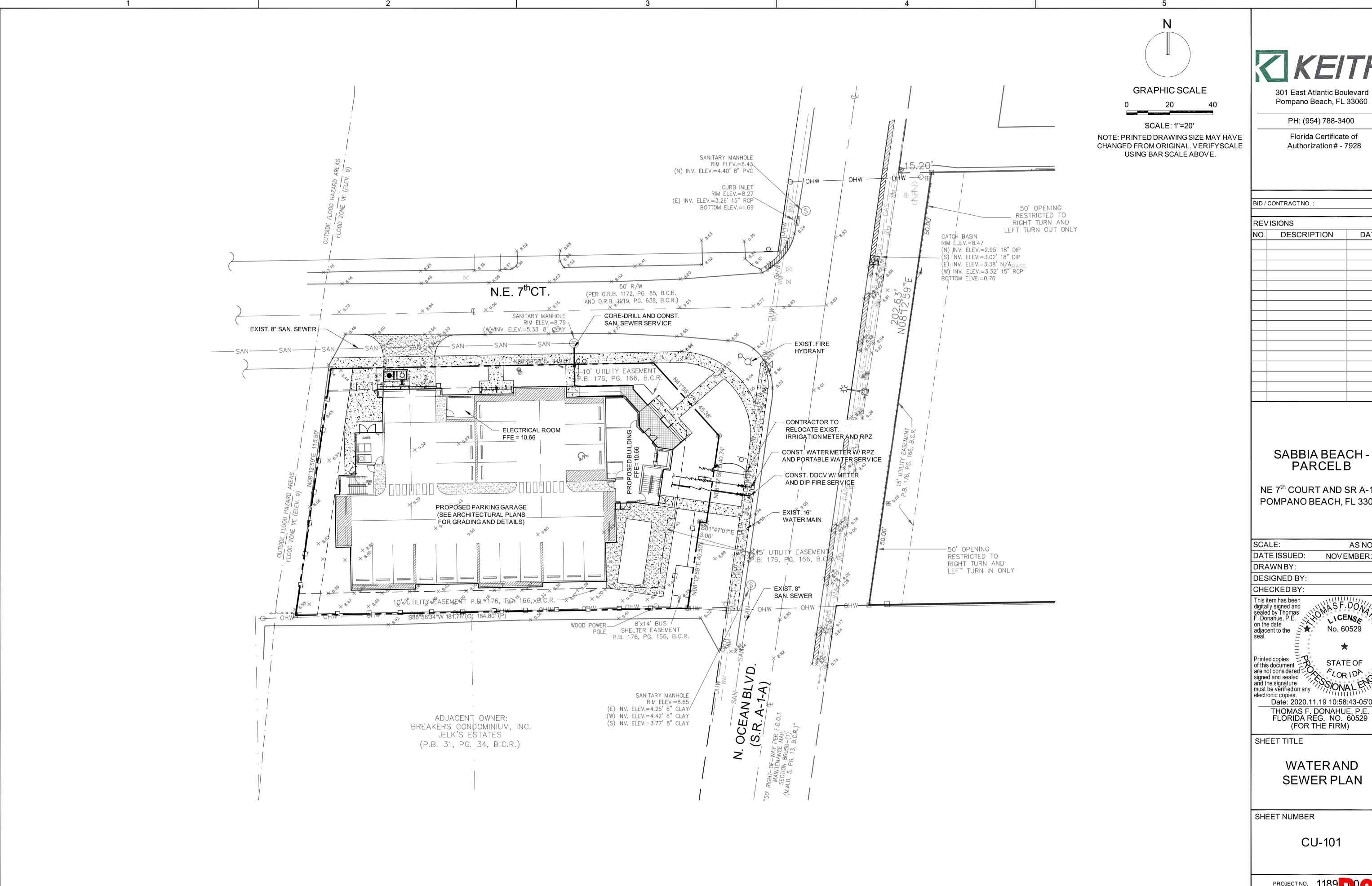
Date: 2020.11.19 10:58:16-05'00' THOMAS F. DONAHUE, P.E. FLORIDA REG. NO. 60529 (FOR THE FIRM)

PAVING, GRADING AND DRAINAGE PLAN

SHEET NUMBER

CP-101

PROJECT NO. 1189 100 0





301 East Atlantic Boulevard Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of Authorization# - 7928

DESCRIPTION DATE

SABBIA BEACH -PARCELB

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

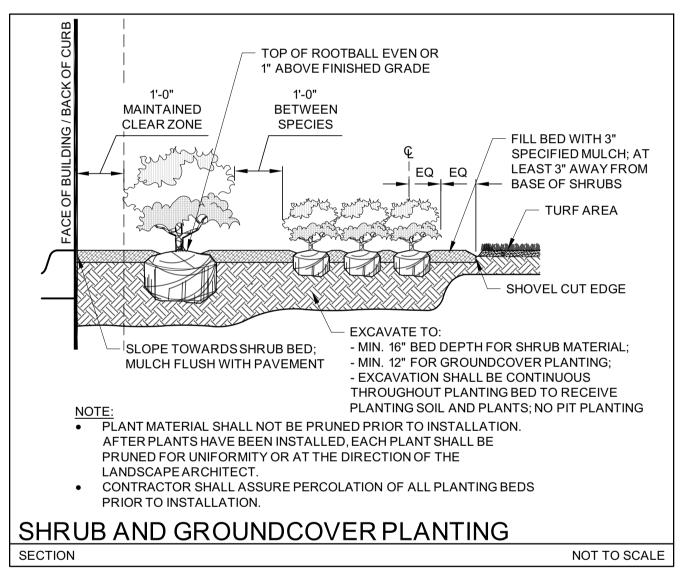
AS NOTED NOVEMBER 2020 DATE ISSUED: DESIGNED BY: PS TD digitally signed and sealed by Thomas F. Donahue, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. electronic copies.

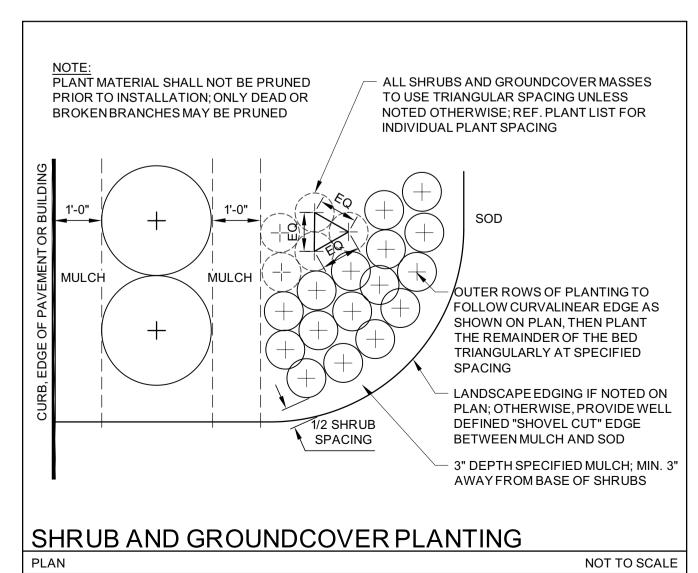
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> WATERAND SEWER PLAN

CU-101

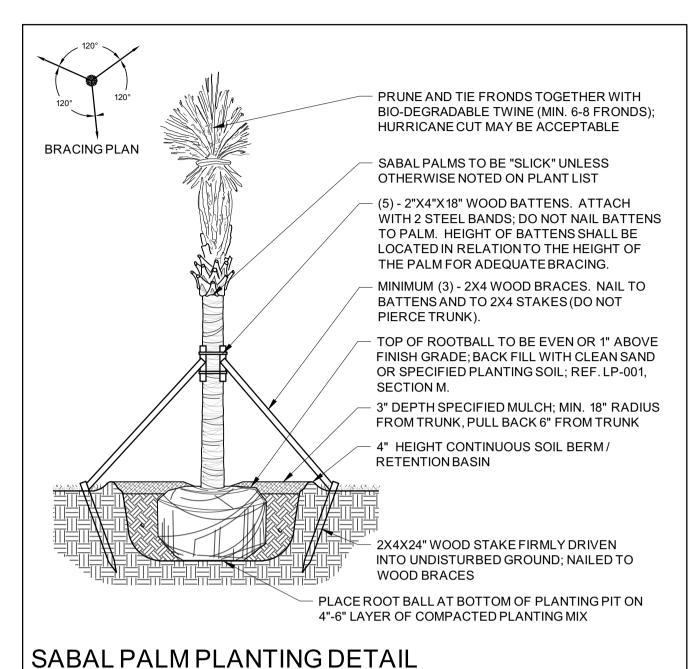
PROJECT NO. 1189 100 0





SECTION

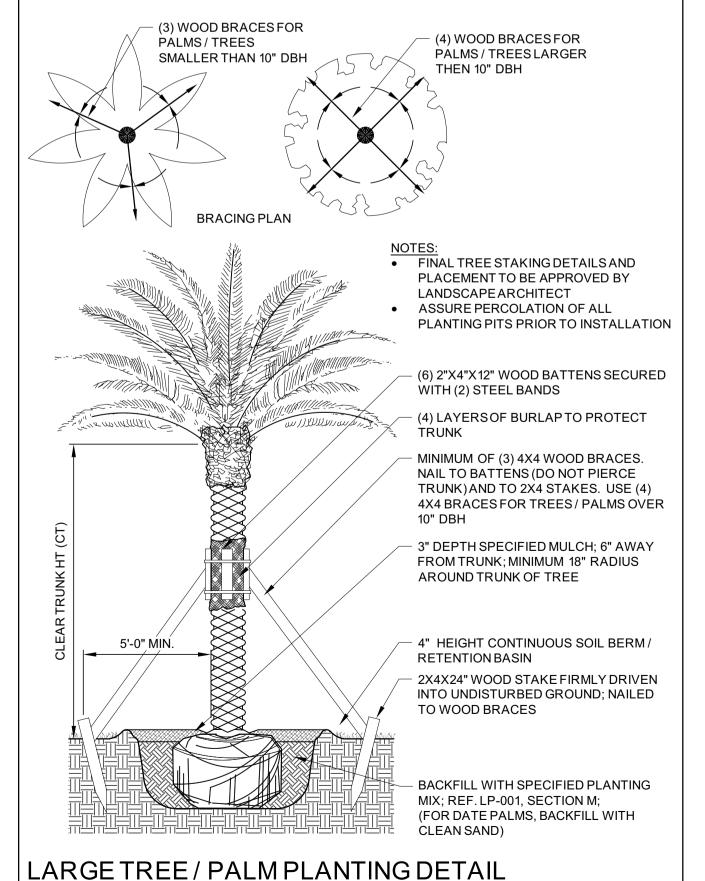
 REF. LP-101 FOR ADDITIONAL REQUIREMENTS • ROOT BALL SIZE FOR ALL TREES AND PALMS TO BE IN PROPORTIONTO SIZE AND TYPE OF PALM PER FLORIDA GRADES AND STANDARDS FOR NURSERY PLANTS.

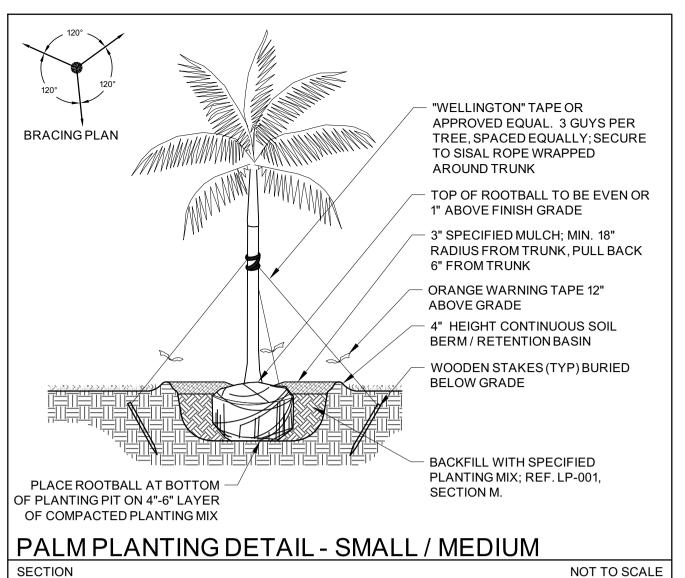


NOT TO SCALE

SECTION

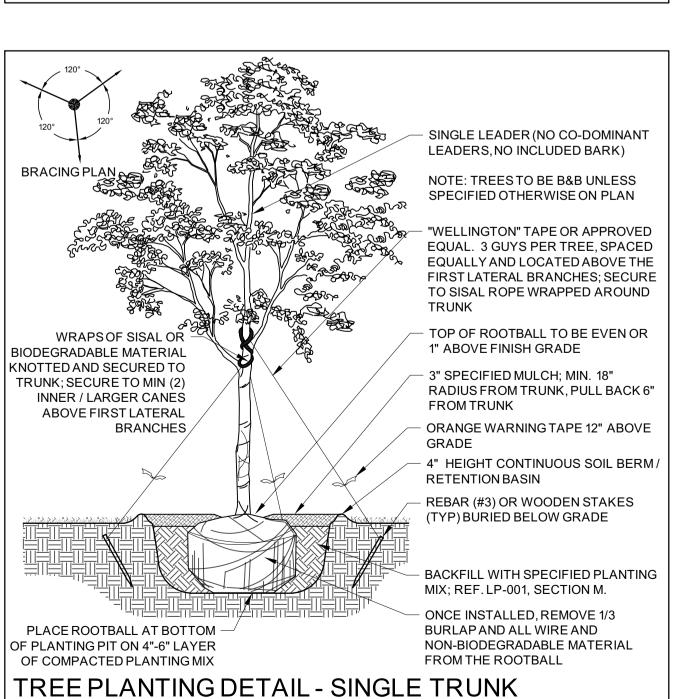
NOT TO SCALE





MULTI-TRUNK TREE, MIN. 3-5 CANES (TREES TO BE B&B UNLESS SPECIFIED OTHERWISE ON PLAN) "WELLINGTON" TAPE OR APPROVED EQUAL. 3 GUYS PER TREE, SPACED EQUALLY AND LOCATED ABOVE THE FIRST LATERAL BRANCHES **BRACING PLAN** TOP OF ROOTBALL TO BE EVEN OR 1" ABOVE FINISH GRADE 3" SPECIFIED MULCH; MIN. 18" RADIUS WRAPS OF SISAL OR FROM TRUNK, PULL BACK 6" FROM BIODEGRADABLE MATERIAL KNOTTED AND SECURED TO ORANGE WARNING TAPE 12" ABOVE TRUNK; SECURE TO MIN (2) INNER / LARGER CANES 4" HEIGHT CONTINUOUS SOIL BERM/ RETENTION BASIN REBAR (#3) OR WOODEN STAKES (TYP) BURIED BELOW GRADE BACKFILL WITH SPECIFIED PLANTING MIX; REF. LP-001, SECTION M. PLACE ROOTBALL AT BOTTOM -ONCE INSTALLED, REMOVE 1/3 OF PLANTING PIT ON 4"-6" LAYER BURLAPAND ALL WIRE AND OF COMPACTED PLANTING MIX NON-BIODEGRADABLE MATERIAL FROM THE ROOTBALL

TREE PLANTING DETAIL - MULTI-TRUNK





BID / CONTRACT NO. REVISIONS DESCRIPTION DATE

> SABBIA BEACH **PARCELB**

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

SCALE:	AS NOTED
DATE ISSUED:	NOVEMBER 2020
DRAWNBY:	JR
DESIGNED BY:	JR,MP
CHECKED BY:	MP

NOT TO SCALE

NOT TO SCALE

Michael Digitally signed by Michael J Phillips Date: 2021.03.10 13:15:19 -05'00'

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

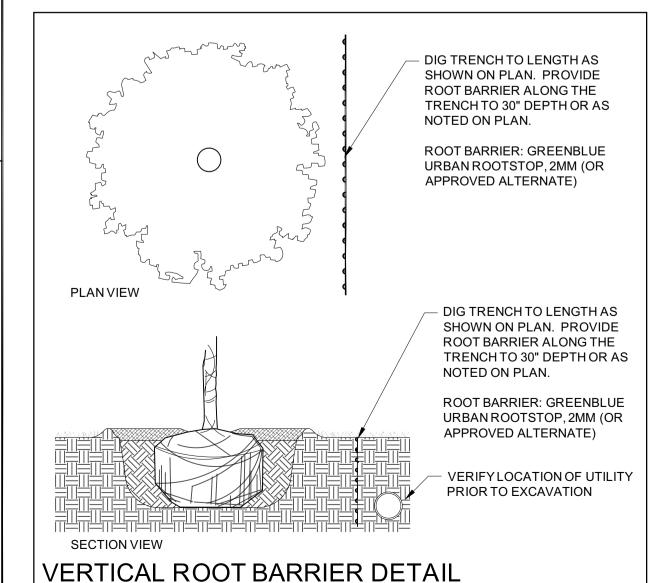
SHEET TITLE

LANDSCAPE **DETAILS** 

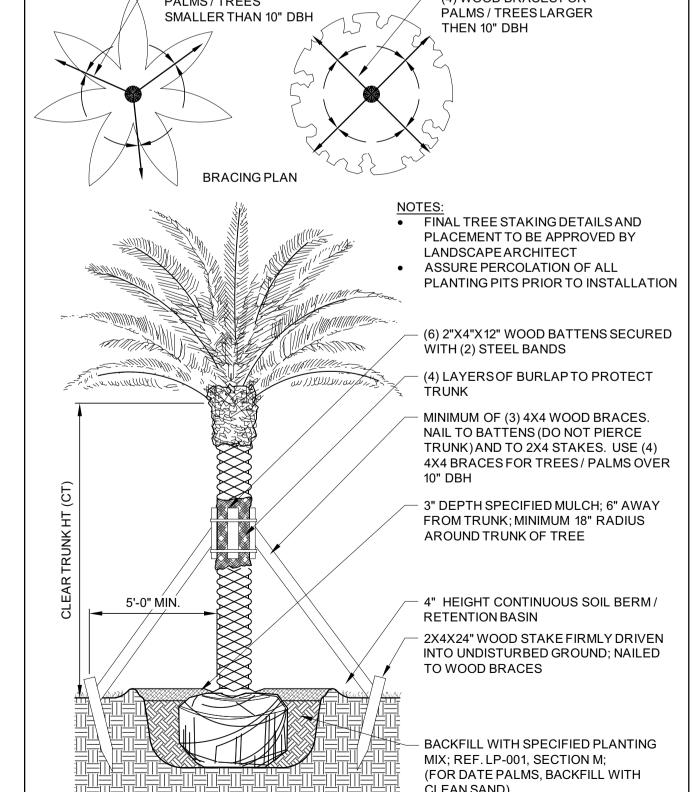
SHEET NUMBER

LP-501

PROJECT NO. 1189



NOT TO SCALE



traverse the protection area, they shall be tunneled or bored under the tree.

prevent siltation and/or erosion within the tree protection zone.

narrowtrencher with sharp blades, or other approved root pruning equipment.

# B. BIDDING

1. Contractorto have lia bility insurance including Owner and Landscaperas insured's in excess of \$10,000 as well as Worker's Compensation.

conditions, or as otherwise directed or approved by the LandscapeArchitect / owner in writing. All other location

adjustments to the layout are to be approved in advance in writing by the Landscape Architect and owner.

2. Contractorunderstands that an important element of the design of this project is meeting landscape ordinances

3. LandscapeContractor shall fine grade, preparesite as outlined in the following notes and per plans; furnish and

install all plants, shrubs, trees and / or palms meeting minimum requirements and bracethem per details

provided. Furnish and install soil, gravel, boulders, sod and mulch as specified in plans and notes below.

4. Landsca pecontractor shall furnish and install all trees, palms, shrubs, groundcover, sod, planting soil, fertilizer,

how to execute the plans, Contractor shall immediately consult with Architect and/or Owner.

with a design flarethat includes symmetry, a lignment, focal points and / or smooth curvilinear forms where

applied and contractor shall follow and instruct the working crews accordingly. In the event of any doubt as to

2. Contractors and Subs must ensure they are doing take offs from Bldg Dept.. Revised sets and / or Bid Set documents. Verify with this Office that you are bidding from latest availa bleplans.

3. Read ALL notes and typical planting details sheets prior to submitting RFIs and prior to bidding. 4. When submitting an RFI reference sheet number, detail number and/or note category and number. 5. Landscapecontractor shall verify all estimated quantities of material shown on the drawings prior to submitting their bid. Plant list pricing (if shown) is for permitting / mitigation comparison purposes only, any prices shown

are to be disregarded by Landscape Contractor. 6. All Plant Materialshall meet or exceed height and spread requirement. Heights are local code requirement and or design intent related and always governs over container size. Container size given for reference only and must be sized-up to meet height requirements of plant list. Plant material available with excessive height beyond specifications must be consulted with LandscapeArchitect for design intent.

All landscapematerialwas confirmed to be availableat time of design. Landscapecontractor understands that some materialmay not be availablelocally, however is availablein Tri-County Region. Plant material supply is the responsibility of the LandscapeContractor that is a wardedthe contract and he/she shall take steps to ensure a vaila bilityat the time of installation. Bring to the attention of Landscape Architect if specific materialis no longer a vaila bleat the time of bidding and / or prior to a ctual construction. Substitutions must be approved prior to construction.

Pre-inspections of site required prior to bidding.

herbicide, pre-emergence herbicide, seed, and mulch.

The plant list is intended only as an aid to bidding. Any discrepancies found between the quantities on the plan

and the quantities on the plant list shall be brought to the attention of the LandscapeArchitect for clarification. 10. All labor and material for soil a mendments and fertilizer that is required to ensure the successful establishment and survival of the proposed vegetation, as well as all the cost for the removal of unsuitable or excess backfill material from plant beds, in addition to fine grading and mulching all plant beds and individual trees shall be included in the contractor's bid to perform the work represented in this plan set.

11. Bid shall be itemized for possible value engineering. 12. Sod and Rocks (if specified) shall be estimated by scaling plans. Include price per square foot for sod. Rocks (include price per ton). Small rocks and gravel beds shall have landscapefabric material and minimum 4" depth.

Boulders to be bid by unit. 13. All S.F. if noted is approximate and shall not be considered all inclusive; it is the contractor's responsibility to do his or her take off, submit price per S.F. and in the end, sod all areasthat are not covered either by plants, mulch and/orrocks. It shall be the responsibility of the contractor to include in the bid, the repair of any existing sod which may be damaged during construction.

14. Final payment to the Contractorshall be for a ctual plants installed on the project.

15. Contractorshall be responsible for obtaining and paying for costs of all permits described in bid whether permit costs are reimbursable by owner or included in bid. Research permit status and research all permits and additional documentation and certifications required such as separatetree removal permit for example, and consider prior to bidding

16. General / LandscapeContractor shall leave a 5% unforeseen conditions allowancesuch as for a dditional root

barriers determined to be needed on site and as job progresses. 17. Refer to Section T, Watering, for supplemental watering requirement.

18. Landscapecontractor is responsible for verifying all plant quantities prior to bidding and within 7 calendardays of receipt of these plans shall notify the landscapearchitectin writing of any and all discrepancies. In case of discrepancies, planting plans shall take precedence over plant list. No substitutions are to be made without prior consent of the LandscapeArchitect.

### GENERAL LANDSCAPE NOTES

Plants grown in containers prior to installations hall be removed from their containers before they are planted in the ground and have circling roots removed. All screening shrubs shall be planted for proper operation of equipment being screened and/or per the requirements of the utility as necessary. All hedge material required for screening purposes shall be planted with branchestouching. Adjust spacing as necessary and/or provide additional plants to provide an adequate screen as required by code. Leave access to utility or clearance as

All landscapingshall be installed according to sound nursery practices. Contractorshall comply with federal,

state and local laws and regulations pertaining to the inspection for plant disease and insect infestation. 3. All ideas, designs and plans indicated or represented by this drawing are owned by and are the exclusive property of Keith and Associates and may not be duplicated without authorizationor used for other projects than

4. The LandscapeContractorshall exercise caution to protect any existing sod, electrical and irrigation. Any damage to the sod, electricalor irrigationshall be replaced or repaired to the original state by the Landscape Contractorat no additional cost to the owner.

Tree, palm, accentshrubs and bed lines are to be located in the field and approved by the Landscape Architect / owner prior to planting. LandscapeContractoracknowledges that material planted without approval of location may be subject to relocation by Landscape Architect to maintain design intent if not followed properly. 6. All trees must be pruned as per LandscapeArchitect's direction.

7. In a reaswhere a sphaltis removed in order to receive landscape material, the lime rock sub-base material must also be removed and replaced with approved planting soil mix. 8. Landscapecontractor is responsible for sending photographs to the landscapearchitectto pre-approve all trees,

palms, and shrubs prior to delivery to project site. 9. Landscapecontractor shall coordinatehis or her work with that of the irrigation, landscapelighting, and

10. The landscapecontractor shall treatplant areaswith pre-emergence herbicide afterweeds and grass have been removed. Landscapecontractor shall wait 7 days afterpre-emergence treatment prior to planting.

# D. PERMITS & REGULATIONS

hardscapecontractor if different.

1. Contractor(s) must obtain separatelandscape, irrigation and tree relocation/removal permits from the governing a uthority prior to the issuance of the first building permit for the project. 2. Landscapecontractor to call the local LandscapeInspector to schedule a pre-construction meeting prior to

installationif required 3. All mandatoryrequirements by local Landscape Departments and their inspectors shall govern and landscape contractor commits by accepting contractto comply promptly for builder/owner to obtain C.O.

# TREE REMOVAL

1. Removal of any trees or palms will require a written "tree removal permit" from the local governing agency prior to removal. Non-native trees classified as "prohibited" trees may be exempt from the permit if listed as Category 1 by Florida Exotic Pest Plant Council. Confirm with Local Municipality.

2. LandscapeContractor is responsible to remove ALL invasive nuisance trees such as BrazilianPepper, Mela leuca, AustralianPine and all invasive trees as categorized by the governing agencies, whether listed on plans or not.

3. The LandscapeContractoris responsible for coordinating tree and palm removals and transplants shown on the tree/palmDisposition Plan. The LandscapeContractor is to remove and discard from site existing unwanted trees, palms, shrubs, ground covers, sod and weeds within landscapeareas.

# EXISTING TREES

1. Existing trees designated to remain shall be protected during all construction phases. Any trees or shrubs designated to remain that are scarredor destroyed will be replaced at the contractor's expense, per the

2. Existing plant material not shown on the plan and in conflict with new planting shall be evaluated at the time of new planting installation by the Landscape Architect. Trees and plant material indicated to be relocated with no new location provided in plans shall be moved to a location on site designated as a nursery holding area with the root ball protected from direct sunlight, maintained and irrigated until new location is determined.

3. Prune trees to remove da maged branches and improve natural shape and thin out structure. Do not remove more than 15% of branches. Do not prune backterminalleader.

4. Prune existing shrubs to remove damaged branches and improve natural shape.

5. Existing trees to remain shall be trimmed per Ansi-A300 standards. Supervision of the trimming shall be performed by an ISA Certified Arborist to ensure quality work.

6. All existing trees shall be "lifted and thinned" to provide an 8' minimum clearancefor sidewalks and pedestrian walkwaysand a 14' minimum clearancefor roadways, drivewaysand all vehicular use areas.

7. Selective canopy and root pruning of existing trees can be conducted (only as necessary and in no event more than 35%) to accommodate for new approved construction. Pruning shall be conducted / supervised by an ISA

8. If plans call for relocation of trees, palms or plants. High level of care should be exercised to assure that they are 9. All underground utilities and drain or irrigationlines shall be routed outside the tree protection zone. If lines must

10. Erosion control devices such as silt fencing, debris basins, and water diversion structures shall be installed to

11. Roots shall be cut manually by digging a trench and cutting exposed roots with a saw, vibratingknife, rock saw,

#### TREE RELOCATION (These notes for relocation trees only and if applicable)

Flagall trees and palms to be transplanted with differentiating color than those to be saved or removed.

Tree Relocationprocess must be performed or supervised by ISA Certified Arborist. Waterthe root zones to field capacityfor 5 continuous days before root pruning. At a minimum soak the soil to a 4'-0" depth within a 6' radius.

Root prune a minimum of six weeks before relocation. Prune a wayall dead or damaged limbs or fronds. For trees, prune out 1/3 of the existing canopy by selectively trimming small internal branches. For palms, gather fronds above the bud and tie them loosely with jute twine to avoid damage.

4. Braceroot pruned trees a waiting relocation.

5. Root prune  $\frac{1}{3}$ rd of the root system, irrigated ally for 2 weeks then root prune a nother  $\frac{1}{3}$  rd, irrigatedaily and prune last  $\frac{1}{3}$  rd on actual relocation date, no less than two weeks (six weeks total minimum root pruning by stages). ISA Arborist on staffshall observe for intense shock. Canopy pruning may be deemed necessary by Arborist on staffto balance for intense root ball loss, canopy shall be trimmed only as necessary to increase survival.

Root prune with proper clean equipment to sever roots. Ensure roots are not torn or pulled apart. With hand tools, dig a 2'-0" wide by 3'-0" deep trench at a minimum distance as determined by the consulting arborist to expose roots. Cut all roots 1.5" and larger in diameter with a clean, sharp pruning saw. Treat all cuts with a fungicidal barrier. Backfillthe trench, within 4 hours of digging, with a 1:1 mixture of site soil and sawdust or other fine organic material. Do not compact.

Form a rootballsize in compliance with Florida grades and Florida standardsnumber 1 or better.

9. Maintainthe soil moisture at field capacitythroughout the six weeks.

17. Fertilize the plant as directed by the consulting arborist.

10. Allow the plant to regenerate roots over a period of six weeks. 11. At the end of six weeks, preparethe planting pit at the new location. Overdig the hole diameter a minimum of 2'

beyond the root ball, with the recipient hole to be at least 1/3 largerthan the areathat was trenched for 12. With the consulting arboristpresent, undercut the entire root ball of the plants to be transplanted at a depth specified by the arborist. The undercutting method may be a choker cable drawn through the root ball with

heavy equipment. 13. At the direction of a professional rigger, assemble slings, padding, guiding ropes and cables for attachmentto the crane or backhoe. The professional rigger shall determine the size of machinery necessary to execute the

lifting and moving operation 14. Install trees within 24 hours of removal from their original location to locations provided by Landscape Architect

or Developer with approvalof municipal/LandscapeInspector. 15. Experienced Tree Spade operatorshall move tree or experienced tree mover shall choose best means and

methods to strapand rig tree for transporting safely without damage to new location. 16. Maintaintrees in a healthy and vigorous condition during installation and throughout the plant establishment period. Replacetrees that do not meet this requirement with the same species, size, and quality or per mitigation requirements specific to the governing a uthority with jurisdiction.

18. When the plant is placed in the new location, backfillthe planting pit with topsoil and waterthoroughly to eliminate air pockets and compact the soil. Set the tree no deeper than its original condition.

19. Cover the root ball area with 3" depth of organic mulch.

20. Provide fungicide and fertility applications at the direction of the consulting arborist. 21. Post transplantwatering to provide moisture and reduce any excessive stress due to root desiccation. Watering

to be adjusted according to conditions and at the supervision and direction of the ISA certified arborist. 22. The diameter of the root--pruning or transplantingcircle shall be at a distance awayfrom the trunk equal to 12

times each inch of trunk dia meter at breastheight. 23. For all palms except Sabalpalmetto, the lower fronds shall be pruned leaving 9-11 fronds that can be tied

without an extensive a mount of weight that may damage the heart of the palm. The Sabalpalmetto shall have all fronds cut without damaging the bud. 24. Transplantingmust occur within 24 hours afterbeing dug for relocation. Trees/palms should be kept in shade

and the canopy kept moist. 25. Digging and preparation of the new hole for the transplantshall be done prior to removing the tree from the

26. The landscape Contractor is to verify that all new holes have appropriate percolation. 27. Padding the sling may be necessary so that the trunk or "boots" are not damaged.

28. A 6" saucer shall be created around the edge of the plant pit to help hold water, see planting detail for additional

29. Over the guaranteeperiod the Landscapecontractor shall be responsible for resetting any trees or palms that are not vertical when caused by winds less than 74 mph. 30. After transplanting trees and palms, the landscape contractor shall be responsible for obtaining water and wateringto maintainsoil moisture during the guaranteeperiod at a minimum of: First month- daily, Second

month - three times per week, Third and Fourth months - two times per week, Last eight months - one time per

31. For trees over 4" in caliperat the time of planting, the schedule should be: First six weeks, daily, one and a half months to six months - three times per week, last six months - one time per week.

# SITE PREPARATION & GRADING

1. Landscapecontractor shall loosen and till compacted soils that are overly compacted in all planting areas of the project to provide for proper soil a eration for plant establishment.

Planted areasshall be cleared of underground rocks, construction debris and other materials detrimental to the health of the plants. Lime rock base material shall be removed within planting pits and adjacent to pavement. The planting areas should be clean to a depth equal to the root ball of the trees/palms proposed for the area. Planting areasoils shall be tested for ph before planting. Soils showing high (alkaline)ph (over 7.5) shall be amended or replaced with native soil having a ph range of 6.5 - 7.5, as approved by Landscape Architect.

3. All planting areas and planting pits shall be tested for sufficient percolation prior to final planting and irrigation installation to ensure proper drainage. Plant beds in parkinglots and in areas compacted by heavy equipment shall be de-compacted so that drainage is not impeded.

4. LandscapeContractorshall treatplant areaswith pre-emergence herbicide afterweeds and grass have been removed. LandscapeContractorshall wait (7) seven days afterpre-emergence treatment prior to planting. 5. Site preparation shall include the eradication and removal of any weeds, clean-up of any dead material, debris,

6. General site and berm grading to +/- 1 inch (1") shall be provided by the general contractor. All finished site grading shall be provided by the LandscapeContractor. All planting beds shall be free of all rocks 1/2" or larger, sticks, and objectionablematerialincluding weeds and weed seeds. All lime rock shall be removed/cleaneddown

to the native soils. 7. The Landscapecontractor shall ensure the planting areas are at finish grade prior to installing plant materials. 8. All trees and plant materialto remain shall be protected during construction. Contractorshall install protective

Barriers shall be located to include the drip line of the trees, palms and plant material. The contractor shall take extra caution to prevent any damage to the trunk, root zones and grade. Final grade within planting areasto be 4" below adjacentpaved areasor top of curb. Sod areasto be 2" below. 10. All planting beds shall be shaped and sloped to provide proper drainageawayfrom building and structures and

barriers such as "Tenax" or ange safety fencing or similar, to be installed before the beginning of the project.

to swales, if applicable.

Any IrrigationNotes and specifications included in IrrigationSheets govern over the following IrrigationNotes. 2. The LandscapeContractor shall coordinate with the irrigation contractor if not the same and leave provisions for

all individual trees in turf areas and all planting beds. 3. Irrigation/Landscapecontractor to guarantee 100% coverage and 50% overlap (head to head coverage) to all landscapedareasand furnish and install a rain sensor.

4. IrrigationContractor to a daptdesign to onsite conditions adjusting heads and changing nozzles as required to a void overspray onto buildings or paved areas. 5. The contractor shall ensure that the irrigation system is operational and free of leaks prior to any planting being finalized. Plant material that is installed prior to the irrigation system being operational shall be watered by the contractor at his or her expense. Waterfor plant establishment should be included in the cost of the plant.

6. All guidelines as outlined by the South Florida WaterManagement District (SFWMD) or watermanagement district with jurisdiction shall be strictly adhered to. 7. Irrigationwaterwhether pumped from a lake or a well shall be treatedfor algae, rust, etc. to provide clean treated

irrigationwaterthat will not clog or stain property or components. 8. Any existing irrigationsystem shall be retrofitted to comply with the specifications as outlined above.

HARDSCAPE & OTHER MATERIALS

1. Face of trees and palms to be located a minimum of 2' setbackfrom all fences, walkways, walls, and paved surfaces, unless otherwise indicated on the plans. Refer to details.

UTILITIES / CLEARANCES

1. The contractor shall be responsible for determining the location of and a void and protect utility lines, buried cables, and other utilities. The owner or LandscapeArchitect shall not be responsible for damageto utility or irrigationlines.

2. Trees shall be placed a minimum of 5 ft. from underground utilities, unless otherwise approved in writing by LandscapeArchitect and Owner.

3. All canopytrees to be planted min. of 15' from light source/poles. Unless otherwise approved by the governing authority/LandscapeArchitect and Owner. 4. Landscapecontractor shall contact the county, governing authority and/or utility companies to locate all

underground utilities or structures prior to digging. Landscapecontractor shall repairall damageto underground

utilities, and/or construction caused by utility damage, at no cost to the owner. 5. All plant material symbols shown on landscapeplan shall be considered diagrammaticand should be adjusted in the field by contractor to a void all utilities, and all other obstructions

6. If/ When digging in right of way needed: Two (2) full business days before digging, call toll free 1-800-432-4770, or 811, Sunshine State One Call of Florida, inc. Notification Center. In addition, call the Governing Agency's Utilities/Public Works Department. Contractors a re responsible for coordinating with the owners and appropriate public a gencies to assist in locating and verifying all underground utilities prior to excavation. All existing utilities shown on the plans are to be considered approximate and should be verified by the contractor prior to the start of work operations.

7. Above and below ground utilities shall be verified and located in the field by the contractor prior to commencing work in the project area. The contractor shall examine availa bleutility plans and confirm conflicts between indicated or located utilities and landscapework. The contractor shall then notify the Project Engineer of said conflicts and the Engineer will coordinate any necessary adjustments with the utility provider. Tree locations will

be adjusted as necessary when in conflict with existing utilities. 8. The final plant locations may be adjusted, as approved/directed by the LandscapeArchitect in writing, to

a ccommodateutilities compliance. Excavations within 5' of known utilities should be done by hand. 9. Contractor shall familiarizehimself with the location of and avoid and protect utility lines, buried cables, and all other utilities, noted or not, on plans.

11. Landscapeplanting shall be in conformance with FPL guidelines for setbacksfrom overhead utility lines. 12. Landscapingshall not interfere with light poles, fire hydrants, electrical/mechanical equipment access, signs, drainagestructures, etc. Bring to the attention of Landscape Architect any conflicts.

Root barriers will be installed to protect building foundations, curbing, walkways,paved areas,roadwaybase materialand utilities from existing large trees or proposed new trees that are within 5' of existing or new

10. Leave clearanceand access to all above ground or at grade meters and equipment

approved construction or as may be deemed necessary as job progresses. 2. MechanicalRoot barriers will be used for large existing Canopy Trees and chemical type barriers will be used for

3. MechanicalRoot barriers will be "DeepRoot" and ChemicalRoot barriers will be "Biobarrier". Substitutions must

be of approved equal or better quality.

4. Root barriers will be installed per manufacturerspecifications. 5. Root barrierdepths will be determined by the manufacturerrecommended depth chart and as required by on-site conditions in a case by case basis as deemed necessary by LandscapeArchitect Architect / ISA Arborist and LandscapeInspector.

LANDSCAPEBACKFILL & SOIL AMENDMENT All building construction material and foreign materialshall be removed from the planting areas and replaced with

70/30 mix (70% sand / 30% organic compost) or a mend existing soils per section H.2. 2. Planting soil mix shall be delivered to the site in a clean loose and friablecondition and is required around the root ball of all trees and shrubs, the top 6" of all shrubs and ground cover beds and top 2" of all grassed areas. This soil shall be tilled into the existing soil afterthe existing soil has been cleaned of all undesirable foreign

materials.Recycled compost is encouraged as a soil amendment alternative.Planting soil to be weed free. Planting backfillfor palms shall be clean coarsenative sand unless specified elsewhere. 4. Do not allow air pockets to form when backfilling. All trees shall be watered-inutilizing water probe or a tree bar.

1. All plant material must meet or exceed the minimum size requirements as specified on the plant list. Height specification governs over containersize if both specifications given cannot be met. Any other requirements for specific shape or effect as noted on the plan shall also be required for acceptance. 2. Material specified as Balled and Burlapped (B&B) can be accepted in container if not available as B&B at the

discretion of LandscapeArchitect; if so, root bound and/or circling roots shall be removed and root ball must be 3. U.O.N, All trees designated as single trunk shall have a single, relatively straight, dominant leader, proper structuralbranching and even branch distribution. Trunks on palms shall be uniform in thickness for the entire length of the palm and shall not taper off to disproportionate thinness towards the crown. Trees with bark

inclusion, tipped branches, and co-dominant trunks will not be accepted. Trees with girdling, circling and/or plunging roots will be rejected. 4. Use nursery grown plant materials that complies with all required inspection, grading standards, and plant regulations in accordancewith the latest edition of Florida Department of Agriculture, "Grade & Standards for

All trees and palms shall be free of open wounds and unsightly visible scars.

6. All substitutions must be approved by the governing authority if it is required Canopy and by LandscapeArchitect / Owner if supplementary accent material.

7. Contractor shall comply with Federal, State, and Locallaws and regulations pertaining to the inspection for plant disease and insect infestation. 8. Trees, palms, shrubs, ground covers:

Plant species and sizes shall conform to those indicated on the drawings. All nursery stock shall be in a ccordancewith grades and standardsfor nursery plants parts 1 and 2, latest edition published by the Florida Department of Agriculture and Consumer Services, unless specified otherwise. All plants shall be Florida grade number 1 or better as determined by the Florida Division of Plant Industry and tightly knit plant, so trained or favored in its development that first appearances unquestionable and it is outstandingly superior in form, number of branches, compactness and symmetry. All plants shall be freshly dug, sound, healthy, vigorous, well branched and free of disease and insect eggs and larvaeand shall have adequate root systems. Trees and palms shall be uniform in size and shape. All materials shall be subject to approval by the Landscapearchitect.

Plants shall be pruned prior to delivery only upon the approvalof the LandscapeArchitect. 9. All containergrown materialshall be healthy, vigorous, well-rooted plants and established in the containerin which they are sold. The plants shall have tops of good quality and be in a healthy growing condition. An established container grown plant shall be transplantedinto a container and grown in that container sufficiently long enough for the new fibrous roots to have developed so that the root mass will retain its shape and hold

together when removed from the container. 10. Field grown trees and palms previously root pruned shall obtain a root ball with sufficient roots for continued

growth without resulting shock. 11. Root suckers on any tree are not acceptableand must be properly pruned.

12. Contractor shall coordinate with Landscape Architect and Owner to obtain prior approval for the selection of the specific specimens of all palms and any trees of more than six feet in height. Contractor to supply photograph of trees prior to purchase and installation.

PLANTING NOTES

1. At the discretion of the LandscapeArchitect, plants are subject to review for approvalfor size, variety, condition and appropriateness to the design intent.

2. All synthetic burlap, synthetic string or cords, or wire baskets shall be removed before any trees are planted. All synthetic tape (i.e. tagging tape, nursery tape) shall be removed from trunks, branches, etc. before inspection. The top 1/3 of any natural burlap shall be removed or tucked into the planting hole before the trees are back

3. All "groundcover" requires 75% coverage and 100% within 3 months of installation. Bring to the attention of LandscapeArchitect in writing before commencing if this is not achievablewith the design. 4. Set tree no deeper than it was in its original growing condition with the top of the root ball even with, or slightly higher (+/- 1") than the finished grade.

5. All trees/palmsshall be planted so the top of the root ball, root flairare slightly above final grade. Shrub material shall be planted such that the top of the plant ball is flush with the surrounding grade. 6. All trees and palms shall be braced/ staked per accepted standards by the Florida Nursery, Growers & LandscapeAssociation(FNGLA). Nailing into trees and palms for any reason is prohibited and the material will

be rejected. Please refer to the planting details. 7. All trees, new or relocated, to be staked and guyed as detailed.

8. Layout shrubs to create a continuous smooth front line and fill in behind with triangular spacing. 9. Excavatepit or trench to 1-1/2 times the diameter of the balls or containers or 1' wider than the spread of roots and 3" deeper than required for positioning at proper height. Compacta layer of topsoil in bottom before placing plants. Backfillaround plants with planting mixture, compacted to eliminate voids and air pockets. Form grade slightly dished and bermed at edges of excavation. Apply 3" of mulch.

10. Groundcover and shrubs to be spaced in a uniform and consistent patternper planting details. 11. All mechanical equipment, irrigation pumps, FPL transformers, pool pumps, etc. shall be screened on a minimum of three sides by landscapeshrubs.

12. Contractor shall not mark or scartrunks in any fashion. 13. When requested by LandscapeArchitect, demonstration of healthy root system if not previously approved, can include tree removal and re-installation for inspection at no additional cost to the owner.

14. Remove rejected Plant material from the Site immediately and replace with acceptable plants.

1. All Fertilization shall comply with state fertilization laws. Fertilization shall be Agriform "20-10-5 Plus minors" or similar approvedslow-releasetablets applied per manufacturersuggested application rate chart:

Agriform® 21-gm Tablets (SKU# 90026\*; 500 tablets/case)

NEW Tree / Shrub Container Size 1 Gal 2 Gal 3 Gal 5 Gal 7 Gal 15 Gal 24" Box Installation: 1 1 to 2 2 to 3 2 to 3 3 to 5 7 to 10 15 to 24

 Place plant in the hole and backfillto halfwaypoint. Do not place tablets in the bottom of the planting hole. • Place Agriform Tablets in the hole about 1 to 2 inches away from root tips.

Finish filling the hole around the plant to grade level.

SCOTTS: 1-800-492-8255 or visit www.scottspro.com

1. All areasdisturbed during construction shall be sodded with St. Augustine 'Seville' unless otherwise noted. These disturbed areasshall have proper irrigation established or re-established if they were disrupted or

LandscapeContractor to supply and install 2" soil layer 50/50 mix blanketfor all new sod areas. 2. All open areasnot covered by trees, palms, shrubs, vines, ground covers or existing sod in good condition to remain, shall receive Stenota phrum Secundatum, St. Augustine 'Seville' sod, whether la beled on the plans or not, unless a different species is indicated on the planting plan. Sod shall be strongly rooted, free from weed, fungus, insects and disease. Contractorshall be paid by the total sodded areax the unit price submitted (field verified).

3. Sod shall be machine stripped no more than 24 hours prior to laying. 4. Lay sod strips with tight joints, do not overlap, stagger strips to offset joints in a djacent courses. Work sifted soil mix into minor cracks between pieces of sod and remove excess soil deposits from sodded areas. Sod on slopes greaterthan 3:1 shall be immediately staked afterplanting.

1. Submit 1 gallon container of all planting media for landscapearchitectreview. Samples to include specified planting mix, topsoil, container planting mix (if applicable) and mulch.

2. Submit representative nursery photos of all Trees and Palms for review prior to delivery to the site. Include scale 3. Submit representative nursery photos of all shrub and groundcover material for review prior to delivery to the site.

INSPECTION & ACCEPTANCE

Notify the governing Agency if required and Landscape Architect of commencement 2. Onsite plant deliveries shall occur on Monday through Friday only unless otherwise directed by the Landscape Architect / Owner. The contractor shall ensure that plant materialis delivered undamaged from transportation or

digging operations. The Landscape Architect may reject material that has been damaged or rendered

una ccepta bledue to relocationor transportation from the point of origin. All plant materialshall be availablefor inspection and approvalby the LandscapeArchitect prior to final installation. 3. There shall be one final inspection for approval by each of the presiding governing agency, Landscape Architect and owner. Contractor shall ensure that the plans, details, specifications and notes have been adhered to and that the landscapeand irrigation installation is compliant to all items as directed on the plans prior to scheduling of the final inspection

4. Upon completion of the work, the LandscapeContractorshall notify the LandscapeArchitect and request a final inspection. Any items that are judged incomplete or unacceptable by the Landscape Architect or owner shall be promptly corrected by the LandscapeContractor.

5. No substitution of plant material, type or sizes will be permitted without prior written authorization from the LandscapeArchitect and owner. 6. To obtainfinal payment, Contractormust provide release of all mechanic's liens and materialliens.

All planting beds shall be mulched to a depth of 3" with an organic mulch approved by Landscape Architect. No heavy metals, such as arsenic, etc. are to be contained in the mulch. The contractor shall provide certification if requested or proof that all mulch is free of heavy metals or similar environmental contaminants.

2. Shredded approvedorganic mulch to be used beyond trunk in all directions and throughout all hedges and plant

3. All trees in sodded areasshall have a clean cut 4' diameter mulch ring. 4. Preferred mulch is shredded melaleuca. Cypress, red, gold and green mulch is prohibited. 5. All mulch shall have a minimum 3" separation from the trunk of the tree/palmtrunk to avoid rotting.

1. All plant materials hall be watered in thoroughly at the time of planting. 2. It is the sole responsibility of the LandscapeContractorto ensure that all new plantings receive a dequate water during the installationand until completion of contract. Deep watering of all new trees and palms and any supplemental watering that may be required to a ugment natural rainfalland site irrigation is mandatory to ensure

proper plant establishment and development and shall be provided by Contractoras a part of this contract.

V. CLEAN UP 1. The LandscapeContractor is responsible for maintainingall landscape planting area suntil final acceptance of

2. The contractor is responsible for mowing the entire project during planting and establishment periods, based on mowing project once a month from October to April, and twice a month from April to October (During installation and plant establishment only and until final inspection and owner accepts and takes ownership). Any excess soil, undesired stones or debris resulting from landscapeoperations shall be removed promptly,

keeping the site clean as work progresses. 4. The LandscapeContractor shall at all times keep the premises free from a ccumulation of waste material or debris caused by their crews during the performance of the work. Upon completion of the work, the contractor shall promptly remove all wastematerials, debris, unused plant material, empty plant containers, and all

equipment from the project site.

MAINTENANCE LandscapeContractor to return to job site 12 months aftertree bracing and remove all tree braces. Owner may choose to retain 5% of payment to ensure compliance.

2. The LandscapeContractor shall water, mulch, weed, prune, and otherwise maintainall plants, including sod, until completion of contractor acceptanceby landscapearchitect. Settled plants shall be reset to proper grade, planting saucers restored, and defective work corrected. 3. Trees and shrubs shall be maintained to keep clear anceof stop signs and safety clear ancefor visibility at traffic

GUARANTEE & REPLACEMENT 1. By accepting the contract, the Contractoris thereby guaranteeing all plant materials and design for a period of not less than one (1) year from the time of final acceptanceby the owner. Contractor shall replace any plants which die or wither within such period with healthy plants that meet specifications of the same species and size without additional cost to the owner unless such death or withering is due to Owner's failure to do ordinary maintenanceon such plants afterfinal acceptancein accordancewith any maintenanceinstructions given by LandscapeArchitect for such plants. Such replacementshall include all plants and laborto plant the replacement plants. Any plant materialsdamaged by lightning, storms, freeze damage or other "acts of God" as well plants damaged by vehicles, vandalismor neglect are not included in this replacement agreement. If requested, the LandscapeArchitect may act as a mediator between owner and LandscapeContractoron a time materialbasis. "Plants" includes all trees, palms, shrubs, grass and other plants provided or planted by Contractor.

MISCELLANEOUS.

document shall control.

1. All work to be done in a professionalmanner. 2. No change order shall be valid, due or paid unless it is approved by Owner in writing in advance. 3. These notes shall be an integral part of the contractor Contractor and shall be deemed incorporated therein by reference. In the event of a conflict among the terms among the plans and these notes, the terms of this

ABBREVIATIONS IN NOTES AND PLANS

UNO = Unless Otherwise Noted L.A = LandscapeArchitect S.F. = Square Feet STD = Standard(single trunk) B&B = Balled and Burlapped BLDG DEP = Building Department RFI = Request for Information FPL= Florida Power & Light C.O. = Certificate of Occupancy ISA CA or ISA Arborist = International Society of Arboriculture Certified Arborist

301 East Atlantic Boulevard Pompano Beach, FL 33060

PH: (954) 788-3400

Florida Certificate of Authorization # - 7928

BID / CONTRACT NO.

REVISIONS DESCRIPTION DATE NO.

> SABBIA BEACH -**PARCELB**

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

SCALE: **AS NOTED** DATE ISSUED: **NOVEMBER 2020** DRAWNBY: **DESIGNED BY** JR,MP CHECKED BY: MP

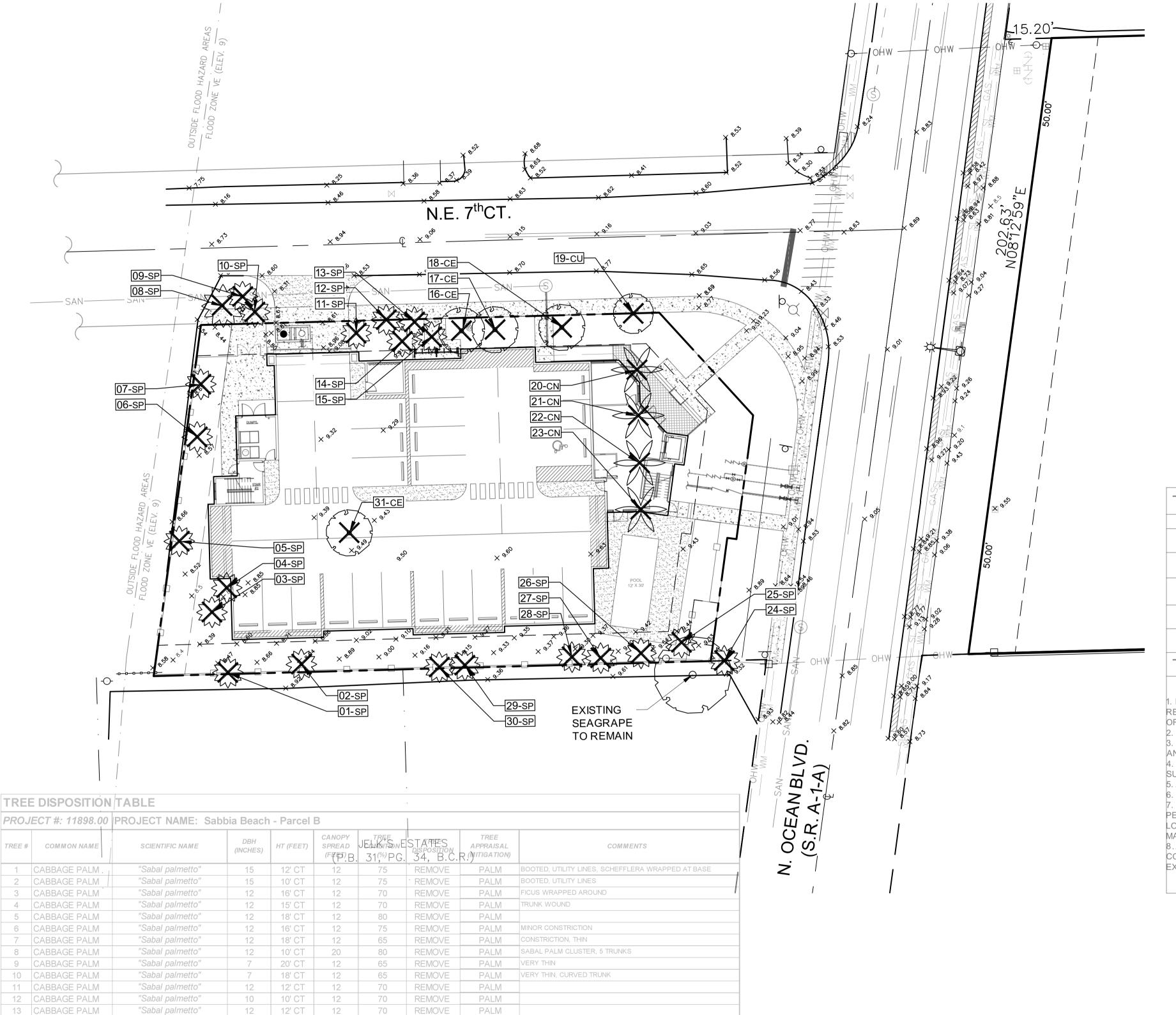
MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

LANDSCAPE **NOTES** 

SHEET NUMBER

LP-001



PALM

EXPOSED ROOTS, LEANING, SHARED CANOPY

TRUNK WOUND, LEANING, OPEN CANOPY, WIND DMG

TREE REMOVAL SUMMARY

PROPOSED TREE SUMMARY

((1)caliper inch required per (1)DBH inch removed, Non-Specimen) TOTAL DBH TO BE REMOVED

TOTAL QTY OF PALMS TO BE REMOVED

TOTAL NUMBER OF PALMS PROPOSED

TOTAL QTY OF PALMS TO BE RELOCATED

TOTAL CALIPER INCHES OF PROPOSED TREES

ONE-SIDED CANOPY, CO-DOMINANT

MAJOR TRUNK WOUND

UTILITY LINES

UTILITY LINES

UTILITY LINES

CO-DOMINANT

BOOTED, UTILITY LINES

REMOVE

14 CABBAGE PALM

15 CABBAGE PALM

16 BUTTONWOOD

17 BUTTONWOOD

18 BUTTONWOOD

20 COCONUT PALM

21 COCONUT PALM

22 COCONUT PALM

23 COCONUT PALM

24 CABBAGE PALM

25 CABBAGE PALM

26 CABBAGE PALM

28 CABBAGE PALM

29 CABBAGE PALM

30 CABBAGE PALM

31 BUTTONWOOD

CABBAGE PALM

19 SEAGRAPE

"Sabal palmetto"

"Sabal palmetto'

Conocarpus erectus

Conocarpus erectus

Conocarpus erectus

"Coccoloba uvifera"

"Cocos nucifera"

"Cocos nucifera"

"Cocos nucifera" "Cocos nucifera"

'Sabal palmetto

'Sabal palmetto

'Sabal palmetto

Sabal palmetto

'Sabal palmetto'

'Sabal palmetto'

"Sabal palmetto"

'Conocarpus erectus"

5 | 15

TREE DISPO	DSITION LEGEND
SYMBOL	DESCRIPTION
	EXISTING TREE / PALM TO REMAIN (NO SYMBOL) TO BE PROTECTED DURING CONSTRUCTION
$\triangle$	EXISTING TREE / PALM TO RELOCATE. REFER TO LANDSCAPE PLAN FOR NEW LOCATION
X	EXISTING TREE / PALM TO REMOVE. REMOVE ALL CAT 1 INVASIVE EXOTICS. (EX: BRAZ, PEPPER)
XXX-xx	EXISTING TREE / PALM NUMBER. REFER TO TREE DISPOSITION TABLE ON LD-102

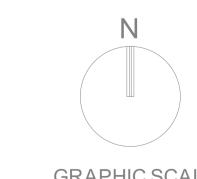
# TREE DISPOSITION NOTES

EXISTING TREES TO REMAIN SHALL BE TRIMMED PER ANSI-A300 STANDARDS REMOVING WEAKEST RUBBING BRANCHES AND DEAD BRANCHES, BUT RETAINING 80% OF FOLIAGE. LARGE TREES SHALL HAVE LOWER BRANCHES CLEARED UP TO 8'. 2. SYMBOLS MAY BE SHOWN OFFSET FROM ACTUAL TREE LOCATION FOR CLARITY. 3. CONTACT LANDSCAPE ARCHITECT / ISA CERTIFIED ARBORIST FOR CLARIFICATION ON ANY DISCREPANCIES.

4. TRIMMING AND ANY NECESSARY ROOT PRUNING SHALL BE PERFORMED OR SUPERVISED BY A CERTIFIED ARBORIST.

5. ALL TREE WORK REQUIRE PERMITTING BY A REGISTERED COUNTY TREE TRIMMER. 6. BUBBLERS SHALL BE PROVIDED FOR ALL RELOCATED TREES AND PALMS. 7. REMOVAL OF ANY TREES OR PALMS WILL REQUIRE A WRITTEN "TREE REMOVAL PERMIT" FROM THE LOCAL GOVERNING AGENCY PRIOR TO REMOVAL. CONFIRM WITH LOCAL GOVERNING AGENCY THAT TREES CLASSIFIED AS NUISANCE/EXOTIC INVASIVE MAY BE EXEMPT.

8. ALL TREES AND PLANT MATERIAL TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION. REFER TO TREE PROTECTION DETAIL. THE CONTRACTOR SHALL TAKE EXTRA CAUTION TO PREVENT ANY DAMAGE TO THE TRUNK, ROOT ZONES AND GRADE.



**GRAPHIC SCALE** 

SCALE: 1"=20'

NOTE: PRINTED DRAWING SIZE MAY HAVE CHANGED FROM ORIGINAL. VERIFY SCALE USING BAR SCALE ABOVE.



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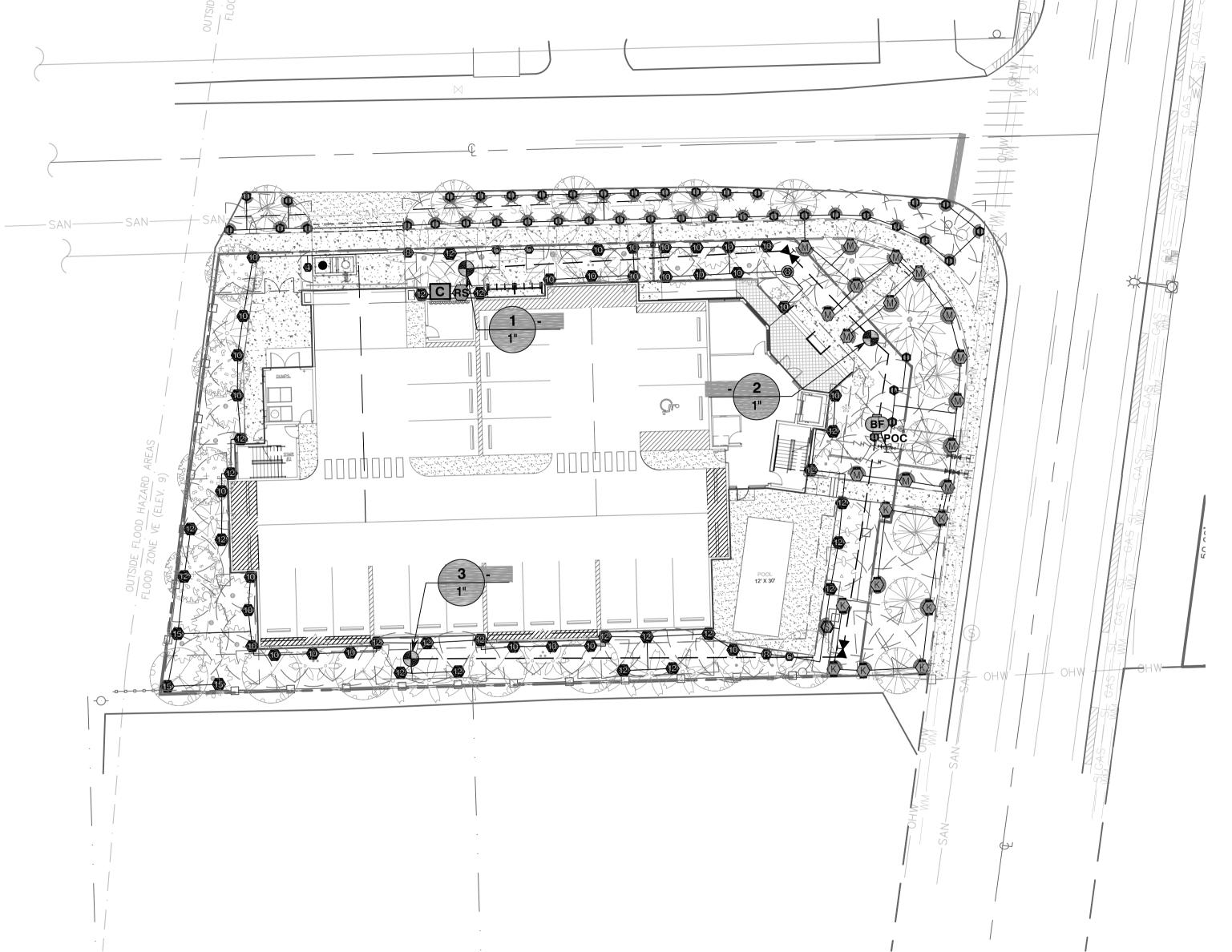
SHEET TITLE

TREE DISPOSITION PLAN

SHEET NUMBER

LD-101

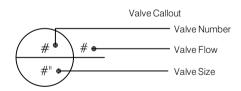
PROJECT NO. 118



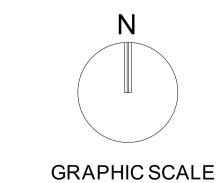
# NOTES:

- 1. ALL SOD AND LANDSCAPE TO RECEIVE 100% COVERAGE WITH 100% OVERLAP FROM AN AUTOMATIC IRRIGATION SYSTEMUSING AN APPROVED WATER SOURCE.
- 2. A RAIN SENSOR MUST BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- 3. BUBBLERS TO BE PROVIDED FOR NEW AND RELOCATED TREES AND PALMS.
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL CONDITIONS AND IRRIGATION SPECIFICATION ATTACHED TO THIS PLAN. PLAN AND SPECIFICATIONS SHALL BE CONSIDERED CONTRACT DOCUMENTS.
- 5. INVESTIGATE TO DETERMINE AND VERIFY THE LOCATION OF UNDERGROUND UTILITIES BEFORE EXCAVATION.
- 6. REFER TO SHEET LI-501 FOR ADDITIONAL IRRIGATION SPECIFICATIONS AND DETAILS.

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
<b>89 89 89</b> 08 0 € € € € € € € € € € € € € € € € €	HUNTER PROS-12 8` RADIUS SHRUB SPRAY, 12.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	1
0 0 0 0 0 0	HUNTER PROS-12 ADJUSTABLE ARC SHRUB SPRAY, 12.0" POP-UP. CO-MOLDED WIPER SEAL WITH UV RESISTANT MATERIAL.	61
LST SST RST	HUNTER MP STRIP PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. LST=IVORY LEFT STRIP, SST=BROWN SIDE STRIP, RST=COPPER RIGHT STRIP.	1
	HUNTER MP1000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. M=MAROON ADJ ARC 90 TO 210, L=LIGHT BLUE 210 TO 270 ARC, O=OLIVE 360 ARC.	15
<b>® ®</b>	HUNTER MP2000 PROS-06-PRS40-CV TURF ROTATOR, 6" POP-UP WITH FACTORY INSTALLED CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. K=BLACK ADJ ARC 90-210, G=GREEN ADJ ARC 210-270, R=RED 360 ARC.	8
<b>Ф Ф</b> 800 A 800 F	HUNTER MP800SR PROS-06-PRS40-CV TURF ROTATOR, 6.0" POP-UP WITH CHECK VALVE, PRESSURE REGULATED TO 40 PSI, MP ROTATOR NOZZLE ON PRS40 BODY. ADJ=ORANGE AND GRAY (ARC 90-210), 360=LIME GREEN AND GRAY (ARC 360)	42
25 50 10 20	HUNTER PCB 10 FLOOD BUBBLER, 1/2" FIPT. ADD 2 BUBBLERS PER TREE, BUBBLERS PLAN WILL BE PROVIDED ON NEXT SUBMITTAL.	1
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY
•	HUNTER ICV-G 1" 1", 1-1/2", 2", AND 3" PLASTIC ELECTRIC REMOTE CONTROL VALVES, GLOBE CONFIGURATION, WITH NPT THREADED INLET/OUTLET, FOR COMMERCIAL/MUNICIPAL USE.	3
×	LEEMCO DLMV-1111BB 110MM X 110MM LMV-BB SERIES MAINLINE GATE VALVE. THE BELL X BELL VERSION PROVIDES IN-LINE ISOLATION WHERE THE LOCATION IS NOT NEAR A MAINLINE DUCTILE IRON FITTING.	2
BF	FEBCO 765 1-1/2" PRESSURE VACUUM BREAKER, BRASS WITH BALL VALVE SOV. INSTALL 12" (305MM) ABOVE HIGHEST DOWNSTREAM OUTLET AND THE HIGHEST POINT IN THE DOWNSTREAM PIPING.	1
C	HUNTER HC-6 6 STATION CONTROLLER WITH WI-FI CONNECTION	1
RS	HUNTER SOLAR-SYNC SOLAR, RAIN FREEZE SENSOR WITH OUTDOOR INTERFACE, CONNECTS TO HUNTER PCC, PRO-C, AND I-CORE CONTROLLERS, INSTALL AS NOTED. INCLUDES 10 YEAR LITHIUM BATTERY AND RUBBER MODULE COVER, AND GUTTER MOUNT BRACKET. WIRED.	1
POC H	POINT OF CONNECTION 1-1/2"	1
	IRRIGATION LATERAL LINE: PVC SCHEDULE 40	1,431 L.I
	IRRIGATION MAINLINE: PVC SCHEDULE 40	319.1 L.



VALVE SCHEDULE				
NUMBER	MODEL	SIZE	TYPE	GPM
1	HUNTER ICV-G	1"	SHRUB SPRAY	0.00
2	HUNTER ICV-G	1"	TURF ROTARY	0.00
3	HUNTER ICV-G	1"	SHRUB SPRAY	0.00



SCALE: 1"=20'

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Digitally signed 13:12:15 -05'00

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

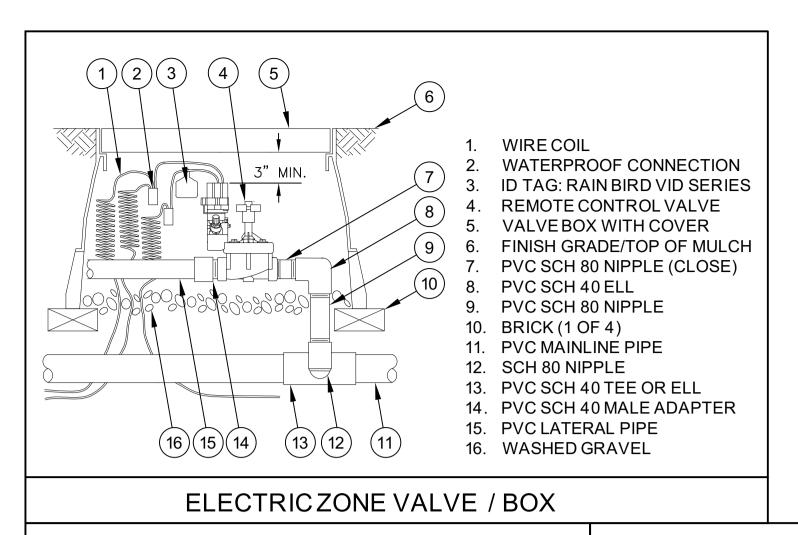
SHEET TITLE

IRRIGATIONPLAN

SHEET NUMBER

LI-101

PROJECT NO. 1189 ... 0



**FINISH GRADE** 

SWING JOINT;

12" POP-UP SPRAY HEAD

POP UP SPRAY BODY

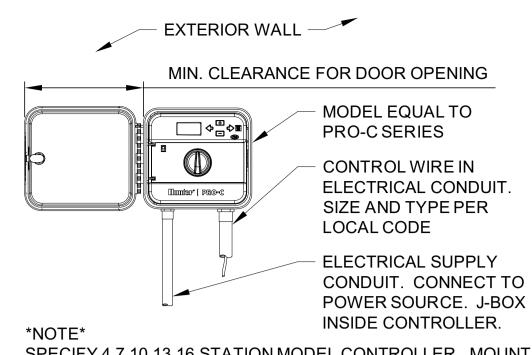
HUNTER 'PRO-FLEX' TUBING,

MARLEX STREET ELBOW (1)

LATERAL TEE OR ELL

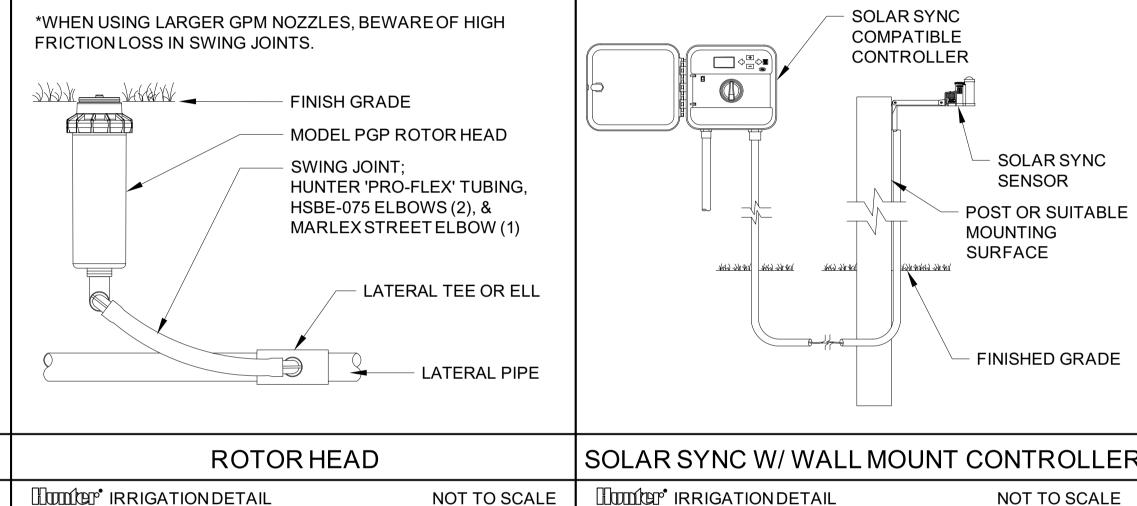
LATERAL PIPE

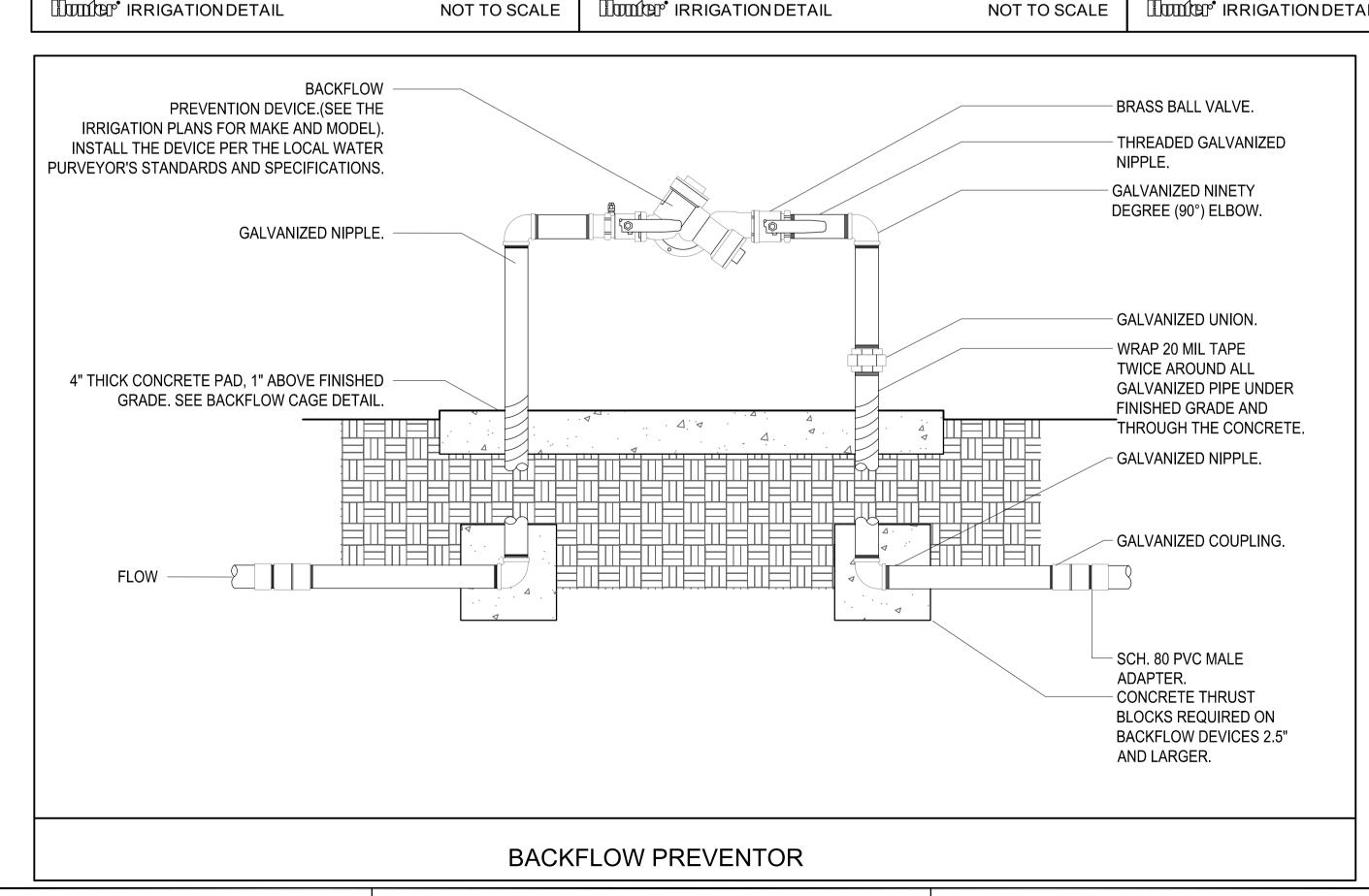
HSBE-050 ELBOWS (2), &



\*NOTE\*
SPECIFY 4,7,10,13,16 STATION MODEL CONTROLLER. MOUNT
CONTROLLER WITH LCD SCREEN AT EYE LEVEL.
CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110
VAC SOURCE.

# CONTROLLER





# **IRRIGATION NOTES**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL MATERIAL REQUIRED TO MAKE THE SYSTEM FUNCTION PROPERLY. ALL IRRIGATION SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND ALSO STATE AND/OR LOCAL CODES.
- 2. IRRIGATION PLANS ARE SCHEMATIC AND DRAWN FOR GRAPHIC CLARITY. ALL PIPING BELOW PAVING SHALL BE SLEEVED. LAYOUT OF IRRIGATION SYSTEM SHALL BE COORDINATED WITH CORRESPONDING LANDSCAPE PLAN.
- 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING LOCAL UNDERGROUND UTILITY PROVIDERS TO VERIFY LOCATIONS. THE CONTRACTOR IS ENCOURAGED TO VISIT THE SITE PRIOR TO INSTALLATION AND BECOME FAMILIAR WITH EXISTING CONDITIONS.
- 4. VALVE LOCATIONS ARE SCHEMATIC ONLY AND WILL BE ADJUSTED FOR SITE CONDITIONS. EACH VALVE SHALL BE INSTALLED IN A AMETEK OR CARSON VALVE BOX. THE FLOW ADJUSTMENT FEATURE WILL BE USED TO BALANCE PRESSURE THROUGHOUT THE SYSTEM.
- 5. PIPING SHALL BE SIZED TO MINIMIZE FRICTION LOSS AND MAINTAIN FLOW VELOCITY BELOW 5 FPS.
- 6. THE IRRIGATION CONTROLLER SHALL BE INSTALLED IN ACCORDANCE WITH LOCAL CODES AND MANUFACTURER'S RECOMMENDATIONS. PROPER GROUNDING EQUIPMENT AND SURGE PROTECTION SHALL BE PROVIDED. A RAIN SENSOR SHALL BE INSTALLED TO OVER-RIDE THE CONTROLLER.
- ALL HEADS ON RISERS SHALL BE SET AT THE HEIGHT OF ADJACENT PLANT MATERIAL.
- SPRINKLER LOCATIONS ADJACENT TO PAVEMENT, STRUCTURES, FENCES, ETC.
  SHALL BE OFFSET AS FOLLOWS: 12" MIN FOR POP-UP MIST HEADS, 18" FOR SHRUB
  RISERS, 18" FOR ROTOR HEADS, AND TYPICALLY 5 FEET FOR ROTORS ALONG
  UNCURBED ROADWAYS.
- 9. ALL SLEEVING SHALL BE SCH 40 PVC TO SIZE INDICATED ON PLAN, OR IF NOT INDICATED, A MIN. OF 2 PIPE SIZES LARGER THAN SUPPLY LINE CONTAINED. ALL SLEEVES SHALL BE INSTALLED A MIN. OF 18" BELOW FINISH GRADE.
- 10. CONTROL WIRES SHALL BE UL APPROVED PE IRRIGATION CONTROL WIRE. USE 14 GAGE CONTROL WIRE AND 12 GAGE GROUND WIRE. WIRE SHALL BE BUNDLED AND ATTACHED TO THE MAIN LINE IN TRENCH OR THROUGH WIRE SLEEVES AT PAVEMENT CROSSINGS 24" BELOW FIN. GRADE. ALL SPLICES SHALL BE MADE WITH WATERPROOF DIRECT-BURIAL SPLICE KITS AND CONTAINED IN VALVE BOXES. TWO EXTRA CONTROL WIRES SHALL BE INSTALLED TO THE FURTHEST VALVES IN EACH DIRECTION FROM THE CONTROLLER.
- 11. PIPING IN NARROW PLANTING AREAS, PARKING ISLANDS AND PLANTERS SHALL BE SET TO ONE SIDE TO ALLOW ROOM FOR ROOT BALLS. PIPE AS INDICATED ON PLAN IS SCHEMATIC AND SHOULD BE ADJUSTED FOR FIELD CONDITIONS.
- 12. ALL GLUE JOINTS SHALL BE CLEANED, SANDED, AND TREATED WITH A COLORED HIGH ETCH PRIMER AND JOINED USING A SOLVENT CONFORMING WITH ASTM D2564.
- 13. SYSTEM PIPE SIZE 3/4" SHALL BE CLASS 200 PVC; SYSTEM PIPE SIZE 1" OR GREATER SHALL BE CLASS 160 PVC. SYSTEM MAIN WILL BE SCH. 40 PVC TO SIZE INDICATED ON PLAN. ALL FITTINGS WILL BE SOLVENT WELD SCH 40 PVC. MAIN LINE SHALL HAVE 24" MINIMUM COVER; ALL OTHER PIPING WILL HAVE 12" MIN. COVER. ALL BACKFILL FOR PIPE TRENCHES SHALL BE CLEAN AND FREE OF FOREIGN DEBRIS AND SHARP OBJECTS; BACKFILLED TRENCHES SHALL BE PROPERLY COMPACTED. ALL MAIN LINES WILL BE INSTALLED A MIN. OF 3' FROM ANY TREE OR PALM.
- 14. WATERINGTIME PER STATION WILL BE DETERMINED IN THE FIELD AND PER LOCAL REQUIREMENTS. REFER TO MANUFACTURER'S INSTRUCTIONS FOR PRECIPITATION RATES OF SPRINKLERS SPECIFIED.
- 15. IRRIGATION SYSTEM TO PROVIDE 100% COVERAGE WITH 100% OVERLAP MIN. PROVIDE BUBBLERS FOR ALL NEW AND RELOCATED TREES AND PALMS.
- 16. RUST CONTROL SYSTEM TO BE INSTALLED WITH PUMP STATION (IF FROM WELL).
- 17. THE IRRIGATION SYSTEM IN THE RIGHT-OF-WAY IS TO INCORPORATE LOW TRAJECTORY SPRAY HEADS TO MINIMIZE OVERSPRAY.
- 18. AS-BUILT DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR AND GIVEN TO THE OWNER PRIOR TO FINAL ACCEPTANCE.

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301 East Atlantic Boulevard Pompano Beach, FL 33060

Florida Certificate of Authorization # - 7928

PH: (954) 788-3400

BID / CONTRACT NO. :

REVISIONS

O. DESCRIPTION DATE

SABBIA BEACH - PARCELB

NE 7<sup>th</sup> COURT AND SR A-1-A POMPANO BEACH, FL 33062

SCALE: AS NOTED

DATE ISSUED: NOVEMBER 2020

DRAWNBY: JR

DESIGNED BY: JR,MP

CHECKED BY: MP

Michael Digitally signed by Michael J

by Michael J Phillips Date: 2021.03.10 \$ 13:12:52 -05'00'

PS

MICHAEL J. PHILLIPS, RLA FLORIDA REG. NO. LA0001540 (FOR THE FIRM)

SHEET TITLE

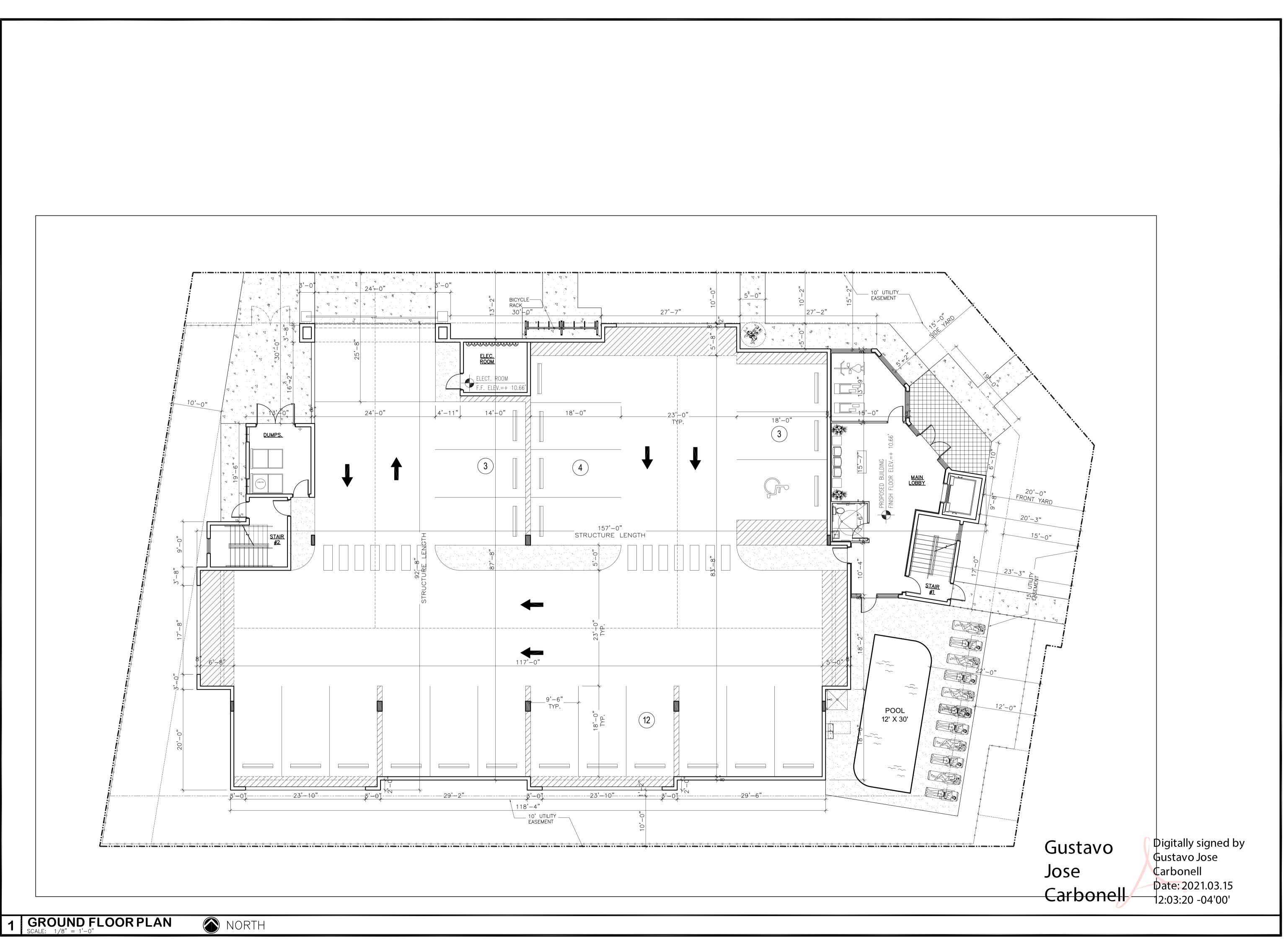
IRRIGATION DETAILS & NOTES

SHEET NUMBER

LI-501

PROJECT NO. 1189 1.0 0

20-13000007 /28/21

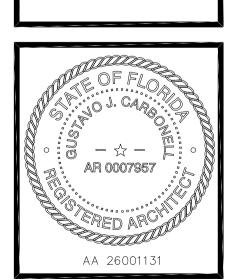


REVISION BY:

103-11-2021 M.J.G.

Architect and Planner
1457 N.E. 4th AVE.
Ft. Lauderdale, Florida, 33304
(954) 462–6565

OPOSED MULTIFAMILY DEVELOPMENT
SABBIA BEACH PARCEL B



DRAWN M.J.G.

CHECKED G.J.C.

DATE JUNE 2020

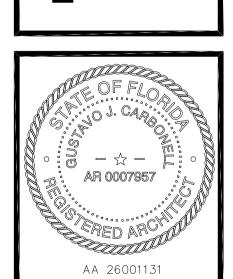
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JOB. NO. 20-025

PZ20-130000007
4/28/21



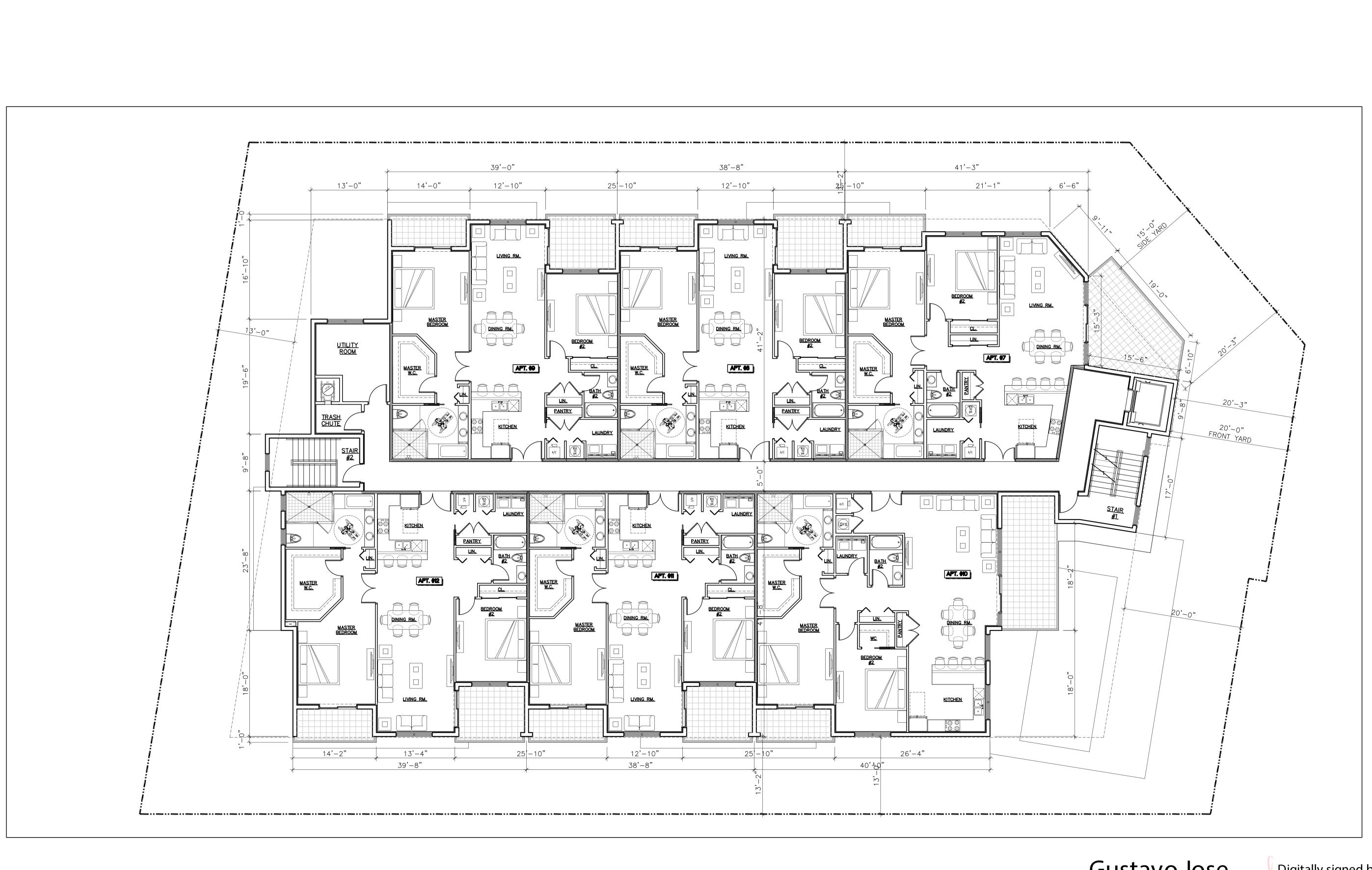
/1\03-11-2021 M.J.0



CHECKED G.J.C. DATE JUNE 2020 SCALE AS NOTED JOB. NO. **20-025** 

Gustavo Jose Digitally signed by Gustavo Jose Carbonell Carbonell

Date: 2021.03.15 12:03:57 -04'00'



REVISION BY:

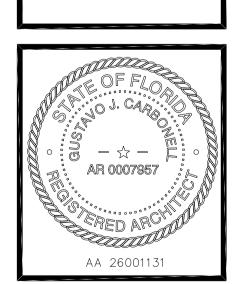
103-11-2021 M.J.G.

nd Planner
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Florida, 33304
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Architect and F 1457 N.E. 4th Ft. Lauderdale, Florio (954) 462–69 Member American Institut

GU PM BM

OPOSED MULTIFAMILY DEVELOPMENT F
SABBIA BEACH PARCEL B



DRAWN M.J.G.

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DATE JUNE 2020

SCALE AS NOTED

JOB. NO. 20-025

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PZ20-13000007 4/28/21

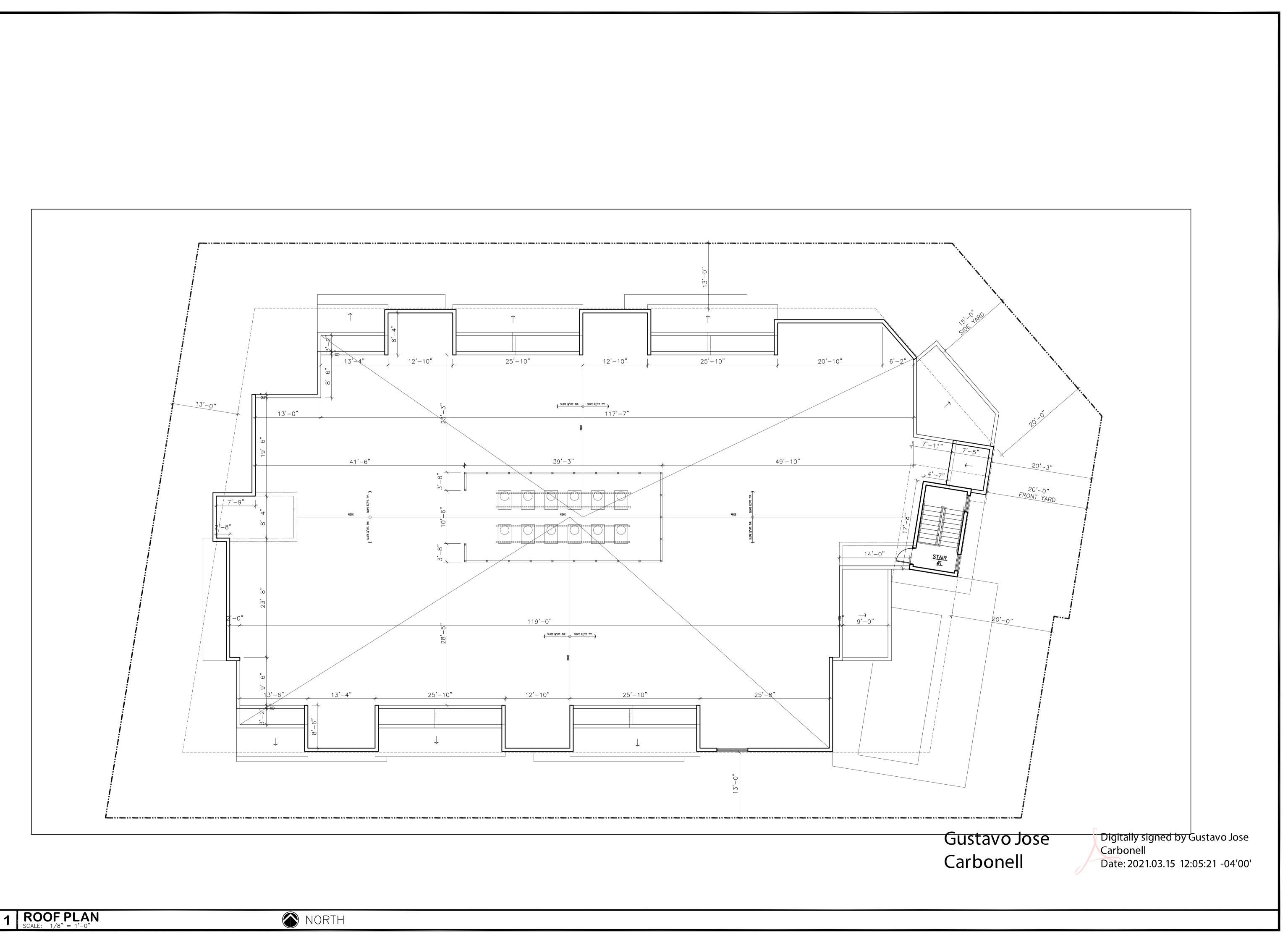
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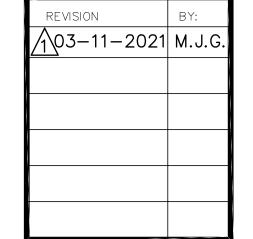
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NORTH

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THIRD FLOOR PLAN
SCALE: 1/8" = 1'-0"

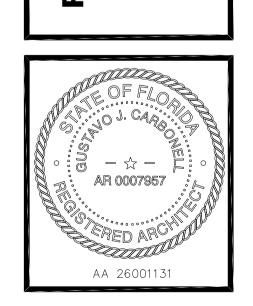




3304 Architects

Architect and Planner 1457 N.E. 4th AVE. Ft. Lauderdale, Florida, 33304 (954) 462-6565 Member American Institute of Arch

SABBIA BEACH PARCEL B



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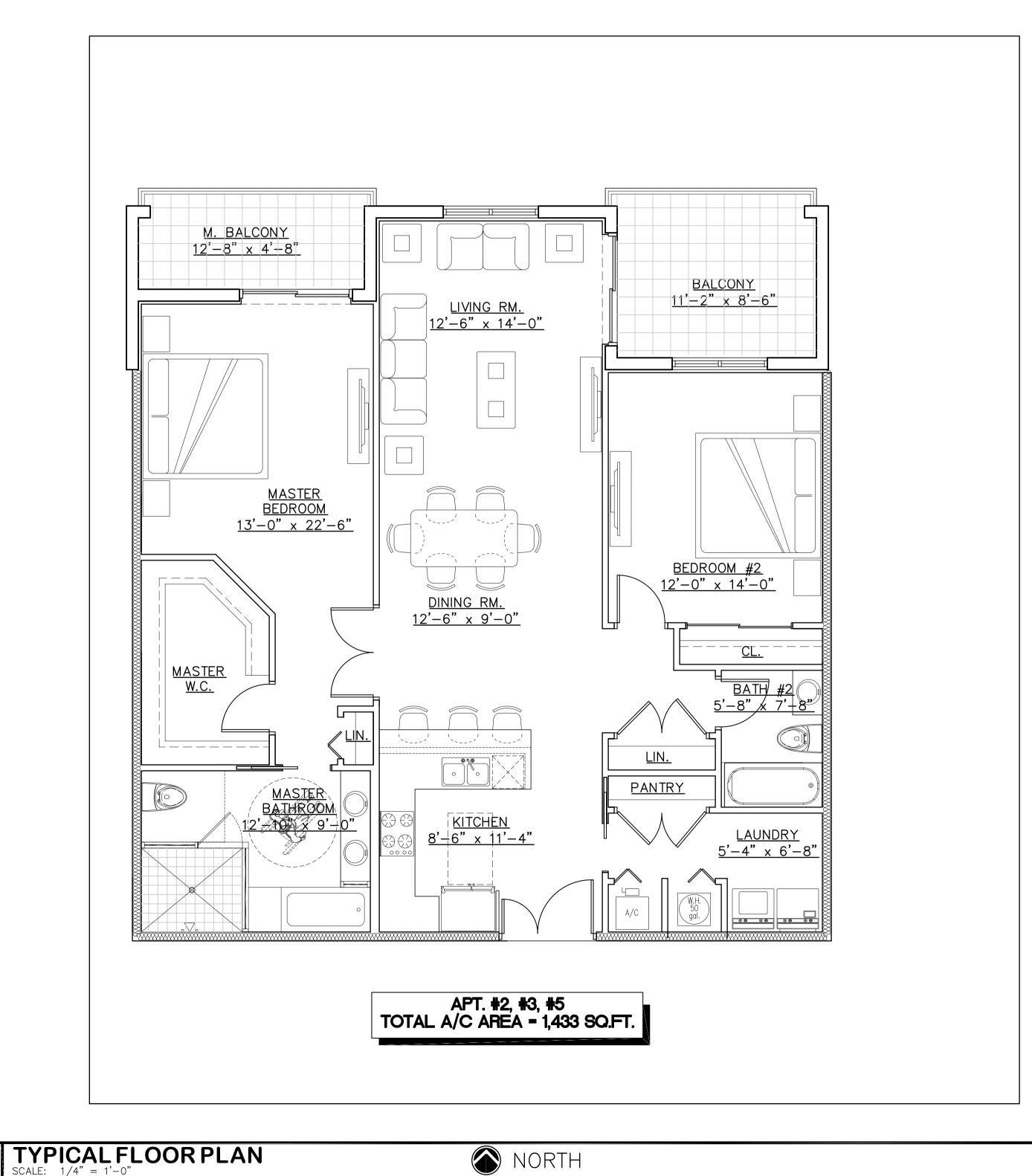
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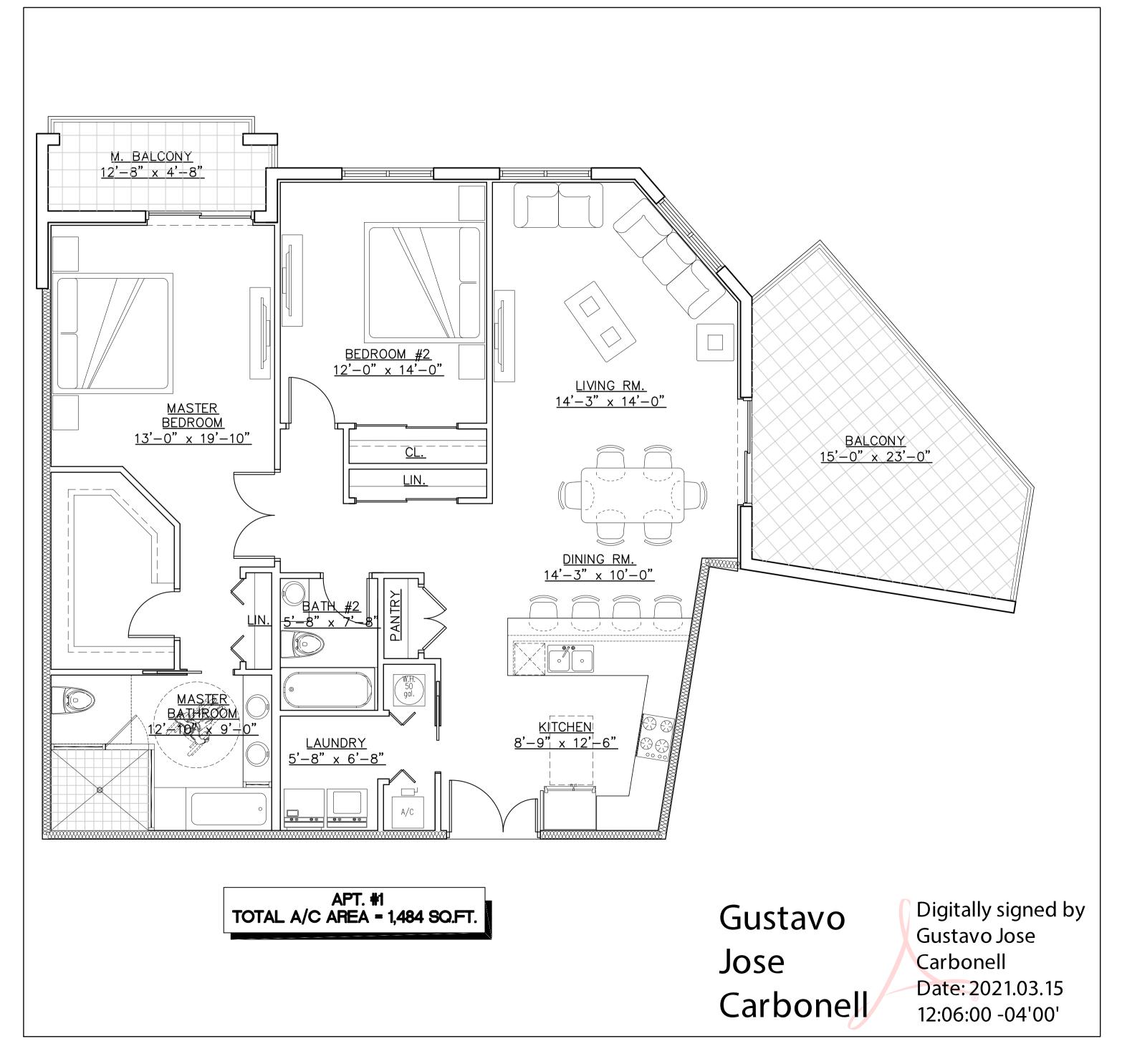
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JOB. NO. 20-025

OF 1

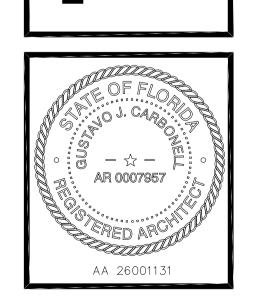
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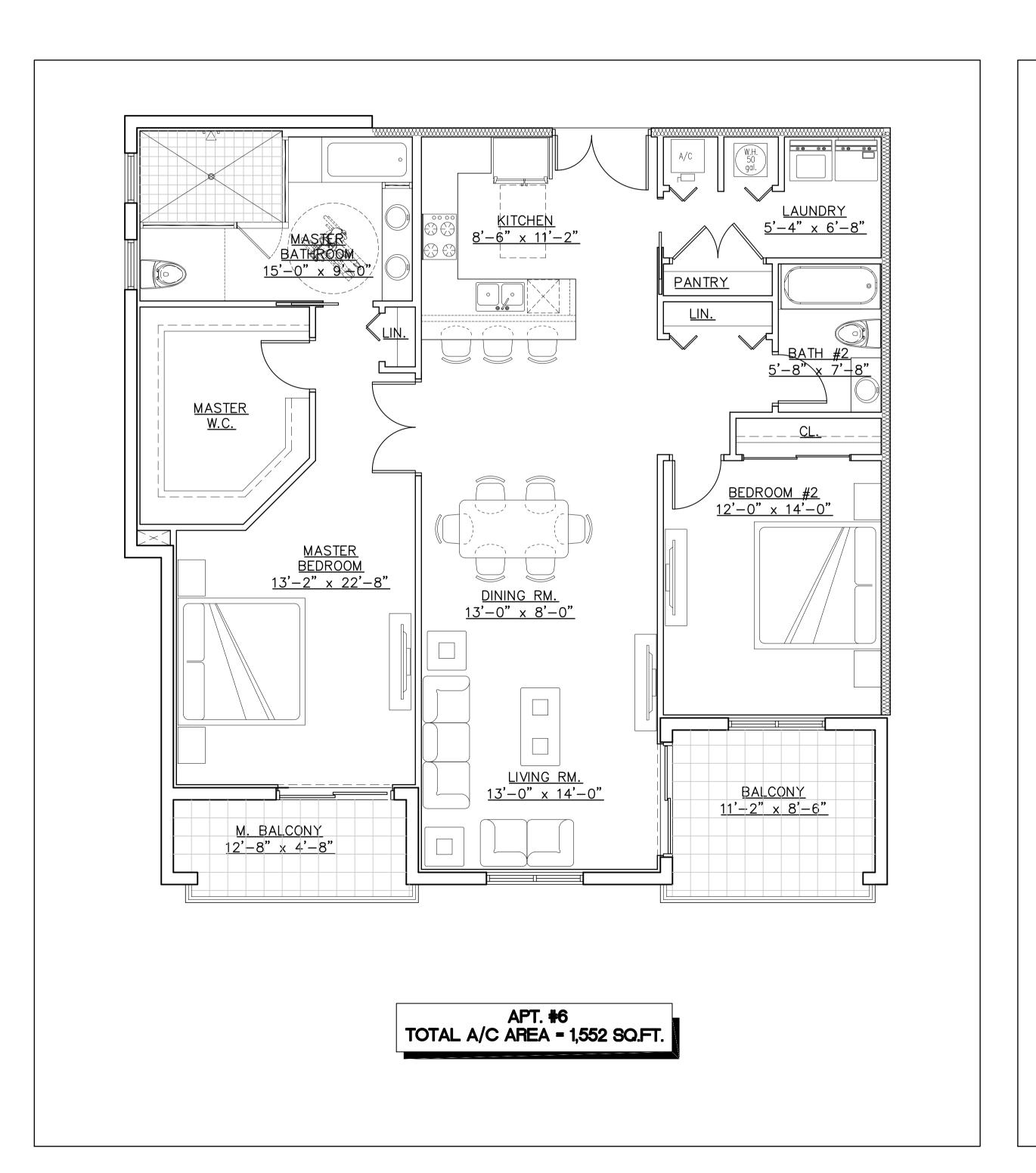


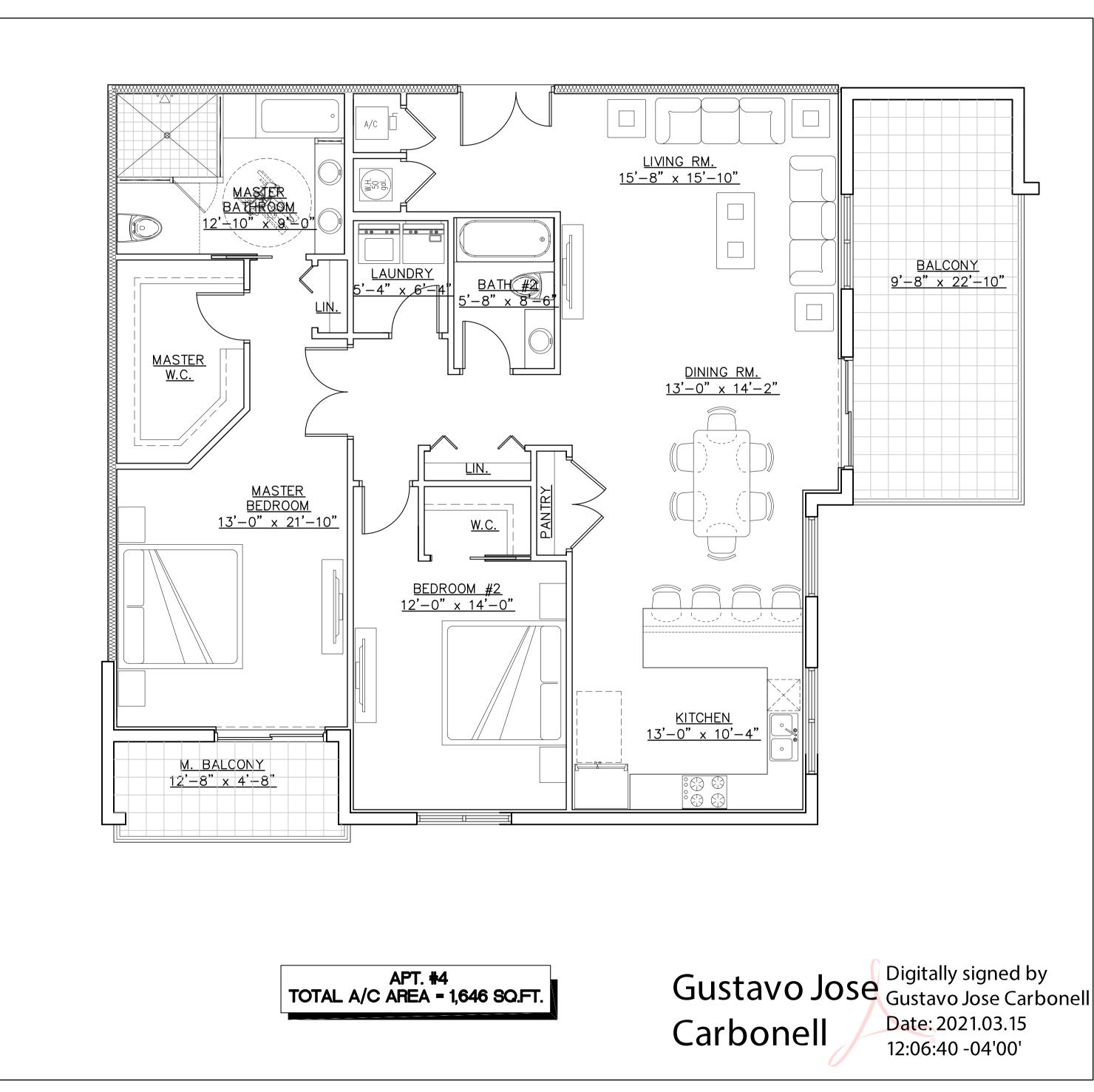
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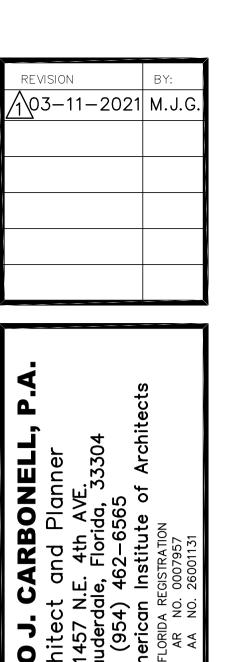
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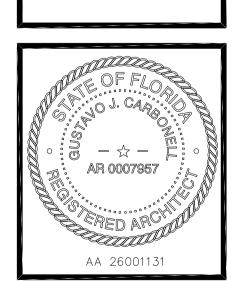
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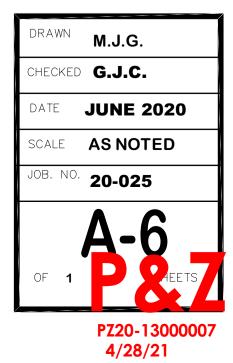






723 N. OCEAN BOULEV. Pompano Beach, Flori



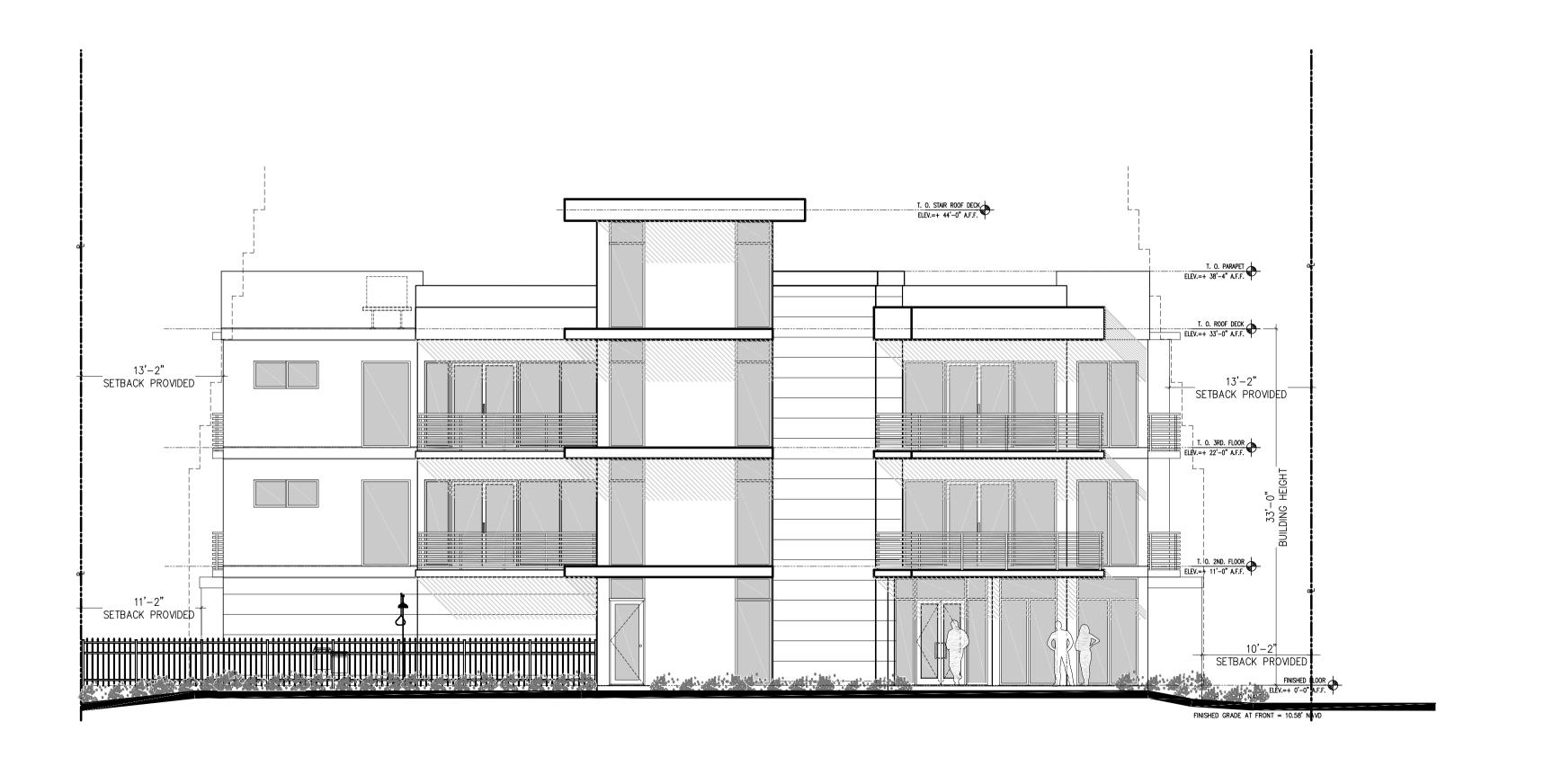


NORTH

TYPICAL FLOOR PLAN
SCALE: 1/4" = 1'-0"



# 2 NORTH ELEVATION $\blacksquare$ SCALE: 1/8" = 1'-0"



FINISH GRADE AT FRONT OF BUILDING IS AT LOBBY. FINISH FLOOR ELEV. = 0'-0"

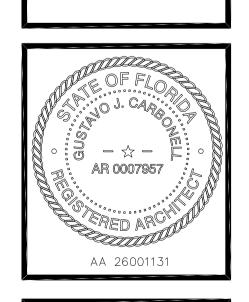
Gustavo Jose Carbonell

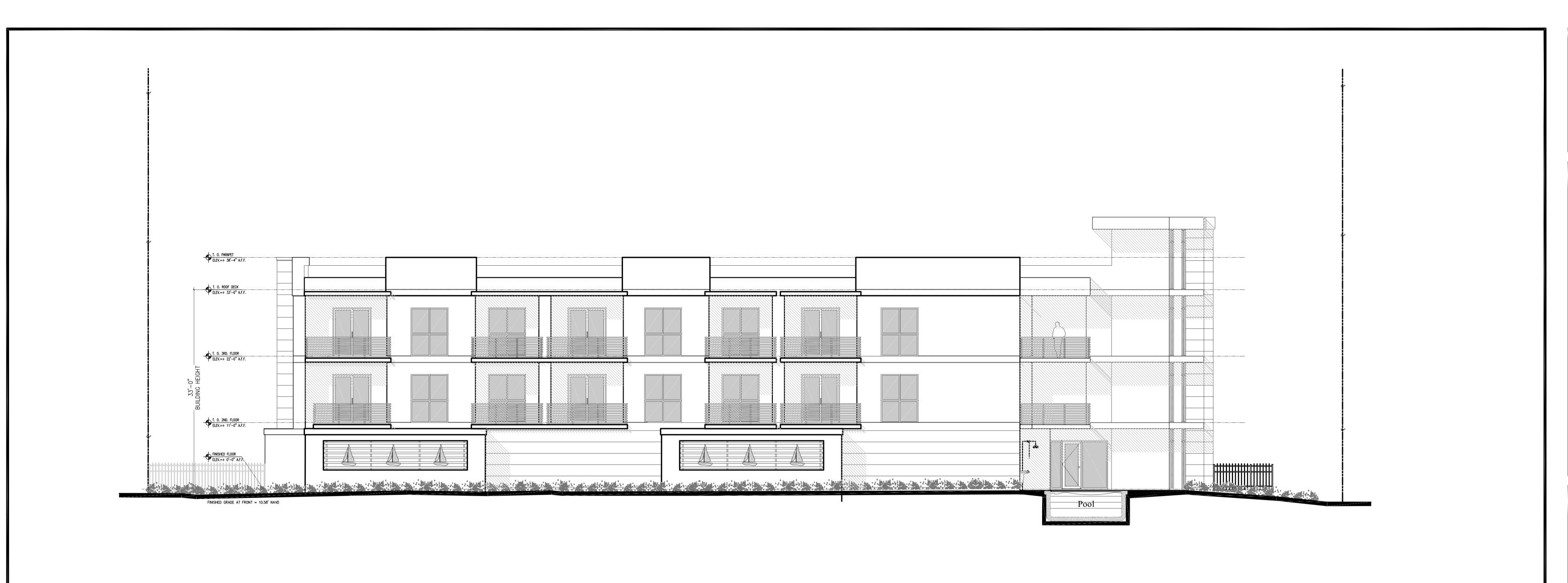
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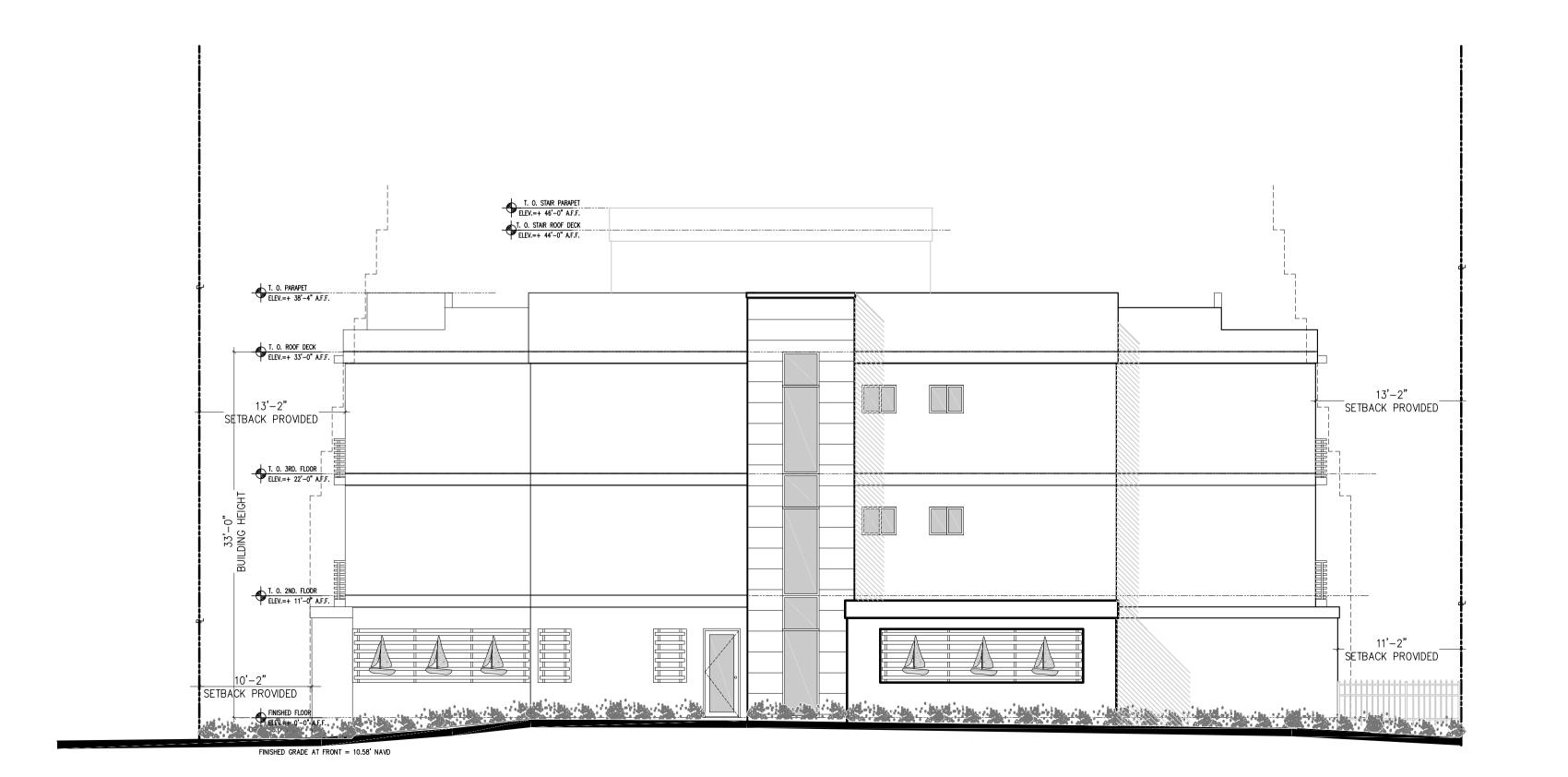
REVISION

PROPOSED MULTIFAMILY SABBIA BEACH





# 2 SOUTH ELEVATION $\blacksquare$ SCALE: 1/8" = 1'-0"



FINISH GRADE AT FRONT OF BUILDING IS AT LOBBY. FINISH FLOOR ELEV. = 0'-0"

Carbonell

Gustavo Jose Digitally signed by Gustavo Jose Carbonell Date: 2021.03.15 13:25:37 -04'00'

REVISION

/1\03-11-2021 M.J.G



PROPOSED MULTIFAMIL SABBIA BEAC

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